



PLANNING & ZONING BOARD - CITY OF WILDWOOD

Special Magistrate – Lindsay C.T. Holt

Agenda

Regular Meeting

November 7, 2023 2:15 PM

City Hall Commission Chamber

100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

- 1. Planning & Zoning Regular Meeting October 03, 2023 at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

- 1. SP 2303-008 Mister Car Wash - Wildwood
Parcel G04LCO-011**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a 5,620 S.F. building

consisting of a drive-thru car wash and office, along with 22 vacuum spaces, with 5 designated employee parking spaces on 1.51 acres, MOL. **Staff recommends approval.**

2. **PLAT 2210-003 Tillman Oaks Improvement Plan**

Parcel(s) C36-001, C36-082, C36-056, C36-032, C36-034, & C36-080

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for the construction of two hundred three (203) single-family dwelling units, parking, drive aisles, and associated infrastructure on 61.88 acres MOL per the attached plans. **Staff recommends approval.**

3. **PLAT 2305-011 Wildwood Landing Phase 1 Improvement Plan Modification**
Parcel D33-014

The applicant is seeking approval from the Planning and Zoning Board/Special Magistrate for a modification to an already approved improvement plan (PLAT 2205-003) with revisions to the pond 2 design, finished floor elevations for lots, potable water and sanitary sewer stub-out locations, location of the amenity, width of lots 47-68, and addition of utility and drainage easements on 19.4 acres, MOL. **Staff recommends approval contingent on the resolution of the outstanding fire comment. The City of Wildwood and Sumter County's administrative boards are working on modifying the Fire Inspections and Plan Review section of the Interlocal Service Boundary and Joint Planning Agreement (ISBA/JPA) to include an exclusion of properties within the JPA from being designated as Rural, Wildlands or Suburban under the NFPA 1141:1.3.1 (2017, ed.) as part of the 7th (2020) edition of the Florida Fire Prevention Code.**

V. **ADJOURNMENT**

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

November 7, 2023 2:15 PM

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA
REGULAR MEETING
October 3, 2023 2:15 PM
CITY HALL COMMISSION CHAMBER

(meeting taped)

I. CALL TO ORDER: Planning & Zoning Board

Attendee Name	Title	Status
Lindsay C.T. Holt	Special Magistrate	Present
Shaun Raja	Planner	Present
Jessica Barnes	City Clerk	Present
Brian Harrie	Police Lieutenant	Present

Special Magistrate Holt brought the meeting to order at 2:04 p.m. and explained the quasi-judicial process of the meeting. She then proceeded with the swearing-in of city staff and audience members.

II. APPROVAL OF SUMMARY MINUTES

1. Planning & Zoning Regular Meeting September 05, 2023 at 2:15 PM

Special Magistrate Holt saw no revisions necessary and approved the summary minutes for the September 5, 2023, meeting.

RESULT:	Approved
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

III. OLD BUSINESS

None.

IV. NEW BUSINESS

1. RZ 2308-001 Sheila Bernstein

Special Magistrate Holt read aloud the title of RZ 2308-001 Sheila Bernstein. The item was presented by Planner Shaun Raja. The applicant, Sheila Bernstein, is seeking a favorable

recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from A10C (County) to AG-5 (City) for parcels D19-121, D19-027, D19-120, and D19-110 on 37.96 acres MOL. The owner/applicant was not present. No comments were offered or received.

RESULT:	Recommends Approval
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

2. SP 2302-005 Gingerich Construction Warehouse Expansion

Special Magistrate Holt read aloud the title of SP 2302-005 Gingerich Construction Warehouse Expansion. The item was presented by Planner Raja. The applicant, Gingerich Holdings LLC, is seeking approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for the construction of two new five thousand four hundred (5,400) square foot warehouses and associated infrastructure on parcel G07-066 consisting of 5.15 acres MOL. Keith Riddle of Riddle-Newman Engineering, the engineer of record for the project, was present on behalf of the applicant. No comments were offered or received.

RESULT:	Recommends Approval
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

3. SP 2303-005 Evolve at Wildwood

Special Magistrate Holt read aloud the title of SP 2303-005 Evolve at Wildwood. The item was presented by Planner Raja. The applicant, Evolve Companies LLC, is seeking approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for the construction of two hundred and forty-eight (248) multi-family dwelling units, parking, drive aisles, and associated infrastructure on parcels D17-050, D17-058, D17-072, and D17-110 totaling 16.69 acres MOL. John McDonald, on behalf of the applicant, was present to answer any questions. No comments were offered or received.

RESULT:	Recommends Approval
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

4. PLAT 2211-002 Business Park 44 Partial Re-Plat

Special Magistrate Holt read aloud the title of PLAT 2211-002 Business Park 44 Partial Re-Plat. The item was presented by Planner Raja. The applicant, SPRH Wildwood Holdings LLC, is seeking approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for the re-plat of Lot 1 and parts of Lot 4, creating two (2) separate parcels totaling 1.6 acres, on parcels G17A002 and G17A003 equaling 13.98 acres MOL. Stephen Campbell, on behalf of the owner, was present to answer any questions. Holt confirmed with Raja that the project

had previously been non-conforming but the issue was corrected and is now in compliance with the Land Development Regulations. No other comments were offered or received.

RESULT:	Recommends Approval
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

V. ADJOURNMENT

The meeting was adjourned at 2:15 p.m.

APPEAL: NECESSITY OF RECORD.

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA

SEAL

Date

Lindsay C.T. Holt,
Special Magistrate
City of Wildwood, Florida

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: SP 2303-008 Mister Car Wash - Wildwood

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	SP 2303-008 Mister Car Wash
Owner(s)	Word Family, LLC
Applicant(s)	Boos Development
Acreage	1.51 +/-
Property Location	The subject property is generally located north along C 466A, south along Seven Mile Dr, and approximately 0.27 miles east of Trailwinds Blvd.
Parcel(s)	G04LCO-011

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a 5,620 S.F. building consisting of a drive-thru car wash, and office, along with 22 vacuum spaces, and 5 designated employee parking spaces.

SP 2303-008 meets the criteria set forth in the Trailwinds Village Planned Development, Land Development Regulations, and Design District Standards. This project has an approved special exception for the proposed use under SE 2301-001.



DATED: 10/23/2023

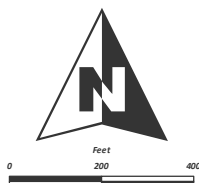
Amanda Bush

Planner II, Development Services



**CITY OF
WILDWOOD**

100 North Main Street
Wildwood, FL 34785
Phone: (352) 330-1330
www.wildwood-fl.gov



SP 2303-008

MISTER CAR WASH

PARCEL G04LCO-011

MAP 1B

**LOCATION
MAP**

**SEPTEMBER
2023**

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: PLAT 2210-003 Tillman Oaks Improvement Plan

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No:	PLAT 2210-003 Tillman Oaks Improvement Plan
Parcel Number:	C36-001, C36-082, C36-056, C36-032, C36-034, C36-080
Acreage:	61.88 +/-
Property Location:	The subject property is generally located along E C 462, west of the intersection of E C 462 and CR 209.
Owner:	Tillman Oaks Investment LLC
Applicant:	Gillio Development LLC

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for the construction of two hundred three (203) single-family dwelling units, parking, drive aisles, and associated infrastructure on 61.88 acres MOL per the attached plans.

PLAT 2210-003 meets the criteria set forth in the Design District Standards and Land Development Regulations.

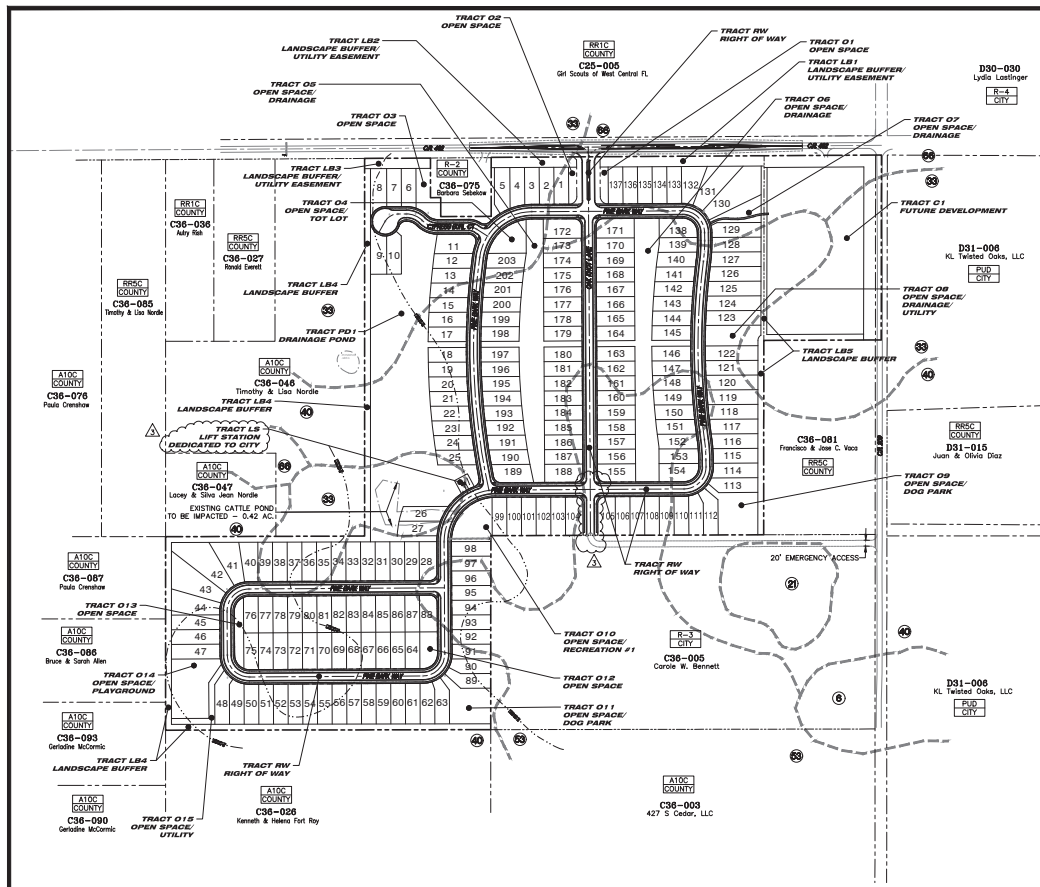
DATED: 10/18/2023

A handwritten signature in black ink that reads "Shaun Raja". The signature is written in a cursive, flowing style.

Shaun Raja
Planner II, Development Services



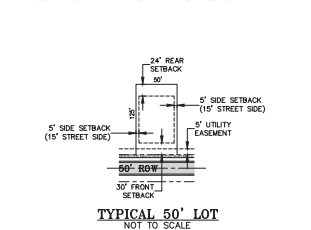
 WILDWOOD FLORIDA	CITY OF WILDWOOD 100 North Main Street Wildwood, FL 34785 Phone: (352) 330-1330 www.wildwood-fl.gov	 Feet 0 210 420	PLAT 2210-003 TILLMAN OAKS IMPROVEMENT PLAN PARCELS C36-001, C36-032, C36-034, C36-056, C36-080, & C36-082	MAP 1B LOCATION MAP DECEMBER 2022
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TRACT	SIZE	DESCRIPTION	OWNERSHIP/MAINTENANCE
RW	8.50 AC	ROW	HOA
L1	0.44 AC	LANDSCAPE BUFFER/ UTILITY EASEMENT	HOA / CITY OF WILWOOD
L2	0.23 AC	LANDSCAPE BUFFER/ UTILITY EASEMENT	HOA / CITY OF WILWOOD
L3	0.15 AC	LANDSCAPE BUFFER/ UTILITY EASEMENT	HOA / CITY OF WILWOOD
L4	1.69 AC	LANDSCAPE BUFFER/ UTILITY EASEMENT	HOA
L5	0.45 AC	LANDSCAPE BUFFER/ UTILITY EASEMENT	HOA
O1	0.08 AC	OPEN SPACE	HOA
O2	0.08 AC	OPEN SPACE	HOA
O3	0.34 AC	OPEN SPACE	HOA
O4	0.25 AC	OPEN SPACE/ TOT LOT	HOA
O5	1.57 AC	OPEN SPACE/ DRAINAGE	HOA
O6	1.56 AC	OPEN SPACE/ DRAINAGE	HOA
O7	0.21 AC	OPEN SPACE/ DRAINAGE	HOA
O8	0.30 AC	OPEN SPACE/ DRAINAGE	HOA
O9	0.47 AC	UTILITY/ DRAINAGE	HOA
O10	0.37 AC	OPEN SPACE/ UTILITY	HOA
O11	0.43 AC	OPEN SPACE/ UTILITY	HOA
O12	0.16 AC	OPEN SPACE	HOA
O13	0.16 AC	OPEN SPACE	HOA
O14	0.64 AC	OPEN SPACE/ UTILITY	HOA
O15	0.15 AC	OPEN SPACE/ UTILITY	HOA
P01	4.80 AC	POND	HOA
L1	5.78 AC	OPEN SPACE/ UTILITY	PRIVATE
CS	0.06 AC	LEFT STATION	CITY OF WILWOOD
	27.31 AC	S.F. LOTS	PRIVATE
	56.09 AC	TOTAL SITE	

OPEN SPACE REQUIRED: 20K
 (81.39 - 1) (5.78) = 56.21 = 17.24 ACRES
 OPEN SPACE PROVIDED: 21.6K
 (56.21 ACRES - 1) (5.78) = 50.43 AC. 50% OF POND (4.8 AC x 50%) = 2.4 AC.
 50.43 AC + 2.4 AC = 52.83 AC

1. OPEN SPACE TRACTS WILL MEET THE REQUIREMENTS OF THE CITY OF WILWOOD.
2. A MINIMUM OF 20% OPEN SPACE WILL BE PROVIDED TO THE CITY OF WILWOOD.
3. DENSITY CALCULATIONS:
 TOTAL AREA 61.99 AC
 FUTURE DEVELOPMENT 5.78 AC
 BUILDABLE AREA 56.21 AC
 PROPOSED DENSITY = 203 / 56.21 = 3.61 UNITS/ACRE
 BCC APPROVED MAX DENSITY = 4 UNITS/ACRE



AGE	UNITS	RATE	CHILDREN
ELDERLY	203	0.249	51
MIDDLE	203	0.114	23
HIGH	203	0.124	25
TOTAL = 99			

RE CODE	LAND USE	UNITS	DATE	TYPE	DATE	TOTAL	UNITS	DATE
210	SINGLE FAMILY RESIDENTIAL	203	10.67	2,166	1.00	203	128	75

SOURCE: IRE REP OPERATION 10th EDITION

GRAPHIC SCALE	
0	100
200	300
400	500
600	800
1000	1200
1400	1600
1800	2000
2200	2400
2600	2800
3000	3200
3400	3600
3800	4000
4200	4400
4600	4800
5000	5200
5400	5600
5800	6000
6200	6400
6600	6800
7000	7200
7400	7600
7800	8000
8200	8400
8600	8800
9000	9200
9400	9600
9800	10000
10200	10400
10600	10800
11000	11200
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48200	48400
48600	48800
49000	49200
49400	49600
49800	50000
50200	50400
50600	50800
51000	51200
51400	51600
51800	52000

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD

EXECUTIVE SUMMARY

SUBJECT: PLAT 2305-011 Wildwood Landing Phase 1 Improvement Plan Modification

REQUESTED ACTION: Staff recommends approval contingent on the resolution of the outstanding fire comment. The City of Wildwood and Sumter County's administrative boards are working on modifying the Fire Inspections and Plan Review section of the Interlocal Service Boundary and Joint Planning Agreement (ISBA/JPA) to include an exclusion of properties within the JPA from being designated as Rural, Wildlands or Suburban under the NFPA 1141:1.3.1 (2017, ed.) as part of the 7th (2020) edition of the Florida Fire Prevention Code.

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

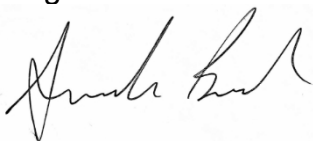
BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	PLAT 2305-011 Wildwood Landing Phase 1 Improvement Plan Modification
Owner(s)	Wildwood Landing (FL) Owner IV, LLC
Applicant(s)	Langan Engineering & Environmental Services, Inc
Acreage	19.4 +/-
Property Location	The subject property is located east of E C462, and approximately 0.63 miles north of C 466A.
Parcel	D33-014

The applicant is seeking approval from the Planning and Zoning Board/Special Magistrate for a modification to an already approved improvement plan (PLAT 2205-003) with revisions to the pond 2 design, finished floor elevations for lots, potable water and sanitary sewer stub-out locations, location of the amenity, width of lots 47-68, and location of utility and drainage easements.

PLAT 2305-011 meets the criteria set forth in the Land Development Regulations and the Design District Standards.



DATED: 10/23/2023
Amanda Bush
Planner II, Development Services



WILDWOOD FLORIDA

City of Wildwood

PROJECT: PLAT 2305-011 Wildwood Landings Phase 1 Improvement
Plan

REPRESENTATIVE: Andrew Eiland – Langan Engineering &
Environmental Services, Inc

FIRE (Sumter County)

The *Florida Fire Prevention Code*, 7th Edition incorporates NFPA 1141, 2017 Edition by reference in accordance with Florida Administrative Code 69A-60.005(2)(ggggggg). Per plan, the existing site conditions are “agricultural and residential”. Therefore, development of this site including all related new infrastructure falls inside the scope of the current, State-adopted NFPA 1141 (2017 Ed.), “Standard for Fire Protection Infrastructure for Land Development in Wildland, Rural, and Suburban Areas”.

- NFPA 1141:1.1 Scope. This standard covers the requirements for the fire protection infrastructure in wildland, rural, and suburban areas where there is an intended change of land use or intended land development.
- NFPA 1141:1.2 Purpose. The purpose of this standard is to develop fire protection and emergency services infrastructure to reduce the impact of land use changes in wildland, rural, and suburban areas.
- NFPA 1141:1.3.1 This standard shall apply to land development or changes in land use in wildland, rural, and suburban areas.

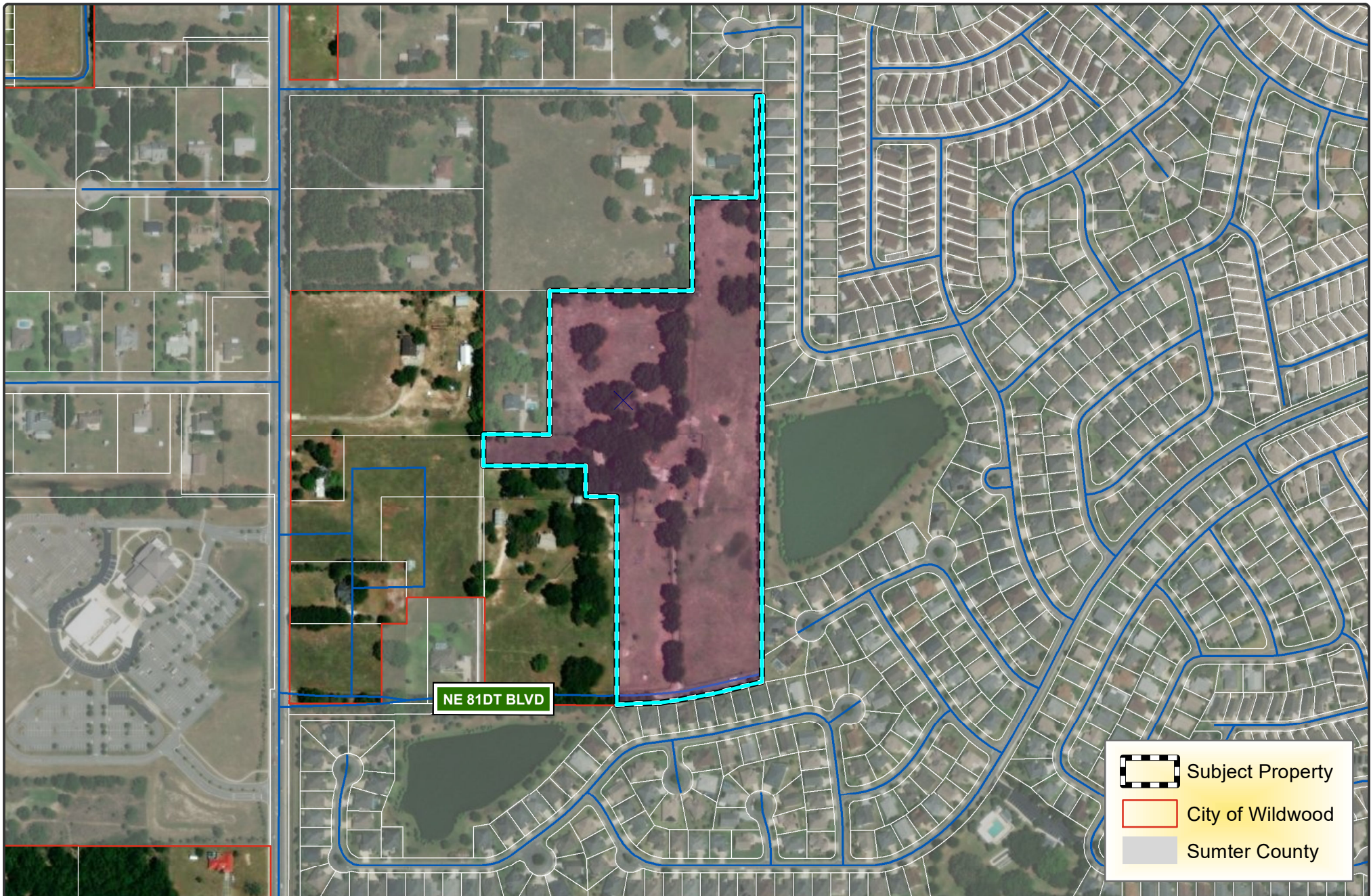
Regarding wildland areas:

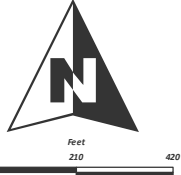
- NFPA 1141:1.3.1.1 Wildland Areas. In addition to other requirements in this standard, land use changes in wildland areas shall be subject to the requirements in NFPA 1144.
- NFPA 1141:1.3.1.2 All new construction in wildland/urban interface areas shall be designed, located, and constructed to comply with NFPA 1144.

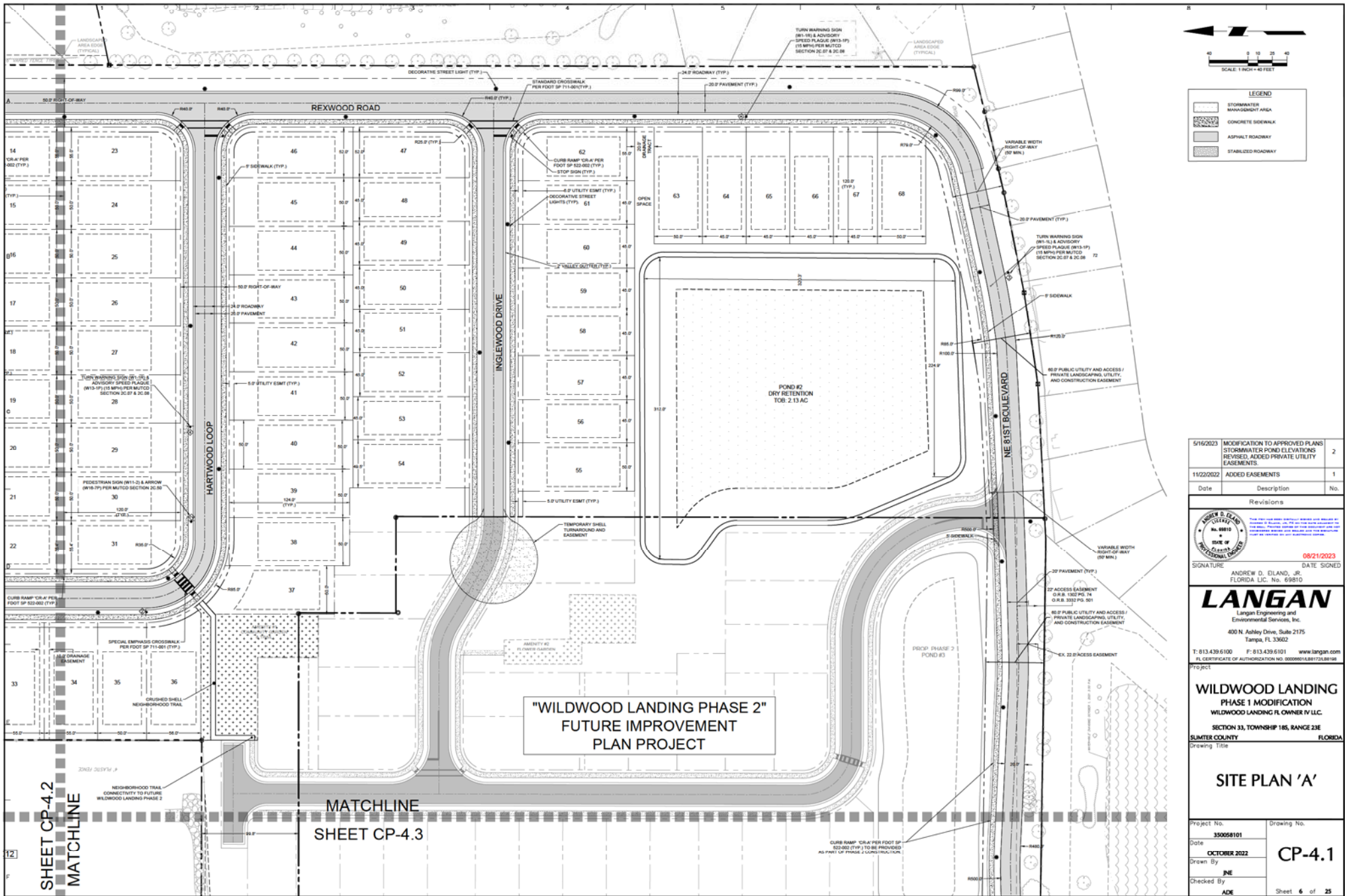
NFPA 1144, 2018 Edition is the current State-adopted “Standard for Reducing Structure Ignition Hazards from Wildland Fire”. (FAC 69A-60.005(2)(iiiiii))

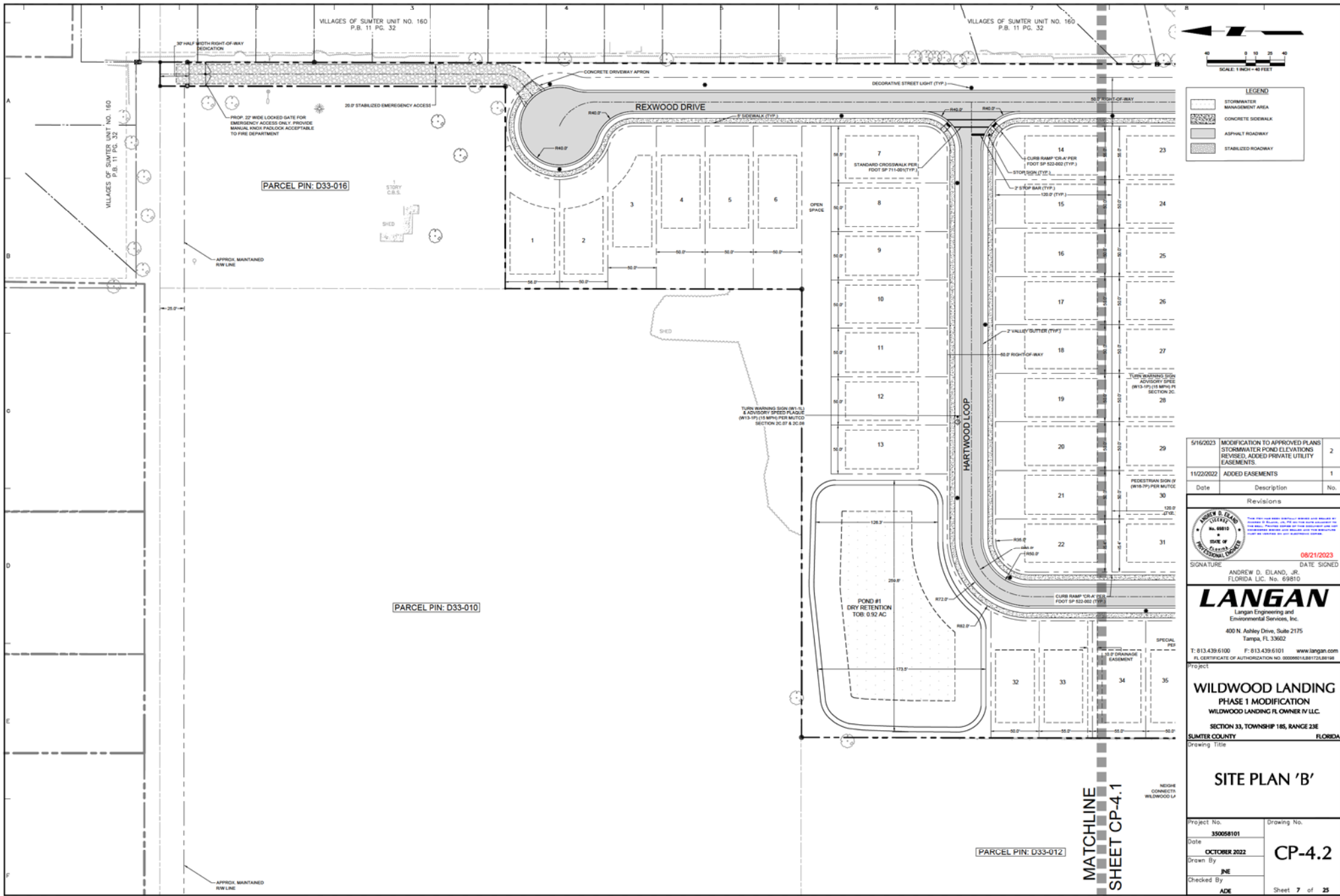
Regarding NFPA 1140, “NFPA 1140: Standard for Wildland Fire Protection, 2022 Edition” is a new standard which consolidates several standards into one volume to address multiple aspects of *wildland-specific* fire protection. These are NFPA 1051, NFPA 1141, NFPA 1143, and NFPA 1144. The new standard references NFPA

1141(2017 Ed.) for the portions addressing fire protection and emergency services infrastructure in wildland, rural, and suburban areas (NFPA 1140:2, NFPA 1140:1.3). Future editions of the *Florida Fire Prevention Code* may or may not adopt NFPA 1140 in lieu of NFPA 1144.



 WILDWOOD FLORIDA	CITY OF WILDWOOD 100 North Main Street Wildwood, FL 34785 Phone: (352) 330-1330 www.wildwood-fl.gov		PLAT 2305-011 WILDWOOD LANDINGS IMP MODIFICATION PARCEL D33-014		MAP 1B LOCATION MAP AUGUST 2023
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LEGEND

- STORMWATER MANAGEMENT AREA
- CONCRETE SIDEWALK
- ASPHALT ROADWAY
- STABILIZED ROADWAY

Date	Description	No.
5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS.	2
11/22/2022	ADDED EASEMENTS	1

Revisions

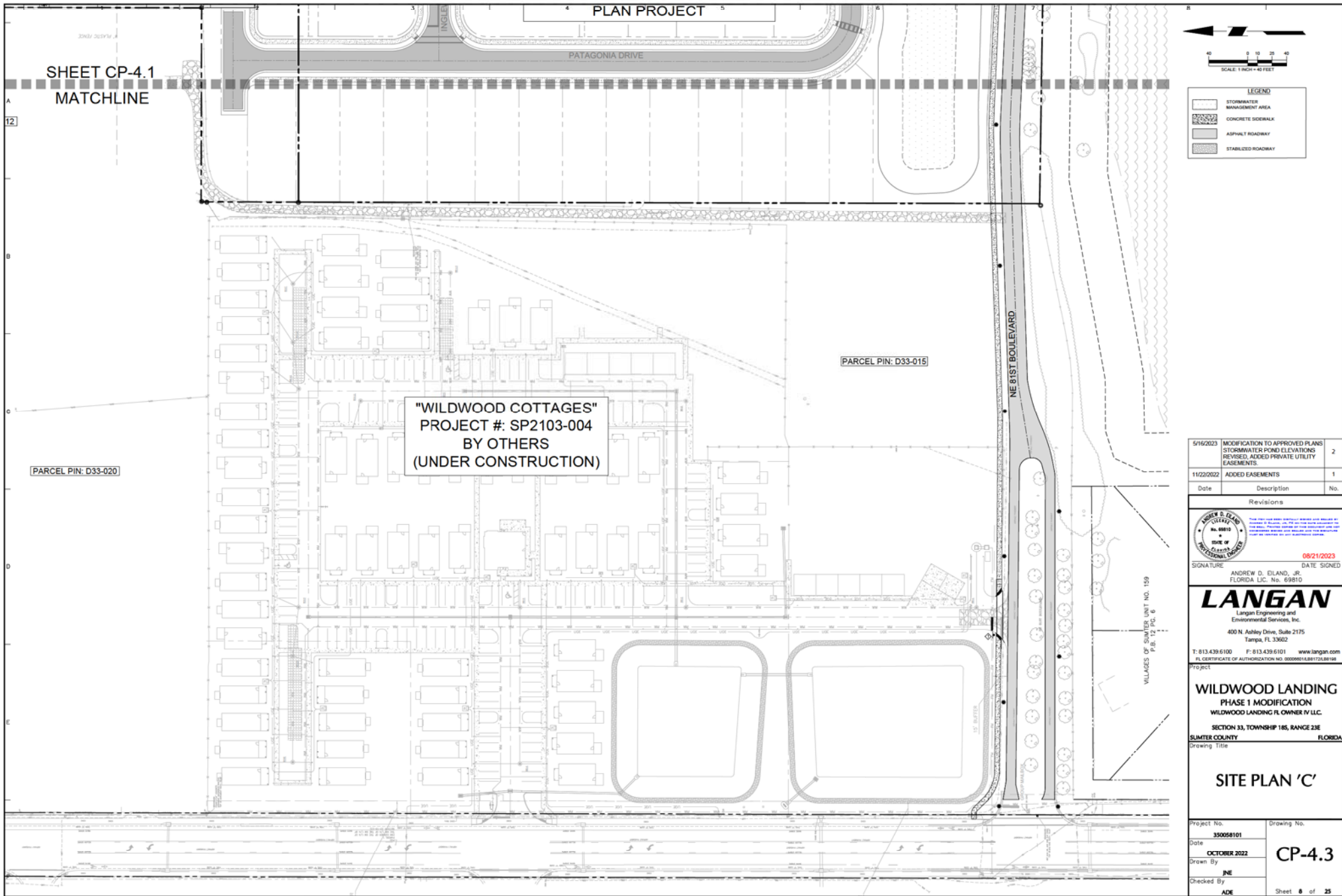
5/16/2023
DATE SIGNED
ANDREW D. ELAND, JR.
FLORIDA L.C. No. 69810

LANGAN
Langan Engineering and
Environmental Services, Inc.
400 N. Ashley Drive, Suite 2175
Tampa, FL 33602
T: 813.439.6100 F: 813.439.6101 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 00009881488170288168

**WILDWOOD LANDING
PHASE 1 MODIFICATION**
WILDWOOD LANDING FL OWNER IV LLC
SECTION 33, TOWNSHIP 18S, RANGE 23E
SUMTER COUNTY FLORIDA

SITE PLAN 'B'

Project No. 350058101	Drawing No. CP-4.2
Date OCTOBER 2022	Drawn By JNE
Checked By ADE	Sheet 7 of 25



LEGEND

[Pattern]	STORMWATER MANAGEMENT AREA
[Pattern]	CONCRETE SIDEWALK
[Pattern]	ASPHALT ROADWAY
[Pattern]	STABILIZED ROADWAY

5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS.	2
11/22/2022	ADDED EASEMENTS	1
Date	Description	No.

Revisions

06/21/2023

SIGNATURE: ANDREW D. ELAND, JR.
FLORIDA L.C. No. 69810

DATE SIGNED

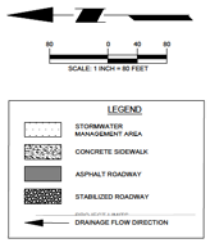
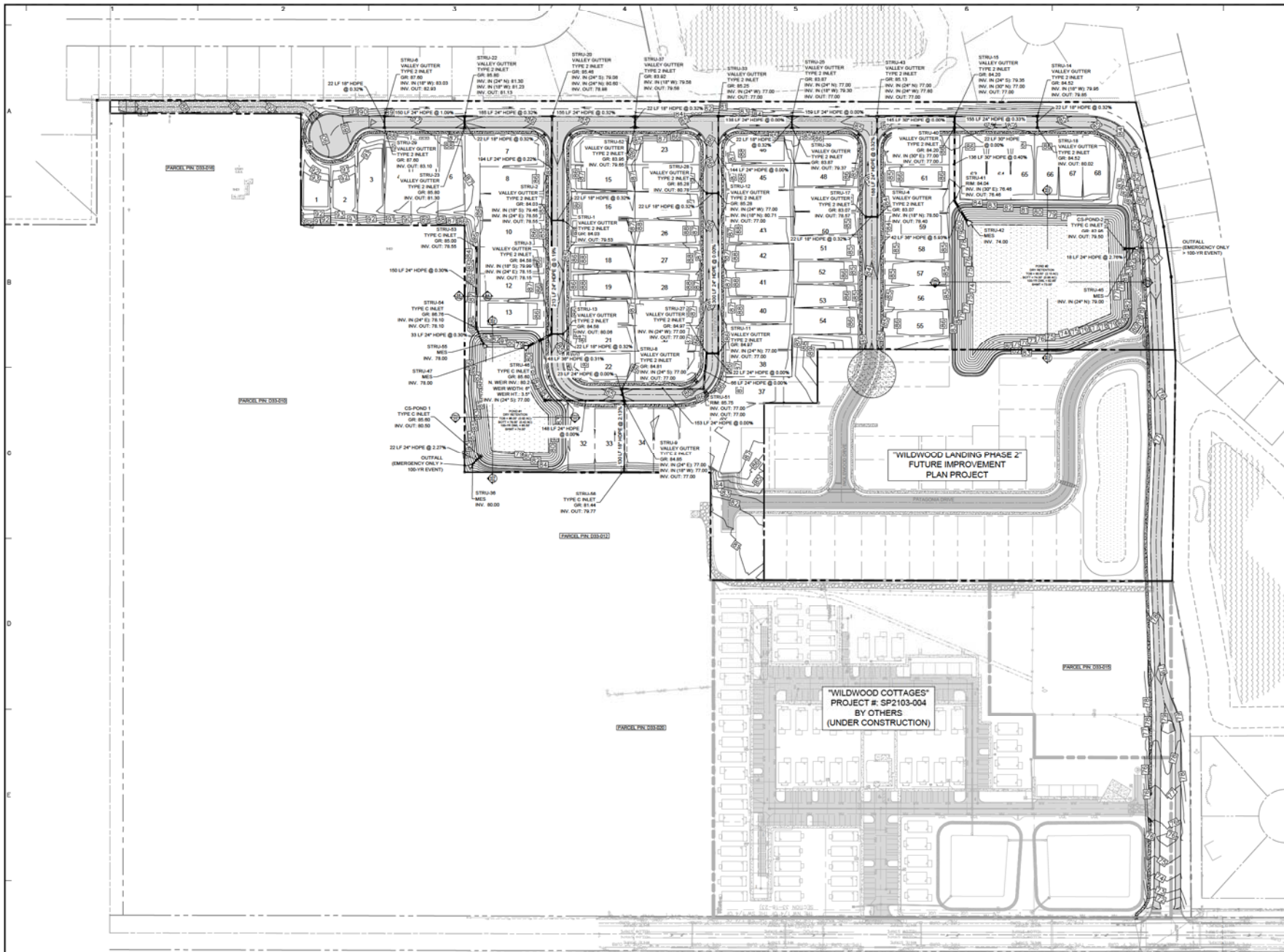
LANGAN

Langan Engineering and
Environmental Services, Inc.
400 N. Ashley Drive, Suite 2175
Tampa, FL 33602

T: 813.439.6100 F: 813.439.6101 www.langan.com
FL CERTIFICATE OF AUTHORIZATION NO. 000088101-0002-CE101-0108

WILDWOOD LANDING
PHASE 1 MODIFICATION
WILDWOOD LANDING FL OWNER IV LLC
SECTION 33, TOWNSHIP 18S, RANGE 23E
SUMNER COUNTY FLORIDA

SITE PLAN 'C'	
Project No. 350058101	Drawing No. CP-4.3
Date OCTOBER 2022	Drawn By JNE
Checked By ADE	Sheet 6 of 25



5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS.	2
11/22/2022	ADDED EASEMENTS	1
Date	Description	No.

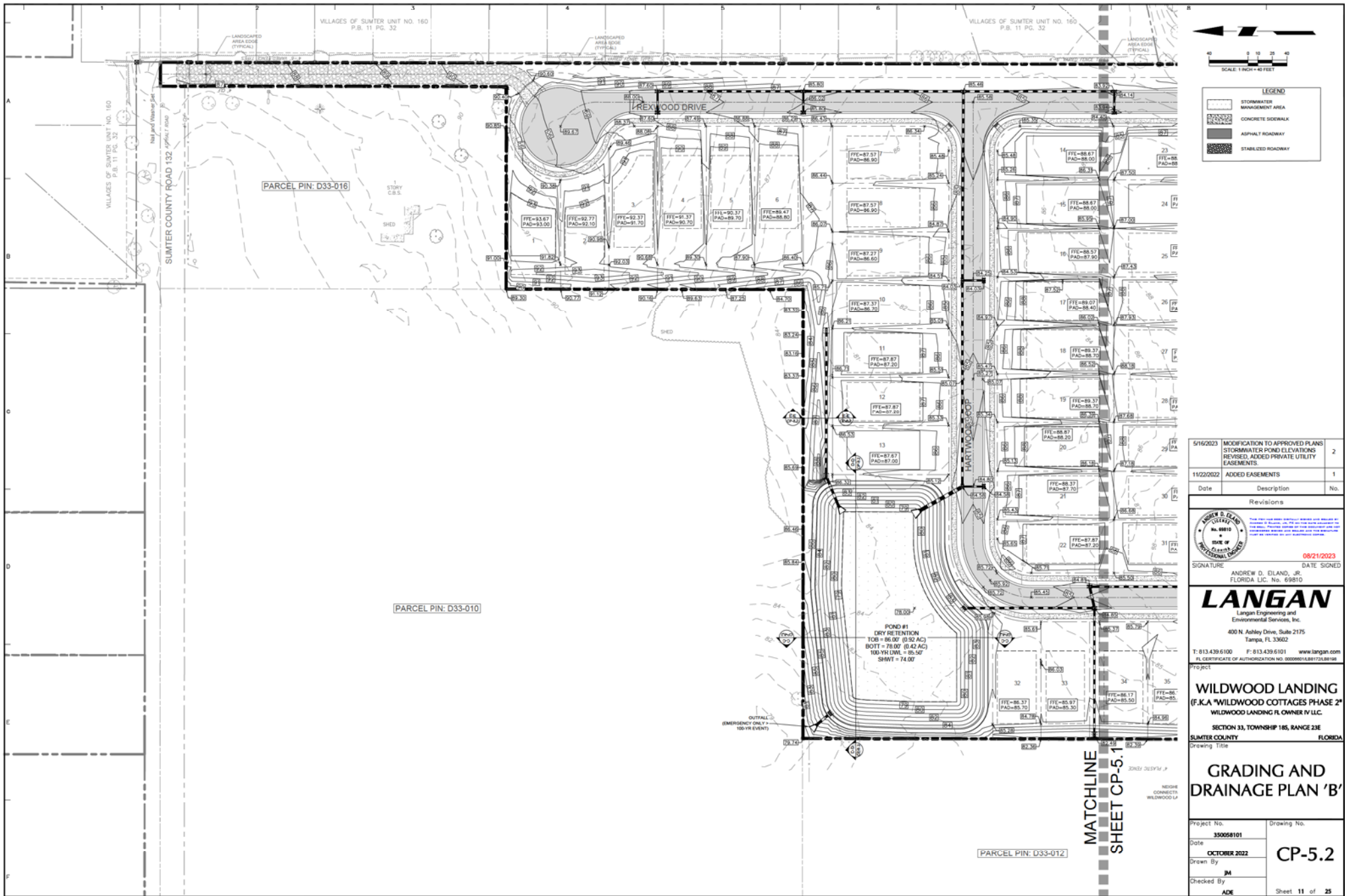
Revisions

SIGNATURE: ANDREW D. ELAND, JR.
 DATE SIGNED: 08/21/2023
 FLORIDA L.C. No. 69810

LANGAN
 Langan Engineering and
 Environmental Services, Inc.
 400 N. Ashley Drive, Suite 2175
 Tampa, FL 33602
 T: 813.439.6100 F: 813.439.6101 www.langan.com
 FL CERTIFICATE OF AUTHORIZATION NO. 000088101-0002-C0101-0101

WILDWOOD LANDING
 PHASE 1 MODIFICATION
 WILDWOOD LANDING FL OWNER IV LLC
 SECTION 33, TOWNSHIP 18S, RANGE 23E
 SUMTER COUNTY FLORIDA
**MASTER GRADING
 AND DRAINAGE
 PLAN**

Project No. 350058101
 Date OCTOBER 2022
 Drawn By JNE
 Checked By ADE
 Drawing No. CP-5.0
 Sheet 9 of 25



5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS.	2
11/22/2022	ADDED EASEMENTS	1

Date	Description	No.
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Revisions


 06/21/2023
 SIGNATURE: ANDREW D. ELANO, JR.
 DATE SIGNED: 06/21/2023
 FLORIDA L.C. No. 69810

LANGAN
 Langan Engineering and
 Environmental Services, Inc.
 400 N. Ashley Drive, Suite 2175
 Tampa, FL 33602
 T: 813.439.6100 F: 813.439.6101 www.langan.com
 FL CERTIFICATE OF AUTHORIZATION NO. 000088148B17028B98

PROJECT

WILDWOOD LANDING
 (F.K.A. "WILDWOOD COTTAGES PHASE 2"
 WILDWOOD LANDING FL OWNER IV LLC)
 SECTION 33, TOWNSHIP 18S, RANGE 23E
 SUMTER COUNTY FLORIDA

Drawing Title

**GRADING AND
 DRAINAGE PLAN 'B'**

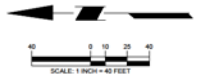
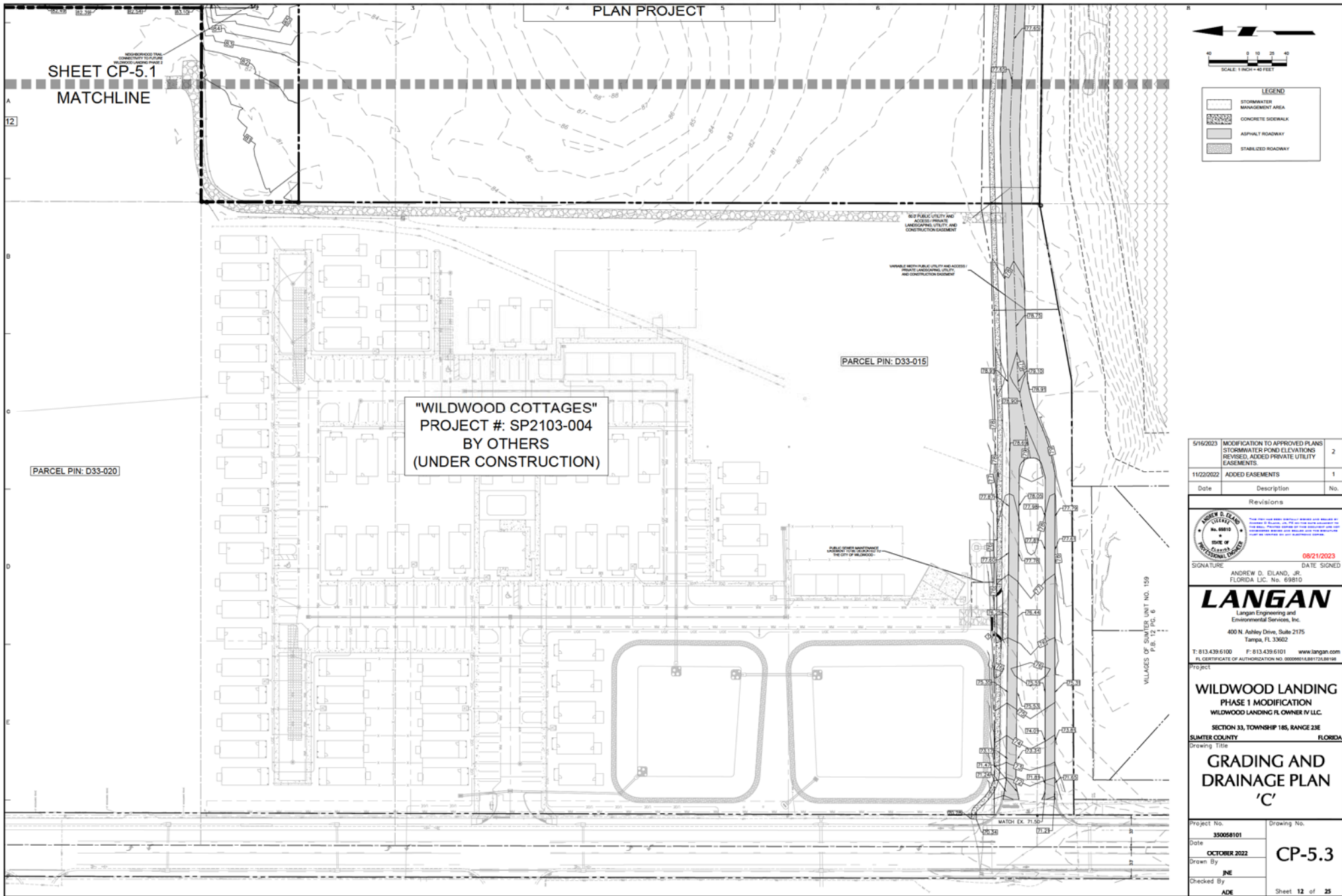
Project No. 350058101 Drawing No.

Date OCTOBER 2022 CP-5.2

Drawn By JM

Checked By ADE

Sheet 11 of 25



LEGEND	
[Symbol]	STORMWATER MANAGEMENT AREA
[Symbol]	CONCRETE SIDEWALK
[Symbol]	ASPHALT ROADWAY
[Symbol]	STABILIZED ROADWAY

Date	Description	No.
5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS	2
11/23/2022	ADDED EASEMENTS	1

Revisions

ANDREW D. ELAND, JR.
FLORIDA L.C. No. 69810
Professional Engineer

SIGNATURE: _____ DATE SIGNED: **08/21/2023**

ANDREW D. ELAND, JR.
FLORIDA L.C. No. 69810

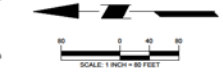
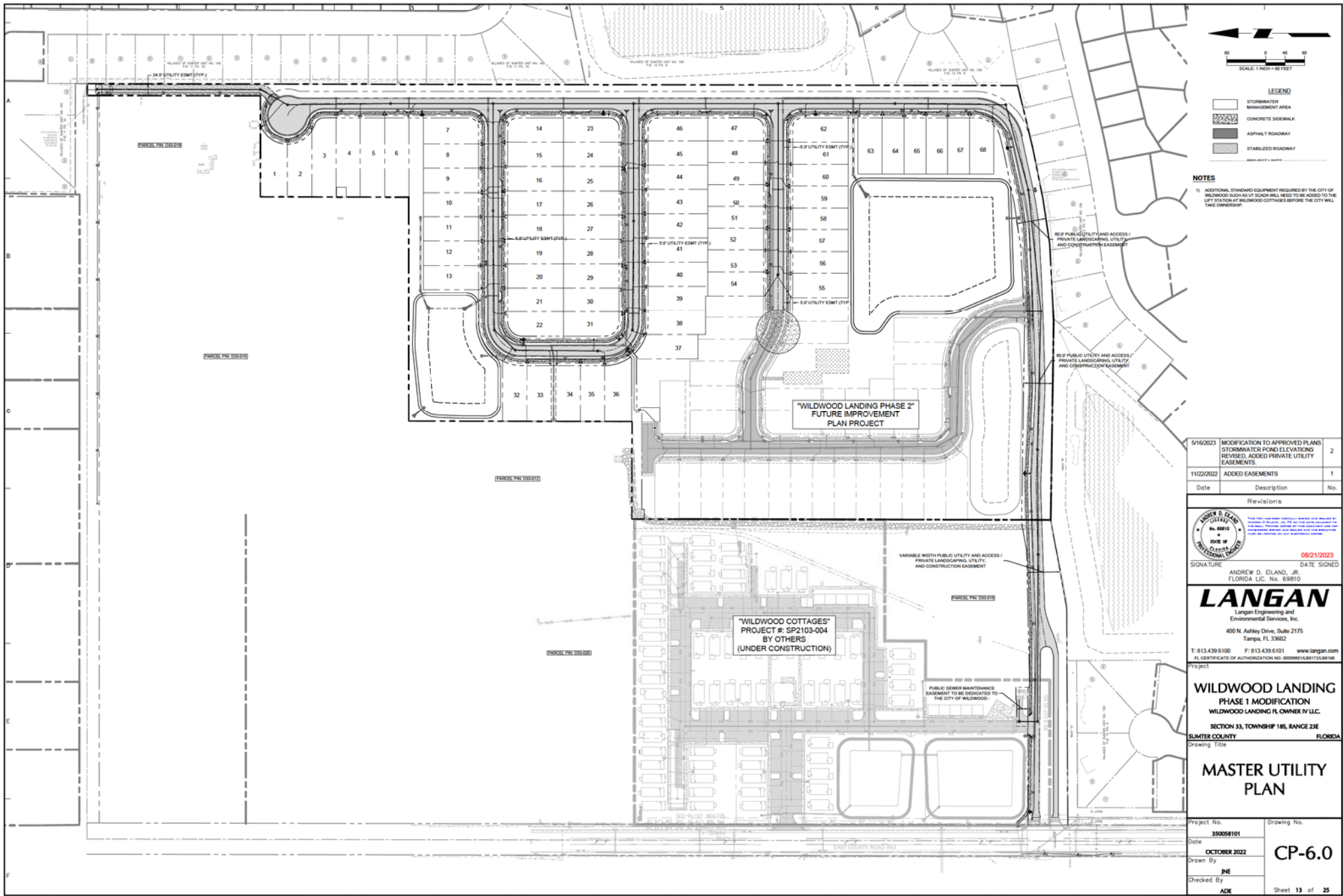
LANGAN
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FL CERTIFICATE OF AUTHORIZATION NO. 00008814881702LB008

WILDWOOD LANDING
PHASE 1 MODIFICATION
WILDWOOD LANDING FL OWNER IV LLC
SECTION 33, TOWNSHIP 18S, RANGE 23E
SUMMER COUNTY FLORIDA

**GRADING AND
DRAINAGE PLAN
'C'**

Project No. 350058101	Drawing No. CP-5.3
Date OCTOBER 2022	
Drawn By JNE	
Checked By ADE	

Sheet 12 of 25



LEGEND

[Symbol]	STORMWATER MANAGEMENT AREA
[Symbol]	CONCRETE SIDEWALK
[Symbol]	ASPHALT ROADWAY
[Symbol]	STABILIZED ROADWAY

NOTES

1) ADDITIONAL STANDARD EQUIPMENT REQUIRED BY THE CITY OF WILLOW SUCH AS V. SOAKS WILL NEED TO BE ADDED TO THE LIFT STATION AT WILLOW COTTAGES BEFORE THE CITY WILL TAKE OWNERSHIP.

5/16/2022	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS.	2
11/23/2022	ADDED EASEMENTS	1
Date	Description	No.

Revisions

ANDREW D. ELAND
FL. 69810
STATE OF FLORIDA
PROFESSIONAL ENGINEER

08/21/2023
DATE SIGNED

SIGNATURE: ANDREW D. ELAND, JR.
FLORIDA L.C. No. 69810

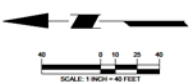
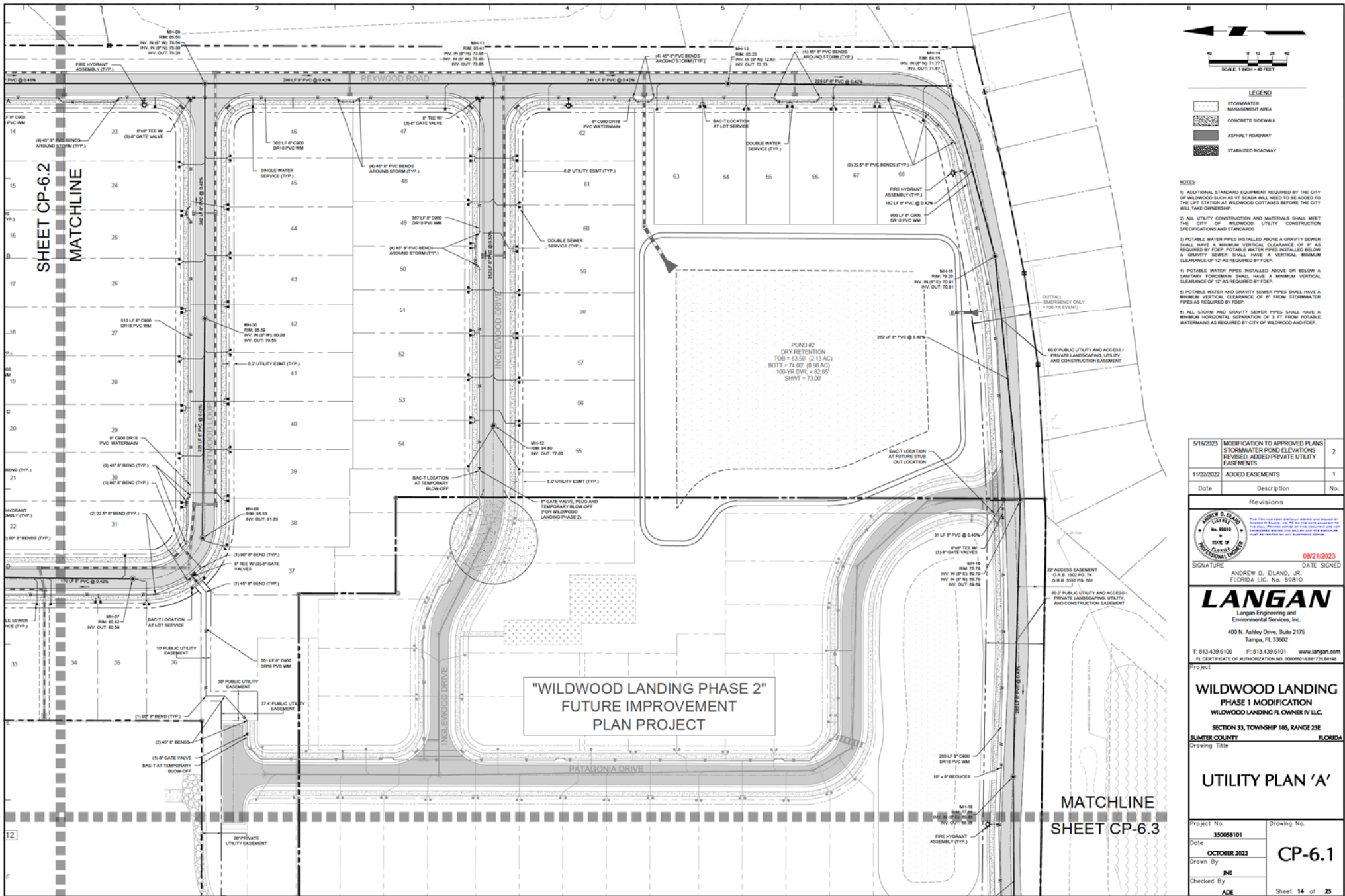
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FL CERTIFICATE OF AUTHORIZATION NO. 00008814881702LB008

WILLOW LANDING
PHASE 1 MODIFICATION
WILLOW LANDING FL OWNER IV LLC
SECTION 33, TOWNSHIP 18S, RANGE 23E
SUMTER COUNTY FLORIDA

**MASTER UTILITY
PLAN**

Project No. 350058101	Drawing No. CP-6.0
Date OCTOBER 2022	
Drawn By JNE	
Checked By ADE	
Sheet 13 of 25	



LEGEND

	STORMWATER MANAGEMENT AREA
	CONCRETE SIDEWALK
	ASPHALT ROADWAY
	STABILIZED ROADWAY

- NOTES:**
- 1) ADDITIONAL STANDARD EQUIPMENT REQUIRED BY THE CITY OF WILLOWood SUCH AS V.T. SIGNS WILL NEED TO BE ADDED TO THE LOT STATION AT WILLOWood COTTAGES BEFORE THE CITY WILL TAKE OWNERSHIP.
 - 2) ALL UTILITY CONSTRUCTION AND MATERIALS SHALL MEET THE CITY OF WILLOWood UTILITY CONSTRUCTION SPECIFICATIONS AND STANDARDS.
 - 3) POTABLE WATER PIPES INSTALLED ABOVE A GRAVITY SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8' AS REQUIRED BY FDOT. POTABLE WATER PIPES INSTALLED BELOW A GRAVITY SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 12' AS REQUIRED BY FDOT.
 - 4) POTABLE WATER PIPES INSTALLED ABOVE OR BELOW A SANITARY FORCEMAIN SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 12' AS REQUIRED BY FDOT.
 - 5) POTABLE WATER AND GRAVITY SEWER PIPES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8' FROM STORMWATER PIPES AS REQUIRED BY FDOT.
 - 6) ALL 30\"/>

Date	Description	No.
5/16/2023	MODIFICATION TO APPROVED PLANS	2
11/22/2022	ADDED EASEMENTS	1

Revisions

08/21/2023
 SIGNATURE: ANDREW D. ELAND, JR.
 DATE SIGNED: 08/21/2023
 FLORIDA L.C. No. 69810

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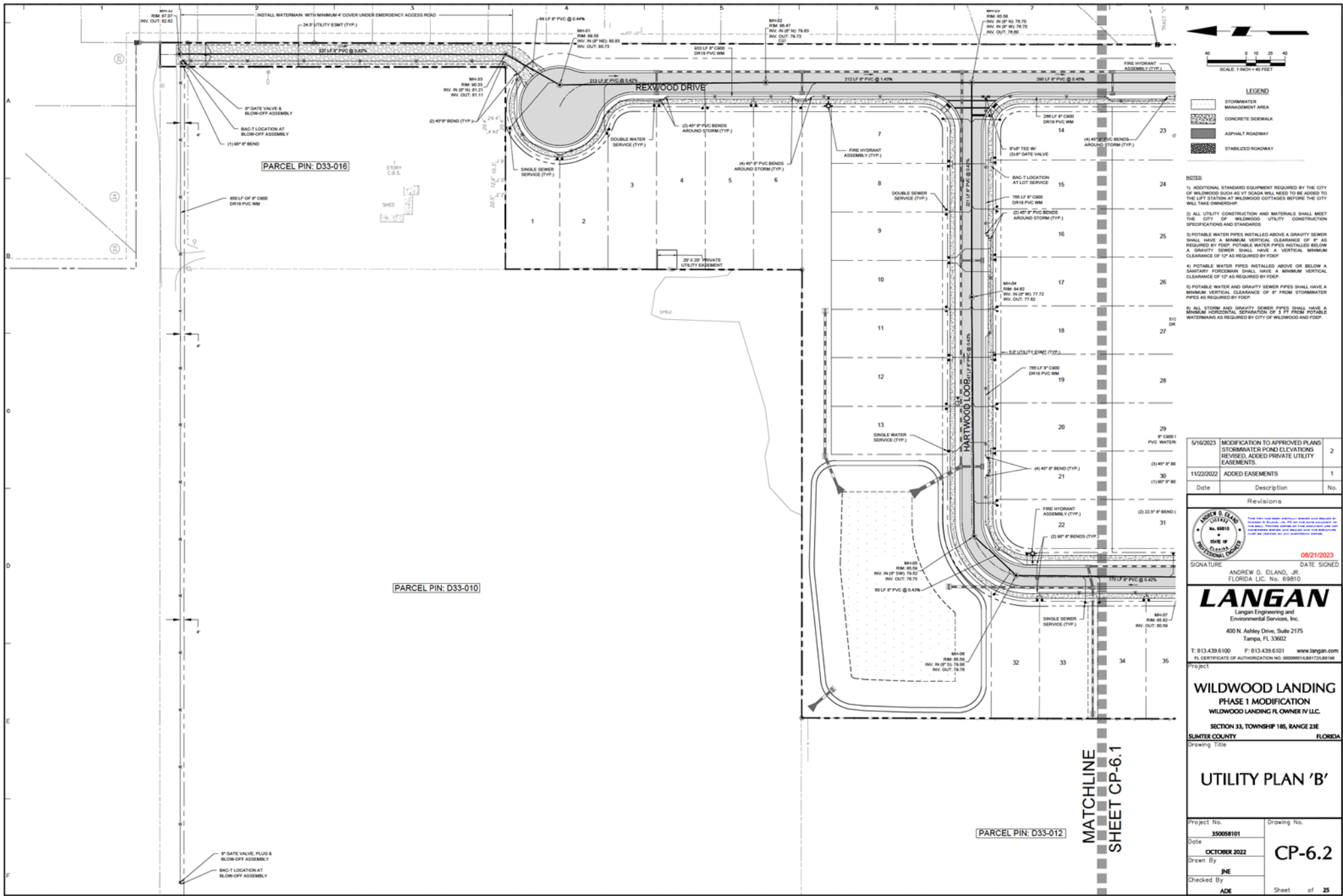
WILLOWood LANDING
 PHASE 1 MODIFICATION
 WILLOWood LANDING LOT OWNER IV LLC
 SECTION 33, TOWNSHIP 18S, RANGE 23E
 SUMTER COUNTY FLORIDA

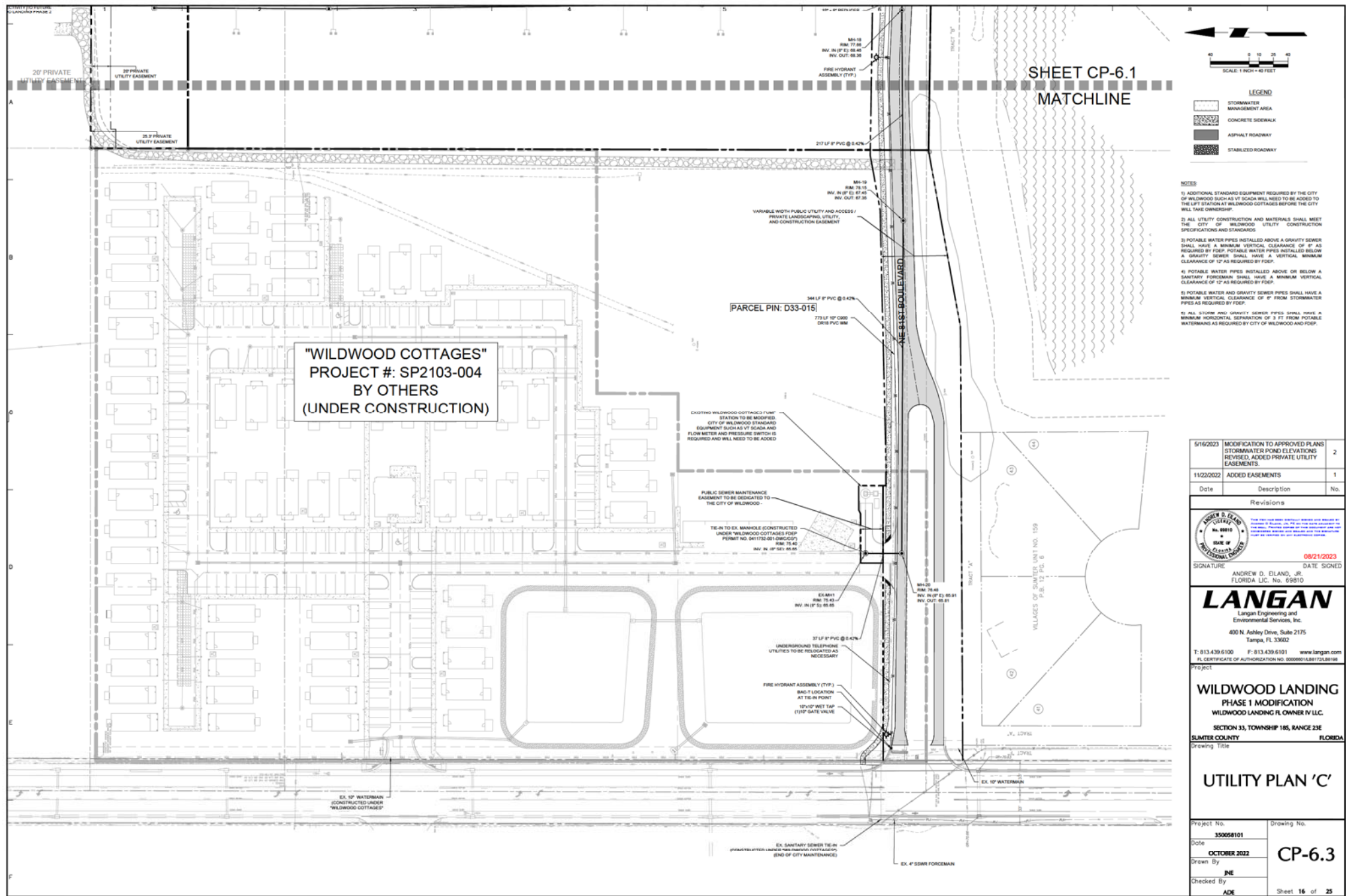
UTILITY PLAN 'A'

Project No. 350058101	Drawing No. CP-6.1
Date OCTOBER 2022	
Drawn By JNE	
Checked By ADE	
Sheet 14 of 25	

MATCHLINE
SHEET CP-6.3

**"WILLOWood LANDING PHASE 2"
 FUTURE IMPROVEMENT
 PLAN PROJECT**





5/16/2023	MODIFICATION TO APPROVED PLANS STORMWATER POND ELEVATIONS REVISED, ADDED PRIVATE UTILITY EASEMENTS	2
11/22/2022	ADDED EASEMENTS	1
Date	Description	No.
Revisions		
SIGNATURE	DATE SIGNED	
ANDREW D. ELANO, JR.	08/21/2023	
FLORIDA L.C. No. 69810		
LANGAN Langan Engineering and Environmental Services, Inc. 400 N. Ashley Drive, Suite 2175 Tampa, FL 33602 T: 813.439.6100 F: 813.439.6101 www.langan.com FL CERTIFICATE OF AUTHORIZATION NO. 00008814881702081808		
PROJECT		
WILDWOOD LANDING PHASE 1 MODIFICATION WILDWOOD LANDING FL OWNER IV LLC SECTION 33, TOWNSHIP 18S, RANGE 23E SUMTER COUNTY FLORIDA		
Drawing Title		
UTILITY PLAN 'C'		
Project No.	Drawing No.	
350058101	CP-6.3	
Date	Drawn By	
OCTOBER 2022	JNE	
Checked By	Sheet 16 of 25	
ADE		