



**PLANNING & ZONING BOARD - CITY OF WILDWOOD**  
**Special Magistrate – Lindsay C.T. Holt**

**Agenda**  
**Regular Meeting**  
**May 6, 2025 2:15 PM**  
City Hall Commission Chamber  
100 N Main Street

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Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

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F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

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**I. CALL TO ORDER: Planning & Zoning Board**

**II. APPROVAL OF SUMMARY MINUTES**

1. **Planning & Zoning Regular Meeting April 08, 2025, at 2:15 PM.**

**III. OLD BUSINESS**

**IV. NEW BUSINESS**

1. **A25-1154 RZ Mills Property**

**AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA, PROPOSING A SMALL-SCALE FUTURE LAND USE MAP AMENDMENT TO THE ADOPTED COMPREHENSIVE PLAN AND FUTURE LAND USE MAP IN ACCORDANCE WITH THE COMMUNITY PLANNING ACT OF 2011, AS AMENDED; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**Parcel G22A1825**

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (County) to MHP (City) for parcel G22A1825 on 0.479 acres MOL. **Staff recommends approval.**

2. **SP 2310-004 Wildwood Self Storage**

**Parcel G33-154**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a three-story self-service 101-250-square-foot storage building, providing for five parking spaces, including two (2) Florida ADA accessible parking spaces and three regular parking spaces, together with associated infrastructure such as landscaping buffers, loading area, storm water dry retention pond, site lighting improvements, and commercial driveway on 4.86 acres MOL, as per the attached plans. **The Project Review Committee recommends approval upon resolution of outstanding comments**

3. **SP 2405-001 Circle K US 301 & CR 462**

**Parcel D31A218**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a 5,200 square-foot Circle K building, 7 fueling pumps, 3 high speed diesel pumps, 25 parking spaces, and associated infrastructure on 3.28 acres MOL. **The Project Review Committee recommends approval**

4. **PLAT 2409-002 One Hundred (100) Oaks Improvement Plan**

**Parcels G19-011 & G30-048**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of the One Hundred (100) Oaks Subdivision, an improvement plan consisting of 305 single-family lots with associated infrastructure on 99.81 acres, MOL. The subdivision is proposing to include the following amenities on a separate site plan; community garden, grill area with picnic tables, playground, and nature trails. **The Project Review Committee recommends approval contingent on the resolution of outstanding comments. Staff recommends approval with development order stipulations.**

5. **PLAT 2410-004 Boulder Square Improvement Plan**

**Parcels F01-101, F01A008, G06-185, G06-186, & G06-187**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the Boulder Square Subdivision, an improvement plan consisting of 270 dwelling units with 178 single-family detached lots and 92 single-family attached lots with associated infrastructure on 84.10 acres, MOL. The subdivision proposes to include the following

amenities on a separate site plan; a community pool, a walking trail with exercise equipment, and a picnic area. **Project Review Committee recommends approval.**

**V. ADJOURNMENT**

**APPEAL: NECESSITY OF RECORD.** In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

**May 6, 2025 2:15 PM**

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

**SUBJECT:** Planning & Zoning Regular Meeting April 08, 2025, at 2:15 PM.

**REQUESTED ACTION:**

**CONTRACT:**

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

**BUDGET IMPACT:**

**HISTORY/FACTS/ISSUES:**

PLANNING & ZONING BOARD  
 CITY OF WILDWOOD, FLORIDA  
 REGULAR MEETING  
 April 8, 2025 2:15 PM  
 CITY HALL COMMISSION CHAMBER

(meeting taped)

**I. CALL TO ORDER: Planning & Zoning Board**

Attendee Name	Title	Status
Lindsay C.T. Holt	Special Magistrate	Present
Wendy Then	Assistant Development Services Director	Present
Amanda Bondi	Planner	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present
Jessica Barnes	City Clerk	Present
Brian Harrie	Lieutenant	Present

Special Magistrate Holt brought the meeting to order at 2:19 p.m. and explained the quasi-judicial process of the meeting. She then proceeded with the swearing-in of city staff and audience members.

**II. APPROVAL OF SUMMARY MINUTES**

1. Planning & Zoning Regular Meeting March 04, 2025, at 2:15 PM.

Special Magistrate Holt saw no revisions necessary and approved the summary minutes for the March 4, 2025, meeting.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

**III. OLD BUSINESS**

None.

**IV. NEW BUSINESS**

1. RZ 2404-002 Johary Real Estate

Special Magistrate Holt read aloud the title of RZ 2404-002 Johary Real Estate, O2025-9. Planner Page presented the zoning map amendment request to change the zoning district from RR-1 (County) to C-2 (City) for a 2-acre parcel (G29-008). The applicant proposed to repurpose an existing single-family structure as a small office. City water was available, but sewer was not; the existing septic system may need to be upgraded. The proposed use would produce less than 50 trips per day. Staff recommended approval. No public comments were received. Special

Magistrate Holt recommended approval of Ordinance O2025-9 to go to the City Commission for final determination.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

2. PJ # A25-0017 Naimat Jesus Inc Rezoning

Special Magistrate Holt read aloud the title of A25-0017 Naimat Jesus Inc Rezoning, O2025-11. Planner Bondi presented the zoning map amendment request to change the zoning district from RR1 (County) to CMU (City) for approximately 8 acres (parcels G29A141, G29A142, G29A143, G29A145, G29A146, & G29A147). The applicant proposed a 54,100-square-foot commercial building for medical, dental, office, restaurant, and retail use. The Transportation Impact Analysis was accepted by Sumter County. City water and sewer were available, but capacity was a concern. Staff recommended denial due to wastewater capacity issues. The applicant's representative, Mike Rankin of Land Planning Group, confirmed they would work with the city on a developer's agreement to address wastewater capacity concerns. No public comments were received. Special Magistrate Holt recommended approval of Ordinance O2025-11, contingent on a developer's agreement addressing wastewater capacity concerns.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

3. PJ #A25-0823 - Rezoning - 5127 CR 169

Special Magistrate Holt read aloud the title of A25-0823 - Rezoning - 5127 CR 169, O2025-14. Assistant Development Services Director Then presented the zoning map amendment request to change the zoning district from R6M (County) to MHP (City) for a 0.286-acre parcel (G15A098). The request was to address setback discrepancies for an existing single-family dwelling. The property was recently annexed into the City of Wildwood, and no additional impacts were expected. Staff recommended approval. The applicant was not present for the hearing. No public comments were received. Special Magistrate Holt recommended approval of Ordinance O2025-14 to go to the City Commission for final determination.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

4. SP 2408-001 708 N. Main Street

Special Magistrate Holt read aloud the title of SP 2408-001 708 N. Main Street. Planner Page presented the site plan for the construction of a 1,400 square-foot commercial office and retail building on a 0.302-acre parcel (G06C005). The applicant submitted a technical waiver request to be excused from the required loading space. The Project Review Committee recommended approval with revised elevations that met Design District Standards. The applicant's representative, Jason Hurley of Springstead Engineering, confirmed they would work with city staff on revised elevations. No public comments were received. Special Magistrate Holt

recommended approval, contingent on jointly agreeable revised elevations meeting Design District standards.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

**V. ADJOURNMENT**

With no further business to discuss, the meeting was adjourned at 2:38 p.m.

<b>RESULT:</b>	<b>Passed</b>
<b>MOVER:</b>	Special Magistrate Holt
<b>SECONDER:</b>	None
<b>AYES:</b>	Special Magistrate Holt

**APPEAL: NECESSITY OF RECORD.**

SEAL

PLANNING & ZONING BOARD  
CITY OF WILDWOOD, FLORIDA

\_\_\_\_\_  
Date

\_\_\_\_\_  
Lindsay C.T. Holt,  
Special Magistrate  
City of Wildwood, Florida

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

**SUBJECT:** A25-1154 RZ Mills Property

**REQUESTED ACTION:** Staff recommends approval.

**CONTRACT:** Vendor/Entity:  
Effective Date: Termination Date:  
Managing Division/Department:

**BUDGET IMPACT:**

**HISTORY/FACTS/ISSUES:**

<b>Case Number</b>	A25-1154 RZ Mills Property
<b>Ordinance Number</b>	O2025-19
<b>Owner(s)/Applicant(s)</b>	Richard and Janice Mills
<b>Property Location</b>	The subject property is generally located approximately 0.5 miles south of the intersection of E SR 44 and Continental Boulevard, addressed as 93 N. Bobwhite Road, Wildwood, FL 34785
<b>Parcel(s)</b>	G22A1825
<b>Date</b>	April 27, 2025

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (County) to MHP (City) for the parcel listed above on 0.479 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment 25-1153 (O2025-18).

**ANALYSIS:**

The applicant is proposing a single-family home for residential use.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to MHP should be granted based on the following criteria:

**(a) Whether the proposed change is consistent with the comprehensive plan;**

The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation of Mobile Home Park and the intent of the Comprehensive Plan as stated in FLU

Policy 1.2.7.

**(b) The existing land use pattern of the surrounding area:**

The land use pattern of the surrounding area is residential. The proposed MHP zoning designation will serve as a transition in this area and provide city residents and provide different housing types.

**(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc;**

**Schools:** The subject parcel is located within the Continental Country Club Development, which is a 55+, adult-lifestyle residential community. While it's not expected that the mobile home replacement will generate school-age children, a typical mobile home structure could generate 0.286 school-age children, with the maximum school-aged children being up to one (1) student.

**Potable Water & Sewer:** The subject property is located within 1,000 feet of utilities, and is already serviced by City Utilities.

**Streets:** The property has access off of N Bobwhite Road. The applicant has applied for an exemption from the TIA submittal, which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

**(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;**

Justification has been presented to the city to support the proposed development, highlighting that the subject parcel is located within the City's Joint Planning Area with Sumter County. The rezoning is necessary to accommodate the proposed use of the property, as the applicant intends to construct a replacement mobile home, and to bring the property into compliance with the proposed Future Land Use designation.

**(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;**

The proposed replacement mobile home will not increase traffic congestion or otherwise be a detriment to public safety. The replacement mobile home will generate the same amount of traffic as the existing structure.

**(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;**

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	R6M (County)
SOUTH	R6M (County)
EAST	RR1C(County)
WEST	N. Bobwhite Road/R6M (County)

If the rezoning is approved, the applicant will be required to submit a site plan to the city prior

to development. The site plan will need to follow requirements established in the City's Land Development Regulations and the Design District Standards as well as any Planned Development Agreements or Developer's Agreements that may be needed.

**The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2025-19 to be forwarded to the City Commission for further action, subject to the approval of O2025-18, which establishes a future land use appropriate for the proposed zoning.**

A handwritten signature in black ink, appearing to read 'MP', with a stylized flourish extending to the right.

**McKenna Page  
Planner I, Development Services**

**ORDINANCE NO. 02025-19**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA, PROPOSING A SMALL-SCALE FUTURE LAND USE MAP AMENDMENT TO THE ADOPTED COMPREHENSIVE PLAN AND FUTURE LAND USE MAP IN ACCORDANCE WITH THE COMMUNITY PLANNING ACT OF 2011, AS AMENDED; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City of Wildwood, Florida, is proposing to amend the local Comprehensive Plan and Future Land Use Map of said City, to include a land use amendment described as follows, to-wit:

**G22A1825**  
**MILLS RICHARD S & JANICE**  
**0.479 +/-**

**LEGAL DESCRIPTION:**

Lot 25 in Block 18 of Continental Camper Resorts, Incorporated Subdivision, Replat of Unit One, recorded in Plat Book 3, page 52,, Public Records of Sumter County, Florida.

ALSO, begin at the most Northerly corner of Lot 25, Block 18 and run North 40°09'10" East along an extension of the most Northerly line of said Lot 25, a distance of 10 feet, thence run Southeasterly parallel to the Northeasterly line of Lot 25 a distance of 127.92 feet to a point that is an extension of the Southeasterly line of said Lot 25, thence run South 70°09'10" West along the extension of Lot 25 a distance of 10 feet to the most Northeasterly corner of said Lot 25, run thence along the Northeasterly Lot line of Lot 25 a distance of 122.68 feet to the point of beginning.

ALSO, For a Point of Reference, begin at the Southeast corner of Lot 25, Block 18, Continental Camper Resorts, Inc., Subdivision, as recorded in Plat Book 3, Page 52E, of the Public Records of Sumter County, Florida; proceed thence along an extension of the South line of Lot 25, North 70°09'10" East, 10.00 feet to the Point of Beginning. From the Point of Beginning thus described, proceed Northerly along the arc of a curve concave Southwesterly, having a central angle of 30°00'00", a radius of 244.31 feet and a tangent of 65.46 feet; 127.92 feet to a point, said point being located North 40°09'10" East, 10.00 feet from the Northeasterly corner of Lot 25; proceed thence North 40°09'10" East, 10.00 feet from the Northeasterly corner of Lot 25; proceed thence North 40°09'10" East, 75.00 feet to a point on a curve concave Southwesterly and having a radius of 319.31 feet; proceed thence southerly along the arc of said curve 150 feet more or less to the intersection of said curve with the Northerly right of way of Robin Road as recorded in

Continental Camper Resorts, Inc., Subdivision, Plat Book 3, Page 52E, of the Public Records of Sumter County, Florida, said point being on a curve concave Southerly having a radius of 73.00 feet; proceed thence Southwesterly along the arc of said curve 53 feet more or less to the intersection of the extension of the South line of Lot 25, and the Northerly right of way of said Robin Road; proceed thence along said extension South 70°09'10" West, 29 feet more or less to the Point of Beginning.

This property is to be reclassified from R6M (County) to MHP (City).

**AND WHEREAS**, the City is proposing to amend the Future Land Use Map to include the future land use of property that shall pertain and be applicable to said amendment.

**NOW, THEREFORE, BE IT ENACTED AND ORDAINED** by the City Commission of the City of Wildwood, Florida, as follows:

**SECTION 1.** The adopted local Comprehensive Plan and Future Land Use Map for the City of Wildwood, Florida, are hereby amended to include the above-referenced property and proposed land use amendment as indicated above. The amendment to the Future Land Use Map of the local comprehensive plan is attached hereto as "Exhibit A" and incorporated herein by reference.

**SECTION 2.** All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

**SECTION 3.** If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by a Court or competent jurisdiction, then said holding shall in no way effect the validity of the remaining portions of said Ordinance.

**SECTION 4.** This Ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

**SECTION 5. SCRIVENER'S ERROR.** The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

**DONE AND ORDAINED** this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA**

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Ed Wolf, Mayor

ATTEST: \_\_\_\_\_  
Jessica Barnes, City Clerk

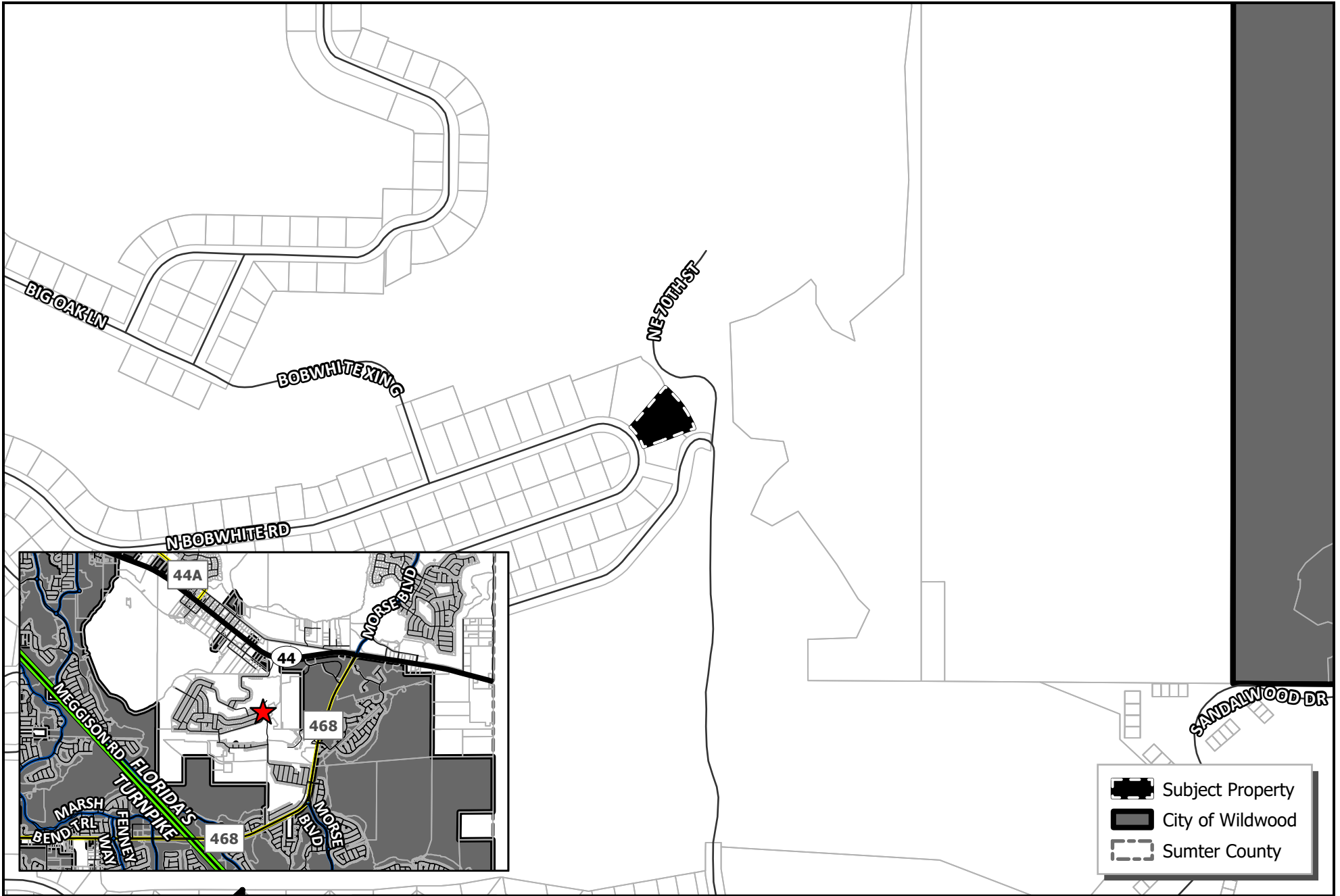
First Reading: \_\_\_\_\_

Second Reading: \_\_\_\_\_

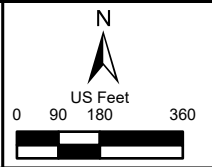
Approved as to form:

\_\_\_\_\_  
City Attorney

EXHIBIT A

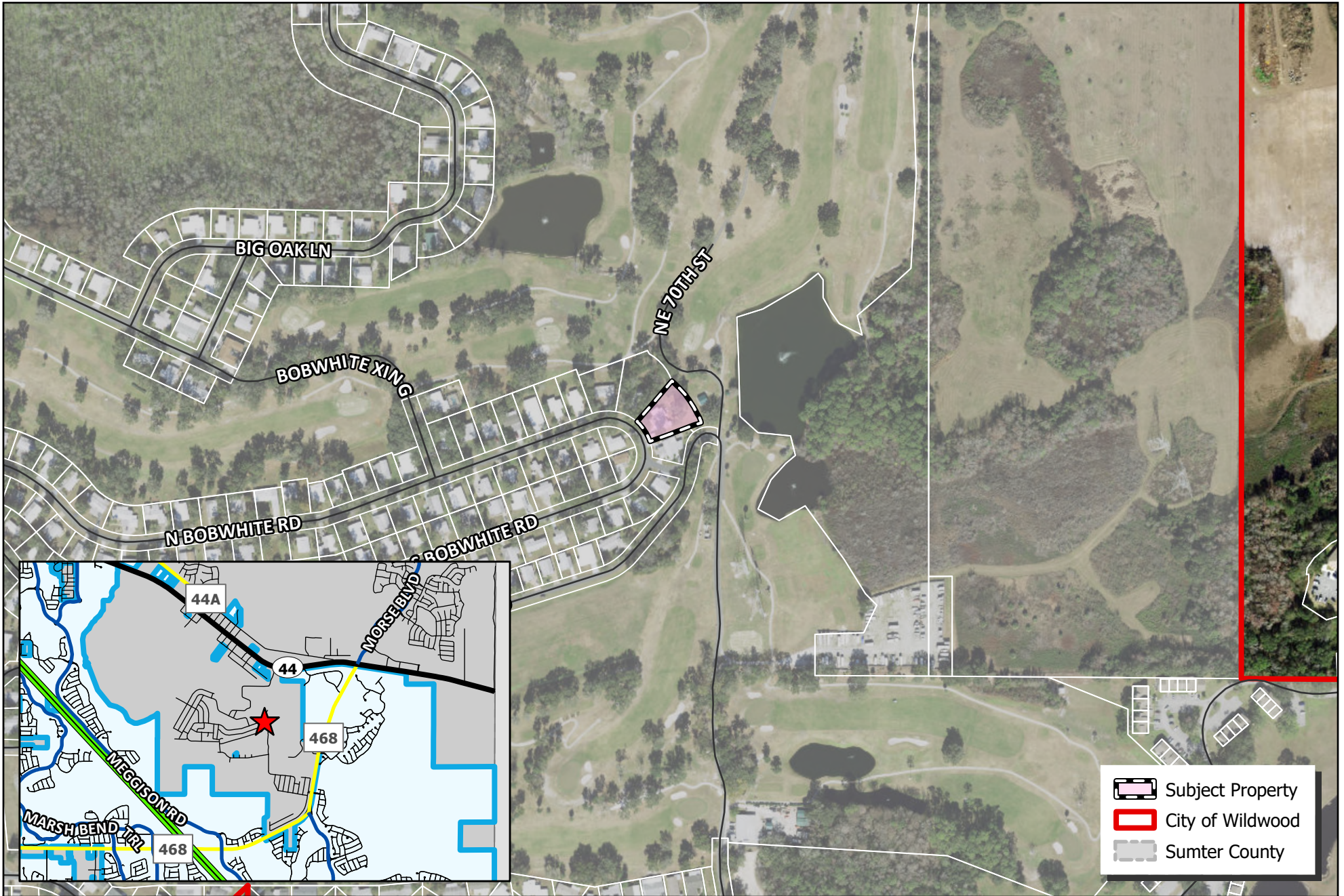


**CITY OF WILDWOOD**  
 100 North Main Street  
 Wildwood, FL 34785  
 Phone: (352) 330-1330  
 www.wildwood-fl.gov

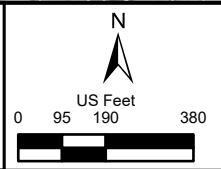


#A25-1154  
**MILLS PROPERTY**  
 PARCEL G22A1825

**MAP 1A**  
**LOCATION**  
**MAP**  
**APR 2025**

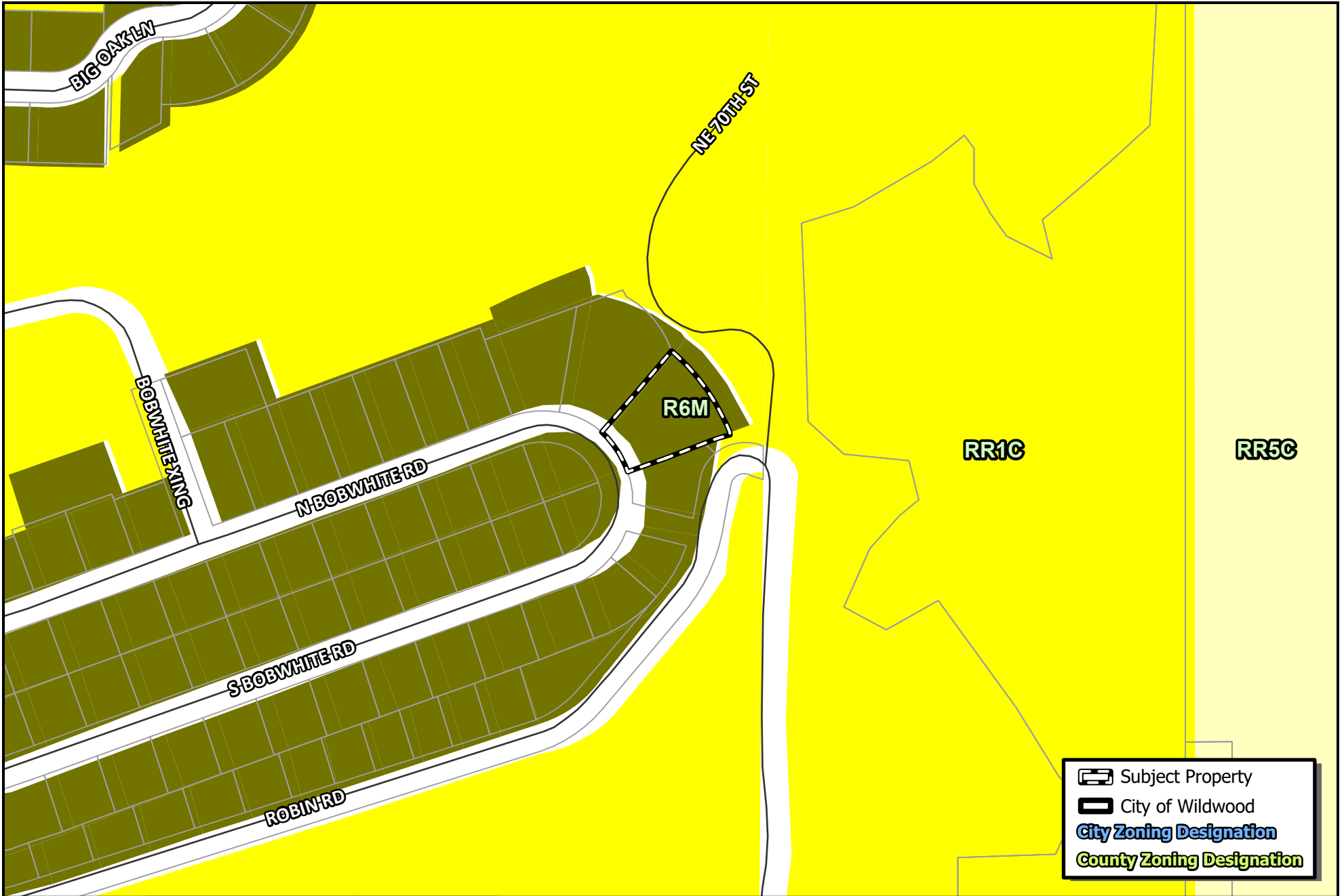


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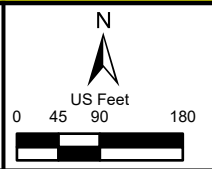


#A25-1154  
**MILLS PROPERTY**  
 PARCEL G22A1825

**MAP 1B**  
**LOCATION**  
**MAP**  
**APR 2025**

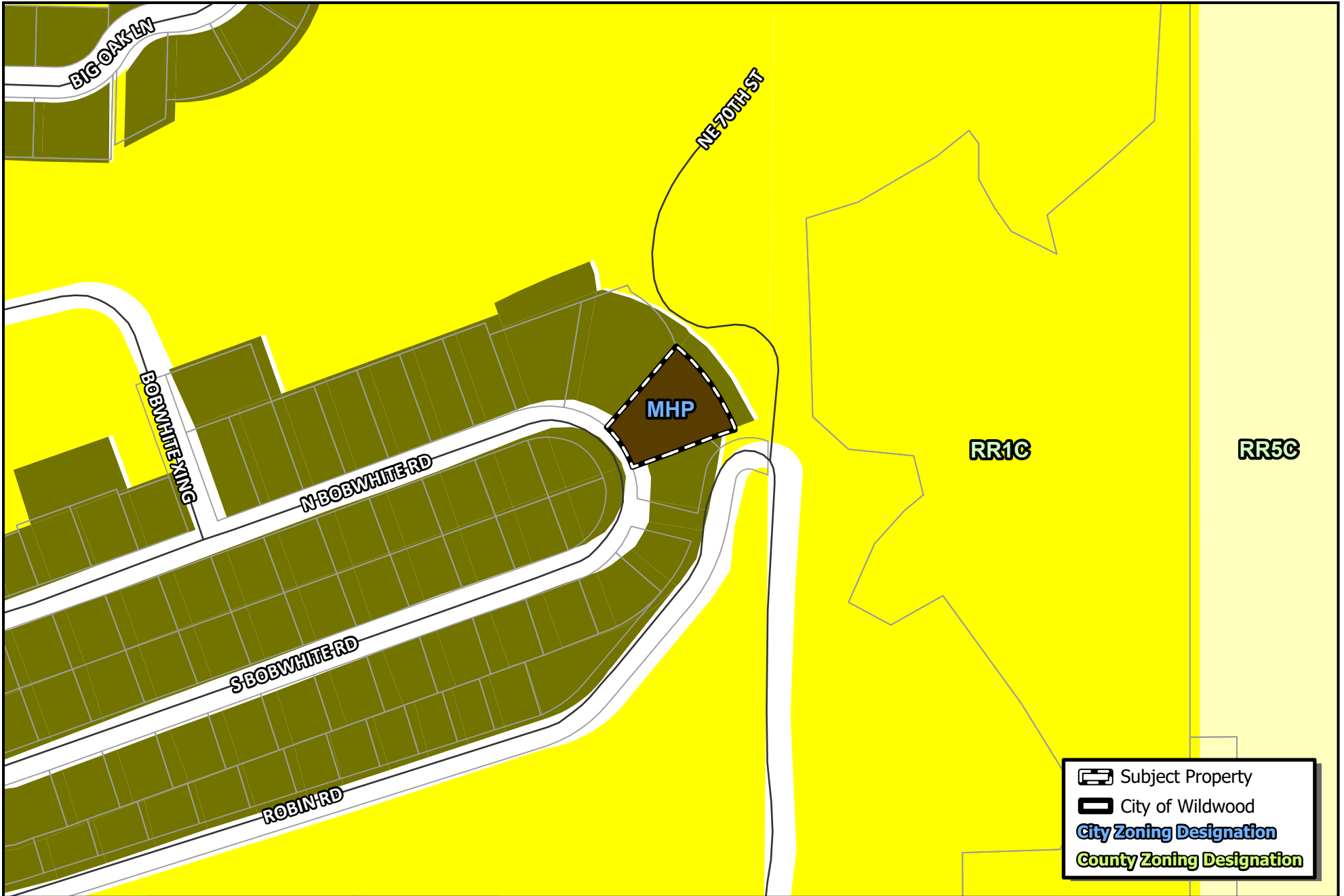


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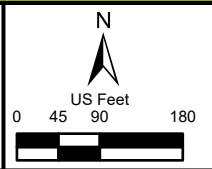


#A25-1154  
**MILLS PROPERTY**  
 PARCEL G22A1825

**MAP 3A**  
**EXISTING ZONING**  
**APR 2025**



**CITY OF WILDWOOD**  
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#A25-1154  
**MILLS PROPERTY**  
 PARCEL G22A1528

**MAP 3B**  
**PROPOSED ZONING**  
**APR 2025**



## **Business Impact Estimate**

*This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.*

Proposed ordinance's title/reference: O2025-19

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law<sup>1</sup> for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
  - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
  - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
  - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
  - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

<sup>1</sup> See Section 166.041(4)(c), Florida Statutes.

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD**  
**EXECUTIVE SUMMARY**

**SUBJECT:** SP 2310-004 Wildwood Self Storage

**REQUESTED ACTION:** The Project Review Committee recommends approval upon resolution of outstanding comments

**CONTRACT:**

**BUDGET IMPACT:**

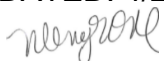
**HISTORY/FACTS/ISSUES:**

Case No	SP 2310-004 Wildwood Self Storage
Parcel Number	G33-154
Acreage	4.86 Acres, MOL
Property Location	The property is addressed as 6022 Marsh Bend Trail, Wildwood, FL 34785, approximately 2.0 miles south of E C 470
Owner	Wildwood Climate Storage, LLC
Applicant	Sylvie Germana with The Contineo Group

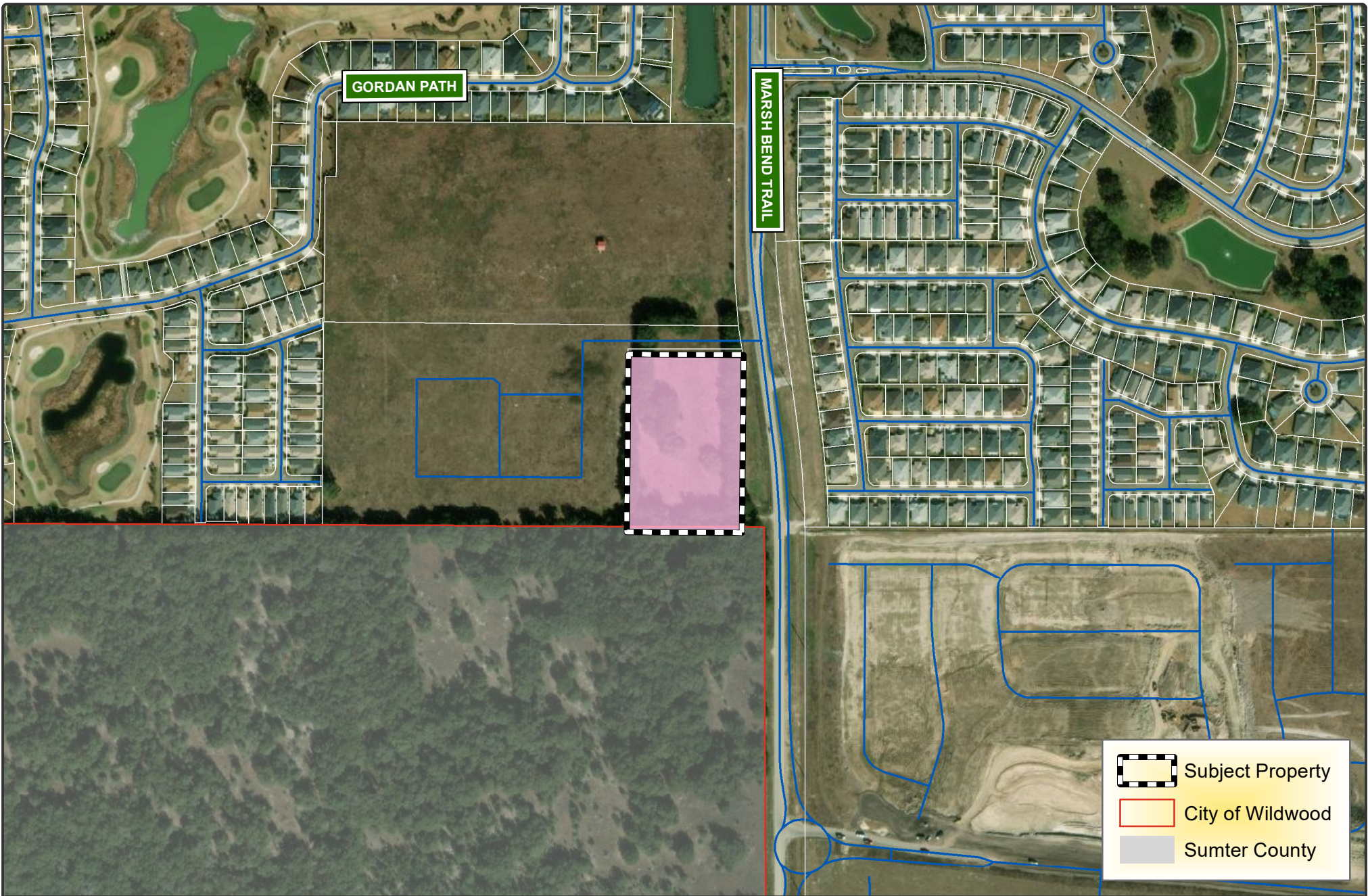
The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a three-story self-service 101,250-square-foot storage building, providing for five parking spaces, including two (2) Florida ADA accessible parking spaces and three regular parking spaces, together with associated infrastructure such as landscaping buffers, loading area, storm water dry retention pond, site lighting improvements, and commercial driveway on 4.86 acres MOL, as per the attached plans. There is a portion of the parcel that will remain undeveloped. The site has been reviewed to be in compliance with Planned Development Ordinance O2023-19.




As of the writing of this report, the applicant has one comment from the City Attorney and a couple of minor comments from the Utilities Dept. Please see the comment review sheet report enclosed. Once the outstanding comments are addressed, SP 2310-004 is expected to meet the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies within the 2050 Comprehensive Plan.

DATED: 4/25/2025



Wendy Then, AICP, CFM  
Assistant Director Development Services

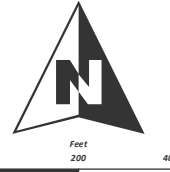


	Subject Property
	City of Wildwood
	Sumter County



**WILDWOOD**  
FLORIDA

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Feet  
0 200 400

**SP 2310-004**  
**WILDWOOD SELF STORAGE**  
**PARCEL G33-154**

**MAP 1B**  
**LOCATION**  
**MAP**  
**OCTOBER**  
**2023**



# WILDWOOD FLORIDA

City of Wildwood

Project #: SP 2310-004 Wildwood Self Storage

Parcel G33-154

Representative: Jake Michael w/ The Contineo Group

04/03/2025

**\*\*\*PLEASE NOTE: Two hard copies of plans, along with the electronic copy are required with every submittal. Partial submittals are not accepted.\*\*\***

## CITY ENGINEER

No comments.

## DEVELOPMENT SERVICES

No comments.

## CITY ATTORNEY:

1. New Comment: The legal description on the site plan does not match the legal description on the Title of Opinion document. Please note legal description on the site plan references Alachua County not Sumter County.
2. City attorney reserves the right to make further comments upon resubmittal (Standing Comment)
  - A. Standing Comment.
    - I. **RESPONSE: Understood.**
      - a. **Standing Comment.**

## FIRE

No comments.

## POLICE

**Standing Comment regarding traffic control devices for all development in the City of Wildwood:**

1. All traffic control signals, or devices must comply with the Florida State Statutes regarding the installation.

2. All traffic control signals, or devices must conform to the manual and specifications published by the Florida Department of Transportation, to include but not limited to signs size and height.

## **PUBLIC WORKS (WILDWOOD)**

### **Public Works Road**

No comment.

### **Stormwater / Tree Mitigation**

#### **Standing Comment.**

No comment.

## **SUMTER COUNTY PUBLIC WORKS– ROADS AND BRIDGES &TRAFFIC ANALYSIS**

No comments.

## **UTILITIES – WATER/WASTEWATER**

3. Sheet C503, Lift Station Design:
  - a) Please refer to the City of Wildwood Sanitary Sewer Detail Sheet S-22 and S-23 for required stainless steel check valve and connection to the city's existing force main.
4. Sheet C500, Utility Plan:
  - a) The plan shows "Future Use Potential" to be permitted separately. So, is the current design for the lift station at 30 gpm included with the out parcel? Please provide the total lift station design flow for the entire buildout of the project.
  - b) Please provide the water/sewer service connections for the "future use potential" parcel, revise plan.

### **Utilities Miscellaneous – Standing Comment**

1. A construction cost estimate must be provided for all utility construction. Unit costs shall be per the City website.
2. Contractor shall schedule a pre-construction meeting with the Utility Department 2 weeks prior to the start of construction and prior to any materials being delivered on-site.

# WILDWOOD CLIMATE STORAGE

6022 MARSH BEND TRAIL  
WILDWOOD, FL 34785  
PARCEL ID: G33-154  
CITY OF WILDWOOD CONSTRUCTION:

## UTILITY SERVICE PROVIDERS

**WATER**  
CITY OF WILDWOOD  
100 N. MAIN STREET  
WILDWOOD, FL 34785  
352.330.1336

**SEWER**  
CITY OF WILDWOOD  
100 N. MAIN STREET  
WILDWOOD, FL 34785  
352.330.1336

**ELECTRIC**  
FLORIDA POWER & LIGHTS  
PO BOX 301  
SMITHVILLE, FL 33565-0301  
352.793.3801

**STORMWATER**  
SOUTHWEST FLORIDA WATER  
MANAGEMENT DISTRICT  
2370 BROAD STREET  
BROOKSVILLE, FL 34604  
352.785.1251

**FIRE PROTECTION**  
SUMNER COUNTY FIRE STATION 21  
1448 CR 454  
LAKE PANASOFFKEE, FL 33538  
772.287.1177

**SOLID WASTE**  
SUMNER COUNTY SOLID WASTE  
818 CR 529  
LAKE PANASOFFKEE, FL 33538  
352.688.4401



**CONTINEO GROUP**  
755 COMMERCIE DRIVE  
SUITE 800  
ATLANTA, GA 30303  
404.567.7221  
www.rongcgroup.com



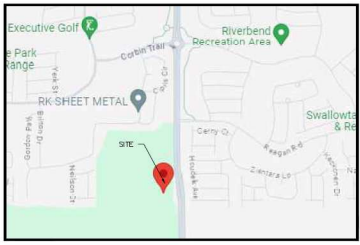
**FOUNDRY INVESTMENT GROUP**  
1575 NORTHSIDE DRIVE, NW, ATLANTA, GA 30318  
CONTACT: BRAD DANNENBAUM  
TEL: (770) 849-6826

**WILDWOOD CLIMATE STORAGE**  
ISSUED FOR: CONSTRUCTION  
JURISDICTION: CITY OF WILDWOOD  
LOCATION: 6022 MARSH BEND TRAIL WILDWOOD, FL 34785

NO.	DATE	REVISIONS

DRAWN: JRM CHECK: RTC  
JOB NO: 23-299 DATE: 11/20/24

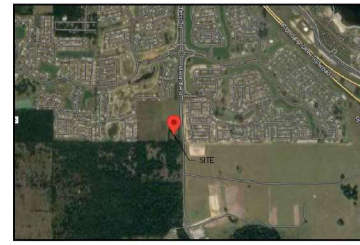
**COVER SHEET C100**



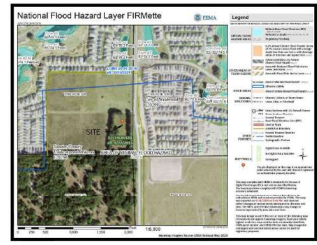
**VICINITY MAP**  
SCALE: 1" = 1000'



**USGS QUAD MAP**  
NTS



**AERIAL MAP**  
NTS



**FEMA MAP**  
NTS

## SCOPE OF WORK

THE PROPOSED PROJECT INVOLVES THE DEVELOPMENT OF A NEW 3 STORY SELF STORAGE FACILITY AS WELL AS THE ASSOCIATED UTILITIES. A STORMWATER POND WILL BE CONSTRUCTED TO SERVE THE PARCEL AS WELL AS A FUTURE OUTPARCEL.

## GENERAL NOTES:

- CONTRACTOR'S RESPONSIBILITY TO INCLUDE, BUT NOT LIMITED TO:
  - CAUSE THE WORK TO BE COMPLETED PER FEDERAL, STATE AND LOCAL CODES DURING ALL PHASES OF THE PROJECT.
  - VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND SEQUENCING OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
  - COORDINATE WITH UTILITY PROVIDERS TO CONFIRM THE LOCATION OF EXISTING AND PROPOSED SERVICES WILL BE ADEQUATE FOR THE DEVELOPMENT. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING UTILITY LOCATIONS AND PROPOSED LOCATIONS ARE APPROXIMATE IN NATURE.
  - CONSTRUCTION LIMITS SHALL BE PROPERLY MARKED AND BARRIERS CREATED AS NECESSARY TO PROTECT CONSTRUCTION PERSONNEL AS WELL AS THE PUBLIC, OWNER AND ALL OTHER CONCERNING STAKEHOLDERS.
  - PROVISION OF ALL NECESSARY WORK IN ORDER TO CAUSE THE PROJECT TO BE COMPLETED WHETHER OR NOT THE WORK IS SPECIFICALLY DESCRIBED WITHIN THE PROJECT DESIGNS OR REQUIRED BY REGULATION IN THE COURSE OF WORK.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT.
  - DEMOLITION RESPONSIBILITIES:
    - CONSTRUCTION DEMERS AND REFUSE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION LOCATION UNDER MEANS THAT APPLIES TO FEDERAL, STATE AND LOCAL REGULATIONS. UNDER NO CIRCUMSTANCES SHALL REFUSE MANAGEMENT COMPROMISE THE DELIVERY SCHEDULE OR QUALITY OF THE PROJECT.
    - FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE APPLIED TO ALL TIMES DURING DEMOLITION.
    - BEFORE TO DEMOLITION COMMENCEMENT, CONTACT LOCAL "CALL DIG" SERVICES.
    - PROPER SHIELDING AND BARRIERS SHALL BE UTILIZED FOR ALL EXCAVATIONS AT ALL TIMES. COMPLETELY FILL ALL EXCAVATIONS AT THE END OF EACH DAY.
    - BURNING OF MATERIALS IS PROHIBITED EXCEPT BY ORDER FROM GOVERNING AGENCY.
    - EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITION. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
    - EROSION CONTROL MEASURES DURING DEMOLITION PHASE SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT PER FEDERAL, STATE AND LOCAL CODES. NO ENTAILMENTS OR DISTURBANCES SHALL BE CAUSED TO HAPPEN UNTIL ALL APPROPRIATE MEASURES HAVE BEEN PUT INTO PLACE.
  - CONTRACTOR SHALL PERIODICALLY SLEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ADJUTING CITY STREETS, COUNTY ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THESE SURFACES IN A SUBSTANTIALLY SEASONED-FREE CONDITION. SLEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
  - ALL MATERIALS, MACHINERY AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
  - OWNER WILL MAINTAIN STORM SYSTEM.
  - ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
  - ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SOODED FOLLOWING FINAL GRADING, ALLOW FOR THICKNESS OF SOIL WITH A 2-INCH UNDERCUT. SOIL SHALL BE ARGENTINE BAHIA, AND SHALL BE PROBABLY IN REVERSE ORDER OF CONSTRUCTION SEQUENCING.
  - CONTRACTOR SHALL SCHEDULE A PRE CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT 2 WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.

SITE SUMMARY	
ZONING	C-2 (COMMERCIAL)
ORDINANCE NO.	02022-100 / 02023-19
DESIGN DISTRICT	INDOOR SELF-STORAGE
TOTAL PARCEL AREA	4.85 AC (211,190-SF)
TYPE OF CONSTRUCTION	TYPE II
FLOOD ZONE DESIGNATION	Zone X
ALLOWABLE BLDG. SIZE	105,850-SF
PROPOSED BLDG. SIZE	101,250-SF
MIN. OPEN SPACE	20% (42,250-SF)
OPEN SPACE PROVIDED	42,250-SF
ALLOWABLE FAR	0.5
FAR PROVIDED	0.5
FRONT SETBACK	25'
REAR SETBACK, INTERIOR	15'
REAR SETBACK	15'
LANDSCAPE BUFFER	20' PERIMETER
BUILDING HEIGHT	4+2 (3-STORY)
REQUIRED PARKING	MIN. 4
EMPLOYEES ON SITE	0-2
PARKING REQUIRED BASED ON ORDINANCE NO. 02023-19: INDOOR STORAGE - 4 MINIMUM	

**DESCRIPTION:**  
(AS PREPARED BY THIS SURVEYOR)

A TRACT OF LAND SITUATED IN SECTION 17, TOWNSHIP 9 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE AFORESAID SECTION 17, TOWNSHIP 9 SOUTH, RANGE 19 EAST, FOR THE POINT OF REFERENCE AND RUN N 00 DEG 56'13" W, ALONG THE WEST LINE OF SAID SECTION 17, A DISTANCE OF 120.19 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORD BOOK 2339, PAGE 349 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA AND BEING THE TRUE POINT OF BEGINNING; THENCE RUN N 89 DEG 02'02" W, A DISTANCE OF 809.80 FEET TO THE NORTHEAST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2339, PAGE 349, SAID NORTHEAST CORNER LOCATED ON THE WEST RIGHT OF WAY LINE OF SAID PUBLIC RECORDS; THENCE RUN N 05 DEG 27'11" E, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 263.91 FEET TO THE BEGINNING OF A CURVE CONSISTING OF SAID CURVE HAVING A RADIUS OF 2815.00 FEET; THENCE RUN N 07 DEG 52'36" E, ALONG SAID WEST RIGHT OF WAY LINE AND WITH SAID CURVE, THROUGH AN ARC ANGLE OF 08 DEG 02'22", AN ARC DISTANCE OF 316.21 FEET (COLOR BEARING AND DISTANCE OF N 02 DEG 14'34" E, 316.21 FEET RESPECTIVELY) TO THE END OF SAID CURVE; THENCE RUN N 00 DEG 57'5" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 879.87 FEET TO THE INTERSECTION OF SAID WEST RIGHT OF WAY LINE WITH THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 232 (ALSO KNOWN AS MILLER ROAD) (RIGHT OF WAY WIDTH VARIES); THENCE RUN S 89 DEG 32'48" W, ALONG SAID SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 232, A DISTANCE OF 258.32 FEET; THENCE RUN N 89 DEG 02'02" W, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 385.45 FEET; THENCE RUN N 07 DEG 52'36" E, ALONG SAID SOUTH RIGHT OF WAY LINE OF WAY WITH AN ARC ANGLE OF 14 DEG 00'00", AN ARC DISTANCE OF 349.94 FEET TO THE EAST BOUNDARY OF THE HAMMOCK UNIT NO. 2, A SUBDIVISION AS PER PLAT THEREOF RECORDED IN PLAT BOOK "J", PAGE 49 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID EAST BOUNDARY OF THE HAMMOCK UNIT NO. 2 ALSO BEING THE AFORESAID WEST LINE OF SECTION 17; THENCE RUN S 00 DEG 50'31" E, ALONG SAID EAST BOUNDARY OF THE HAMMOCK UNIT NO. 2 AND ALONG SAID WEST LINE OF SECTION 17, A DISTANCE OF 1233.78 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 27.06 ACRES MORE OR LESS.

- C100 COVER SHEET
- C200 SITE PLAN
- C300 GRADING PLAN
- C400 DRAINAGE PLAN
- C401 DRAINAGE PROFILES
- C500 UTILITY PLAN
- C501 SANITARY PROFILES
- C502 LIFT STATION DESIGN
- C503 LIFT STATION DESIGN
- C504 LIFT STATION DESIGN
- C600 DEMO + EROSION CONTROL PHASE 1
- C601 EROSION CONTROL PHASE 2
- C602 EROSION CONTROL PHASE 3
- C700 STANDARD DETAILS
- C701 STANDARD DETAILS
- C702 STANDARD DETAILS
- C703 STANDARD DETAILS
- C704 STANDARD DETAILS
- C705 STANDARD DETAILS

- C800 GEOTECHNICAL REPORT
- C801 GEOTECHNICAL REPORT
- C802 GEOTECHNICAL REPORT

- LS-1 LANDSCAPE PLAN
- E-1 PHOTOMETRIC PLAN
- S-1 SURVEY
- S-2 SURVEY

- C100 COVER SHEET
- C200 SITE PLAN
- C300 GRADING PLAN
- C400 DRAINAGE PLAN
- C401 DRAINAGE PROFILES
- C500 UTILITY PLAN
- C501 SANITARY PROFILES
- C502 LIFT STATION DESIGN
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- C600 DEMO + EROSION CONTROL PHASE 1
- C601 EROSION CONTROL PHASE 2
- C602 EROSION CONTROL PHASE 3
- C700 STANDARD DETAILS
- C701 STANDARD DETAILS
- C702 STANDARD DETAILS
- C703 STANDARD DETAILS
- C704 STANDARD DETAILS
- C705 STANDARD DETAILS
- C800 GEOTECHNICAL REPORT
- C801 GEOTECHNICAL REPORT
- C802 GEOTECHNICAL REPORT

## AUTHORIZED AGENT

**Sylvie Germana**  
755 COMMERCIE DRIVE  
SUITE 800  
ATLANTA, GA 30303  
PHONE: (754) 245-7992

**LAND OWNER**  
WILDWOOD CLIMATE STORAGE, LLC

## PROJECT DEVELOPER

**Nicholas West**  
ATC, SUITE 408  
1575 NORTHSIDE DRIVE NW  
ATLANTA, GA 30318  
CONTACT: NICHOLAS WEST  
PHONE: 706-540-6375  
E-MAIL: NWEST@FOUNDRIY.COM

## PROJECT CIVIL ENGINEER

**CONTINEO GROUP, LLC**  
755 COMMERCIE DRIVE  
SUITE 800  
ATLANTA, GA 30303  
CONTACT: RON GRUMP, P.E.  
PHONE: (404) 556-7221  
E-MAIL: RONG@THECONTINEOGROUP.COM

## PROJECT LANDSCAPE ARCHITECT

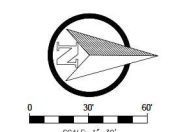
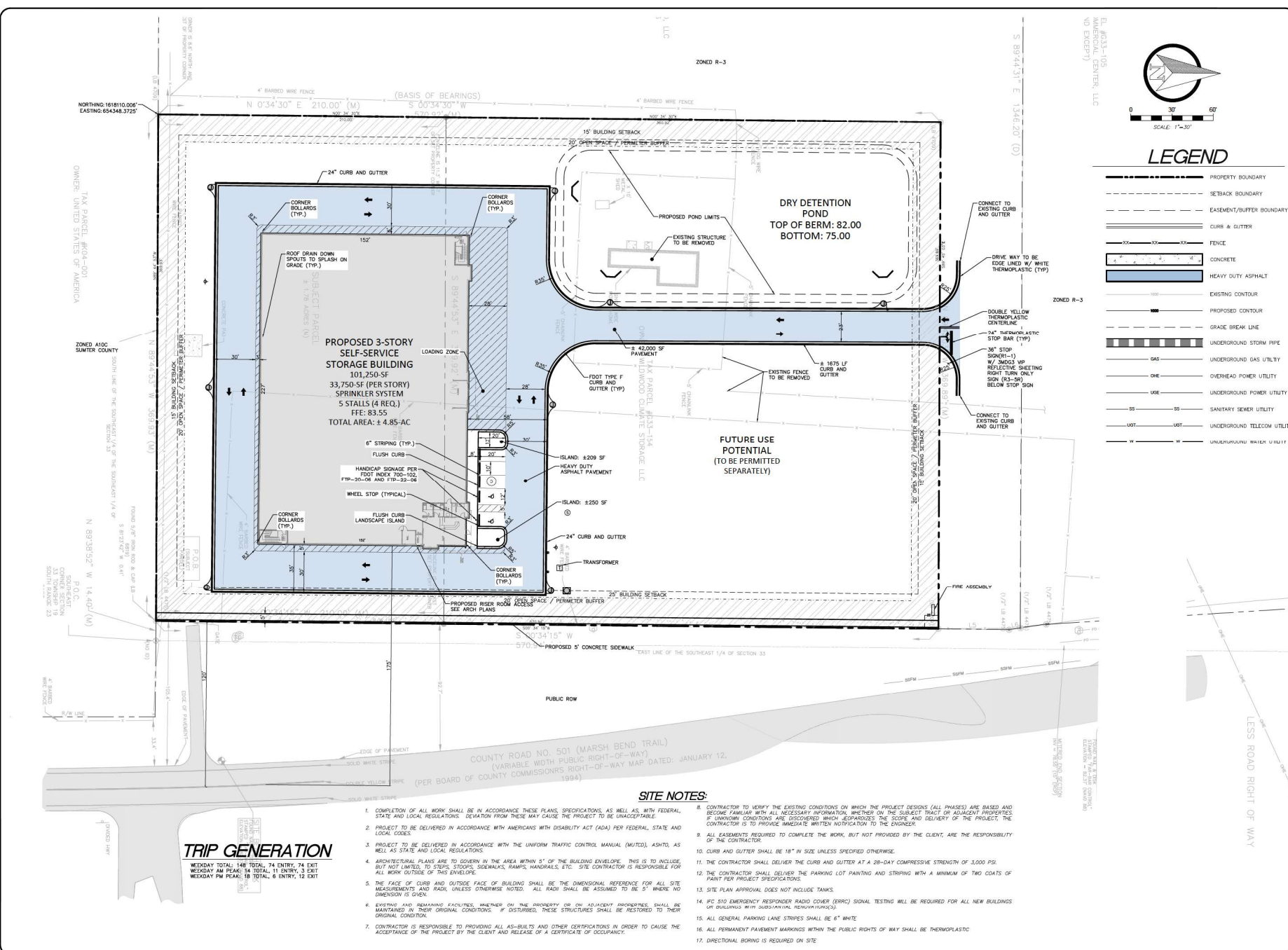
**RAA DESIGN, LLC**  
11385 OLD ROSWELL ROAD  
ALPHARETTA, GA 30009  
CONTACT: RAY MYERS  
PHONE: (770) 846-9745  
E-MAIL: RMYERS@RAA-DESIGN.COM

APPLICABLE PERMIT STATUS  
SWFWM APPROVED

24-HOUR CONTACT: BRAD DANNENBAUM  
(404-992-6237)

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**LEGEND**

---	PROPERTY BOUNDARY
- - - -	SETBACK BOUNDARY
- · - · -	EASEMENT/BUFFER BOUNDARY
==	CURB & GUTTER
---	FENCE
▬	CONCRETE
▬	HEAVY DUTY ASPHALT
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	GRADE BREAK LINE
---	GAS
---	UNDERGROUND GAS UTILITY
---	OVERHEAD POWER UTILITY
---	UNDERGROUND POWER UTILITY
---	SANITARY SEWER UTILITY
---	UNDERGROUND TELECOM UTILITY
---	UNDERGROUND WATER UTILITY



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 404.387.7271  
 www.continuedgroup.com

**FOUNDRY INVESTMENT GROUP**  
 1575 MORRISSE DRIVE, NW, ATLANTA, GA 30118  
 CONTACT: BOB DUNN@BOB DUNN GROUP  
 TEL: (770) 469-6826

**WILMODO CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILMODO  
 LOCATION: 6022 MARSH BEND TRAIL, WILMODO, FL 34785

#	DATE	REVISIONS

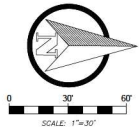
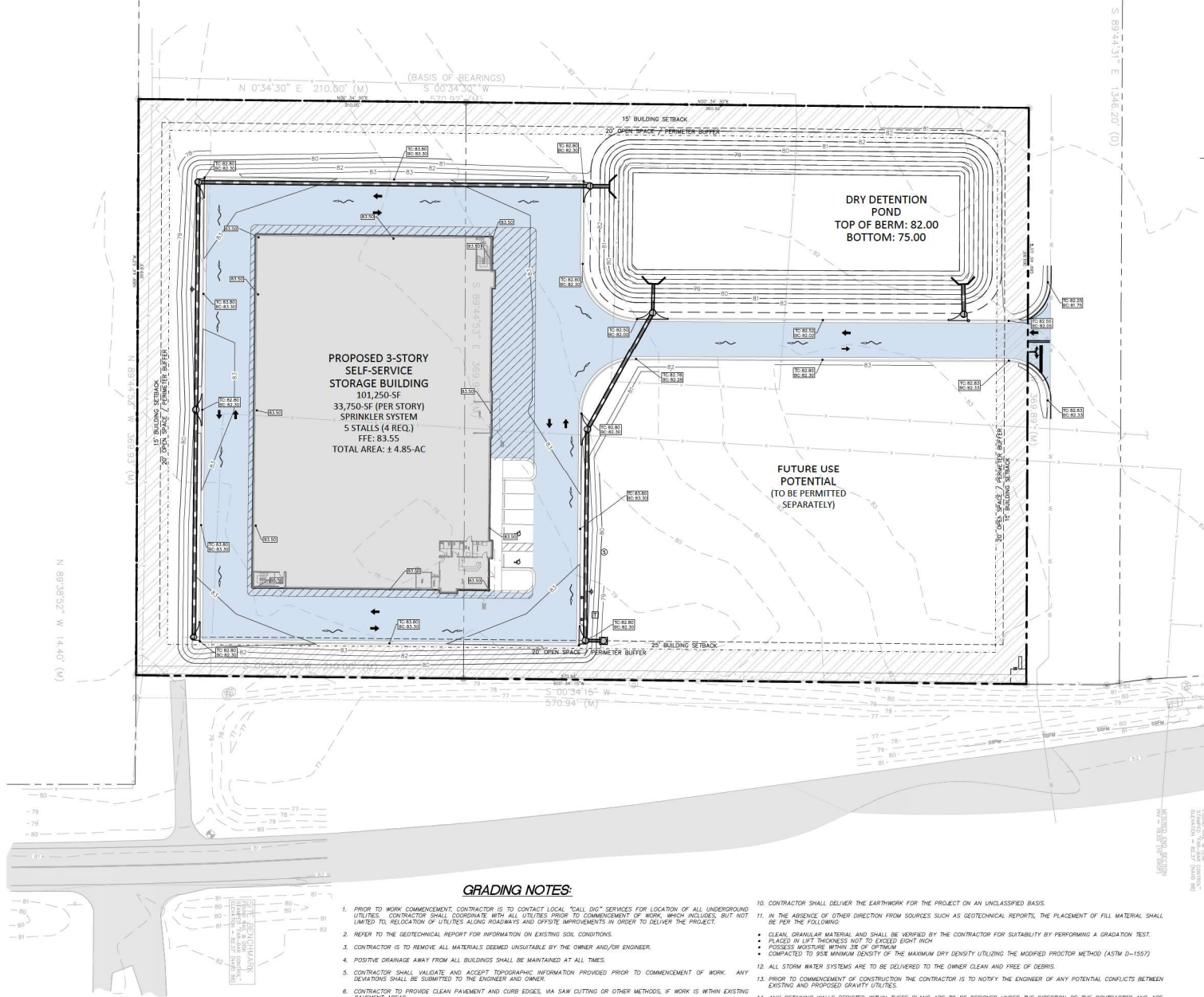
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 CHECKED: RTC  
 JOB NO: 23-299  
 DATE: 11/20/24

**SITE PLAN**  
 SHEET **C200**

**SITE NOTES:**

- COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE UNACCEPTABLE.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL CODES.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC CONTROL MANUAL (MUTCD), ASHTO, AS WELL AS STATE AND LOCAL REGULATIONS.
- ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE, BUT NOT LIMITED TO, STEPS, STAIRS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
- THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 5' WHERE NO DIMENSION IS GIVEN.
- EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS-BUILTS AND OTHER CERTIFICATIONS IN ORDER TO OBTAIN THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT BEGINS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH SEPARATIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
- ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CURB AND GUTTER SHALL BE 18" IN SIZE UNLESS SPECIFIED OTHERWISE.
- THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.
- SITE PLAN APPROVAL DOES NOT INCLUDE TANKS.
- IFD #10 EMERGENCY RESPONDER RADIO COVER (ERRC) SIGNAL TESTING WILL BE REQUIRED FOR ALL NEW BUILDINGS OR BUILDINGS WITH RADIO-PHYING REMOVALS.
- ALL GENERAL PARKING LANE STRIPES SHALL BE 6" WHITE.
- ALL PERMANENT PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHTS OF WAY SHALL BE THERMOPLASTIC.
- DIRECTIONAL BORING IS REQUIRED ON SITE.

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**LEGEND**

- PROPERTY BOUNDARY
- - - - - SETBACK BOUNDARY
- - - - - EASEMENT/BUFFER BOUNDARY
- ==== CURB & GUTTER
- FENCE
- CONCRETE
- HEAVY DUTY ASPHALT
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- GRADE BREAK LINE
- UNDERGROUND STORM PIPE
- UNDERGROUND GAS UTILITY
- OVERHEAD POWER UTILITY
- UNDERGROUND POWER UTILITY
- SANITARY SEWER UTILITY
- UNDERGROUND TELECOM UTILITY
- UNDERGROUND WATER UTILITY

**GRADING NOTES:**

1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND GROVE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
2. REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ON EXISTING SOIL CONDITIONS.
3. CONTRACTOR IS TO REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE OWNER AND/OR ENGINEER.
4. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
5. CONTRACTOR SHALL VALIDATE AND ACCEPT TOPOGRAPHIC INFORMATION PROVIDED PRIOR TO COMMENCEMENT OF WORK. ANY DEVIATIONS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
6. CONTRACTOR TO PROVIDE CLEAN PAVEMENT AND CURB EDGES, VIA SAW CUTTING OR OTHER METHODS, IF WORK IS WITHIN EXISTING PAVEMENT AREAS.
7. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ALL STRUCTURAL FOUNDATIONS, SLABS AND EARTHEN BUILDING PADS.
8. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
9. ALL DISTURBED AREAS WITHOUT PERMANENT HARD SURFACES SHALL BE TREATED WITH PERMANENT STABILIZATION PER THE APPROPRIATE STATE OR LOCAL EROSION CONTROL AND DEVELOPMENT STANDARDS.
10. CONTRACTOR SHALL DELIVER THE EARTHWORK FOR THE PROJECT ON AN UNCLASSIFIED BASIS.
11. IN THE ABSENCE OF OTHER DIRECTION FROM SOURCES SUCH AS GEOTECHNICAL REPORTS, THE PLACEMENT OF FILL MATERIAL SHALL BE PER THE FOLLOWING:
  - CLEAN, GRANULAR MATERIAL AND SHALL BE VERIFIED BY THE CONTRACTOR FOR SUITABILITY BY PERFORMING A GRADATION TEST.
  - PLACED IN LIFT THICKNESS NOT TO EXCEED EIGHT INCH
  - PROVED MOISTURE WITHIN 3% OF OPTIMUM
  - COMPACTED TO 95% MINIMUM DENSITY OF THE MAXIMUM DRY DENSITY UTILIZING THE MODIFIED PROCTOR METHOD (ASTM D-1557)
12. ALL STORM WATER SYSTEMS ARE TO BE DELIVERED TO THE OWNER CLEAN AND FREE OF DEBRIS.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS BETWEEN EXISTING AND PROPOSED GRAVITY UTILITIES.
14. ANY RETAINING WALL'S DEFICITS WITHIN THROP, IN AXES ARE TO BE PROVIDED UNDER THE DIRECTION OF THE CONTRACTOR AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THE CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THESE WALLS.
15. ALL PIPES SYSTEMS ARE MEASURED BETWEEN THE CENTERS OF MANHOLES.
16. ALL DRIVE, ACCESS, SIDEWALK/SHOULDER CROSS-SLOPE, IN THE R/W, IS TO MATCH STD 14" PER LF (20% PER ADA).



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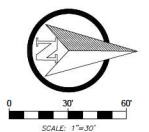
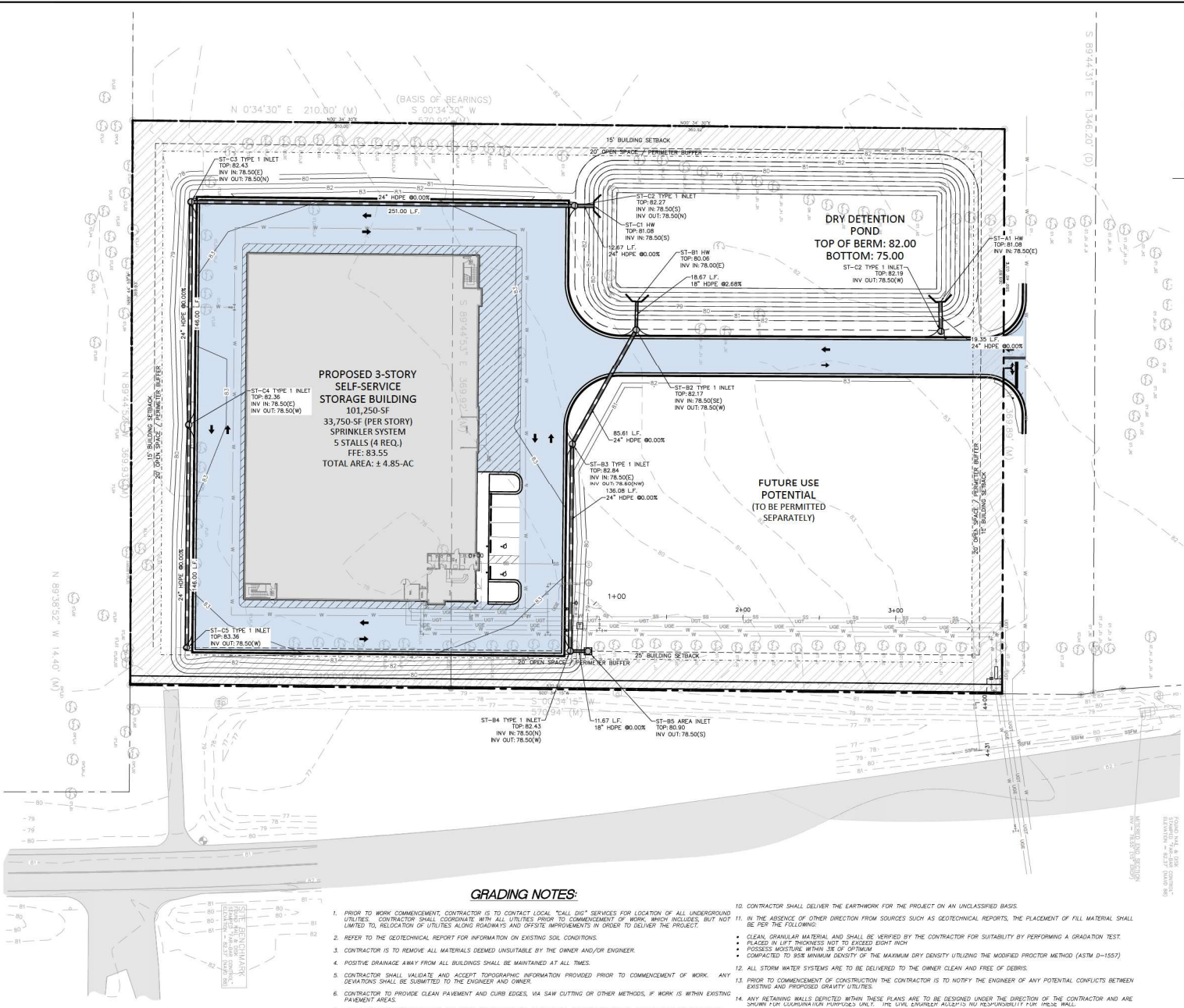
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 CONTACT: BOB DUNNE@FOUNDRYIG.COM  
 TEL: (770) 469-6826

**WILDMOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILDMOOD  
 LOCATION: 6022 WILSH-BEND TRAIL WILDMOOD, FL 34785

#	DATE	REVISIONS

DRAWN: JRM      CHECK: RTC  
 JOB NO: 23-299      DATE: 11/20/24

**GRADING PLAN**  
 SHEET **C300**



**LEGEND**

- PROPERTY BOUNDARY
- - - SETBACK BOUNDARY
- - - EASEMENT/BUFFER BOUNDARY
- ==== CURB & GUTTER
- FENCE
- CONCRETE
- HEAVY DUTY ASPHALT
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- GRADE BREAK LINE
- UNDERGROUND STORM PIPE
- GAS
- OVERHEAD POWER UTILITY
- UNDERGROUND POWER UTILITY
- SANITARY SEWER UTILITY
- UNDERGROUND TELECOM UTILITY
- UNDERGROUND WATER UTILITY



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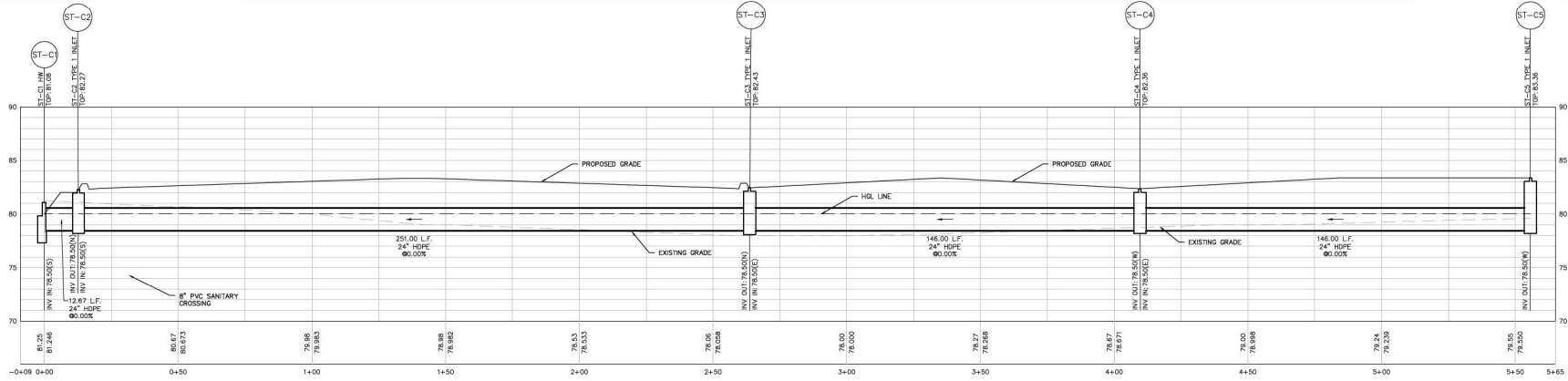
**FOUNDRY INVESTMENT GROUP**  
 1575 NORFOLK DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DUNBAR  
 TEL: (770) 469-6826

**WILMWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILMWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILMWOOD, FL 34785

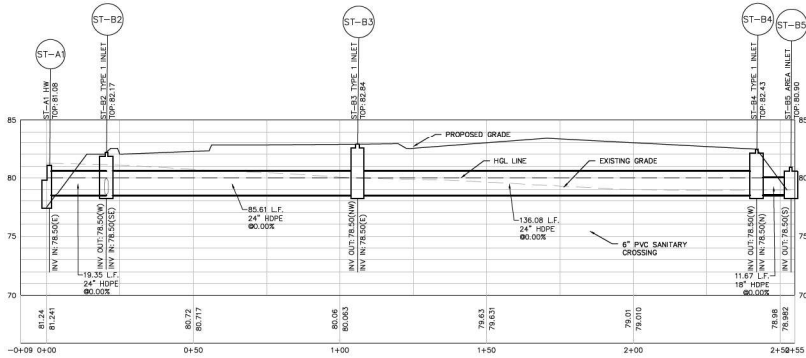
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 JOB NO: 23-299 DATE: 11/20/24

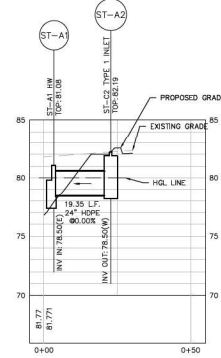
**DRAINAGE PLAN**  
 SHEET C400



**STORM PROFILE: C1-C5**  
 HORIZONTAL SCALE 1" = 20'  
 VERTICAL SCALE 1" = 5'



**STORM PROFILE: B1-B5**  
 HORIZONTAL SCALE 1" = 20'  
 VERTICAL SCALE 1" = 5'



**STORM PROFILE: A1-A2**  
 HORIZONTAL SCALE 1" = 20'  
 VERTICAL SCALE 1" = 5'



**CONTINUED GROUP**  
 7400 WINDMILL DRIVE  
 SUITE 800  
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 www.continuedgroup.com

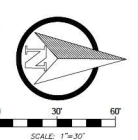
**FOUNDry**  
 INVESTMENT GROUP  
 1575 NORTHSIDE DRIVE, NW, ATLANTA, GA 30118  
 CONTACT: BOB DANESBACH  
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**WILWOOD CLIMATE STORAGE**  
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#	DATE	REVISIONS

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**DRAINAGE PROFILES**  
 SHEET **C401**



**LEGEND**

- PROPERTY BOUNDARY
- SETBACK BOUNDARY
- EASEMENT/BUFFER BOUNDARY
- CURB & GUTTER
- FENCE
- CONCRETE
- HEAVY DUTY ASPHALT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADE BREAK LINE
- UNDERGROUND STORM PIPE
- UNDERGROUND GAS UTILITY
- OVERHEAD POWER UTILITY
- UNDERGROUND POWER UTILITY
- SANITARY SEWER UTILITY
- UNDERGROUND TELECOM UTILITY
- UNDERGROUND WATER UTILITY

**GRADING NOTES:**

1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT IS NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND GROTES IMPROVEMENTS IN GROUND TO DELIVER THE PROJECT.
2. REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ON EXISTING SOIL CONDITIONS.
3. CONTRACTOR IS TO REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE OWNER AND/OR ENGINEER.
4. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
5. CONTRACTOR SHALL VALIDATE AND ACCEPT TOPOGRAPHIC INFORMATION PROVIDED PRIOR TO COMMENCEMENT OF WORK. DEVIATIONS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
6. CONTRACTOR TO PROVIDE CLEAN PAVEMENT AND CURB EDGES, VIA SAW CUTTING OR OTHER METHODS, IF WORK IS WITHIN EXISTING PAVED AREAS.
7. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ALL STRUCTURAL FOUNDATIONS, SLABS AND EARTHEN BUILDING PADS.
8. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS IF UNDISTURBED. THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
9. ALL DISTURBED AREAS WITHOUT PERMANENT HARD SURFACES SHALL BE TREATED WITH PERMANENT STABILIZATION PER THE APPROPRIATE STATE OR LOCAL EROSION CONTROL AND DEVELOPMENT STANDARDS.
10. CONTRACTOR SHALL DELIVER THE EARTHWORK FOR THE PROJECT ON AN UNCLASSIFIED BASIS.
11. IN THE ABSENCE OF OTHER DIRECTION FROM SOURCES SUCH AS GEOTECHNICAL REPORTS, THE PLACEMENT OF FILL MATERIAL SHALL BE PER THE FOLLOWING:
  - CLEAN, GRANULAR MATERIAL AND SHALL BE VERIFIED BY THE CONTRACTOR FOR SUITABILITY BY PERFORMING A GRADATION TEST.
  - PLACED IN LIFT THICKNESSES NOT TO EXCEED EIGHT INCH.
  - POSSESS MOISTURE WITHIN 3% OF OPTIMUM.
  - COMPACTED TO 95% MINIMUM DENSITY OF THE MAXIMUM DRY DENSITY UTILIZING THE MODIFIED PROCTOR METHOD (ASTM D-1557)
12. ALL STORM WATER SYSTEMS ARE TO BE DELIVERED TO THE OWNER CLEAN AND FREE OF DEBRIS.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS BETWEEN EXISTING AND PROPOSED GRAVITY UTILITIES.
14. ANY RETAINING WALLS DEPICTED WITHIN THESE PLANS ARE TO BE DESIGNED UNDER THE DIRECTION OF THE CONTRACTOR AND ARE SHOWN FOR CONSTRUCTION PURPOSES ONLY. THE USER ASSUMES ALL RESPONSIBILITY FOR THESE WALLS.
15. ALL PIPES SYSTEMS ARE MEASURED BETWEEN THE CENTERS OF MANHOLES.
16. ALL DRIVE, ACCESS, SIDEWALK/SHOULDER CROSS-SLOPE, IN THE R/W, IS TO MATCH STD 1/2" PER LF (2% PER ADA).



**CONTINUED GROUP**  
 7450 WINDMILL DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.580.7271  
 www.continuedgroup.com

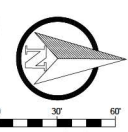
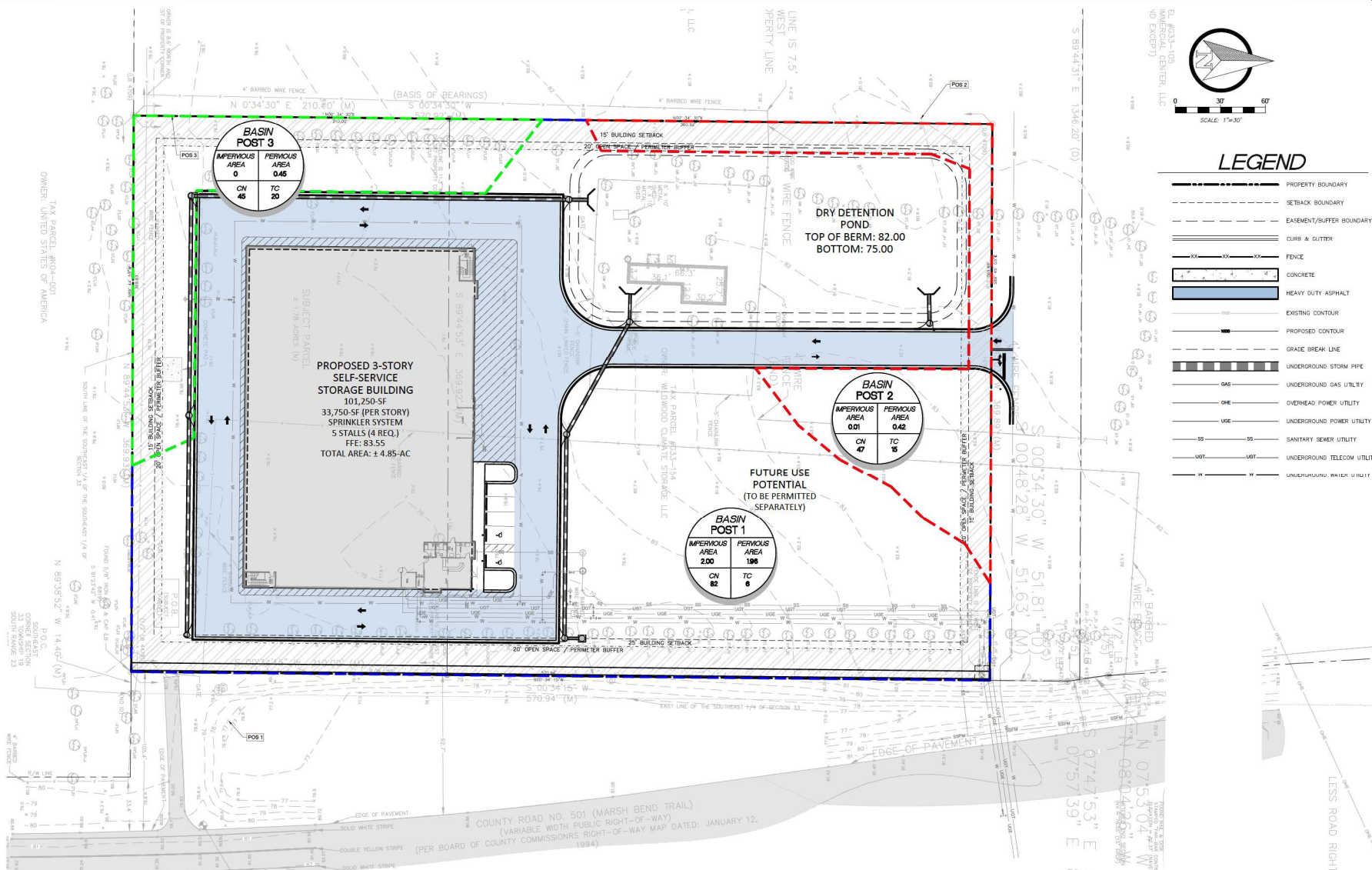
**FOUNDRY**  
 INVESTMENT GROUP  
 1575 NORFOLK DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DUNN@FOUNDRY.COM  
 TEL: (770) 469-6826

**WILWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILWOOD, FL 34785

#	DATE	REVISIONS

DRAWN: JRM      CHECK: RTC  
 JOB NO: 23-299      DATE: 11/20/24

**HYDRO-PRE**  
 SHEET **C402**



**LEGEND**

	PROPERTY BOUNDARY
	SETBACK BOUNDARY
	EASEMENT/BUFFER BOUNDARY
	CURB & GUTTER
	FENCE
	CONCRETE
	HEAVY DUTY ASPHALT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GRADE BREAK LINE
	UNDERGROUND STORM PIPE
	UNDERGROUND GAS UTILITY
	OVERHEAD POWER UTILITY
	UNDERGROUND POWER UTILITY
	SANITARY SEWER UTILITY
	UNDERGROUND TELECOM UTILITY
	UNDERGROUND WATER UTILITY



**CONTINO GROUP**  
 745 CONCORD DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.380.7271  
 www.continogroup.com

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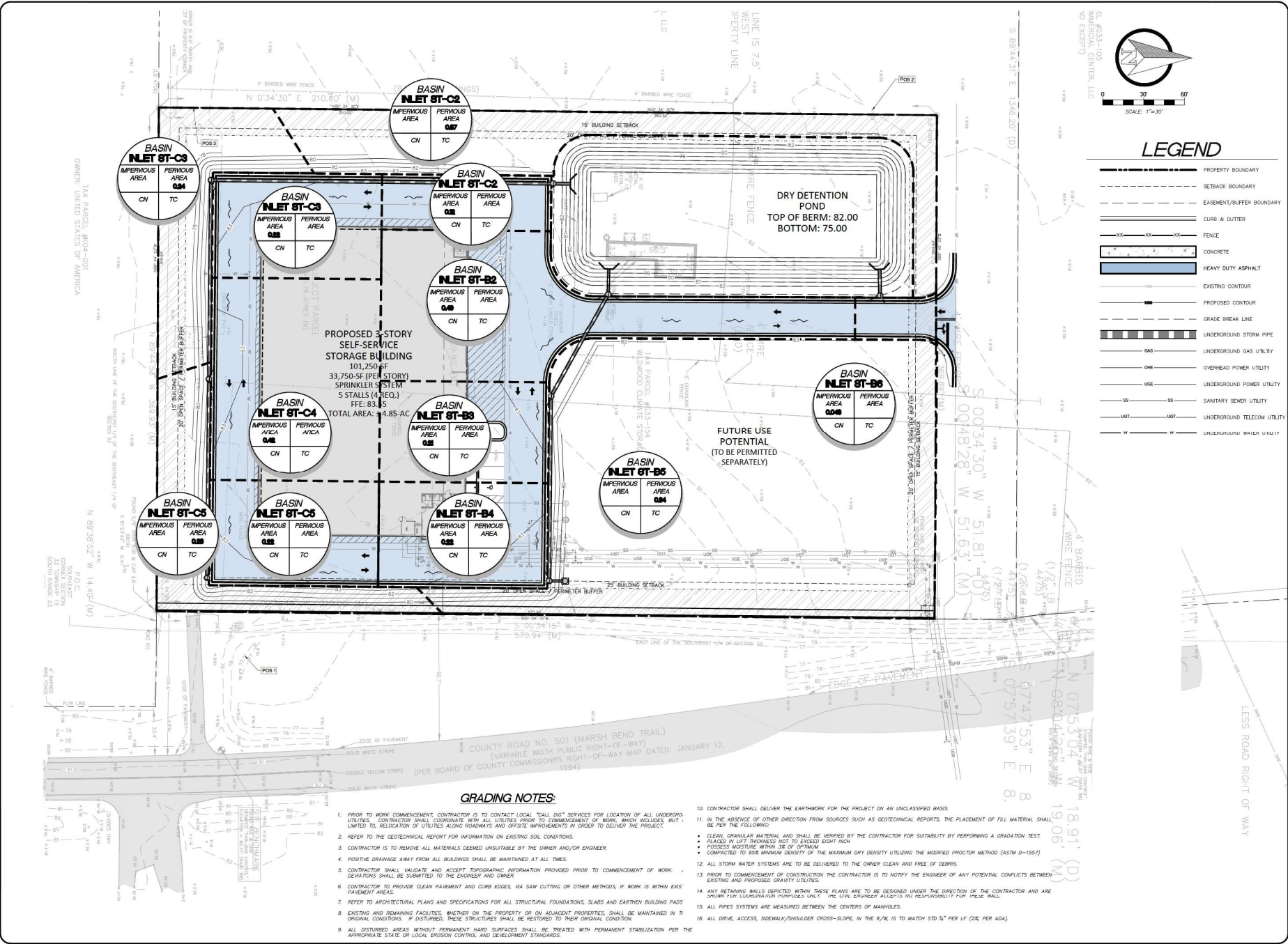
**WILDWOOD CLIMATE STORAGE**

ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILDWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILDWOOD, FL 34785

#	DATE	REVISIONS

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**HYDRO-POST**  
 SHEET C403



**GRADING NOTES:**

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- ALL PIPES SYSTEMS ARE MEASURED BETWEEN THE CENTERS OF MANHOLES.
- ALL DRIVE, ACCESS, SIDEWALK/SHOULDER CROSS-SLOPE, IN THE R/W, IS TO MATCH STD 1/2" PER LF (2% PER ADA).

**PROFESSIONAL ENGINEER**  
 No. 71853  
 STATE OF FLORIDA  
 11/20/24

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**CONTINUED GROUP**  
 745 CONCORD DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.382.721  
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**FOUNDRY**  
 INVESTMENT GROUP

1575 NORFOLK DRIVE, NW, ATLANTA, GA 30118  
 CONTACT: BOB DUNN@FOUNDRYGROUP.COM  
 TEL: (770) 469-6826

---

**WILMODO CLIMATE STORAGE**

ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILMODO  
 LOCATION: 6022 MARSH BEND TRAIL WILMODO, FL 34785

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#	DATE	REVISIONS

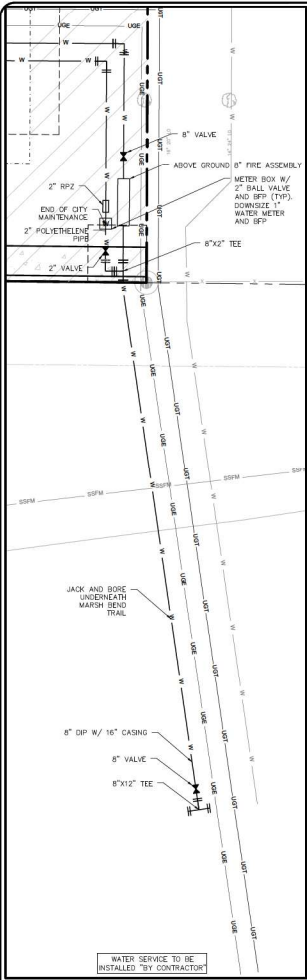
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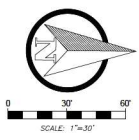
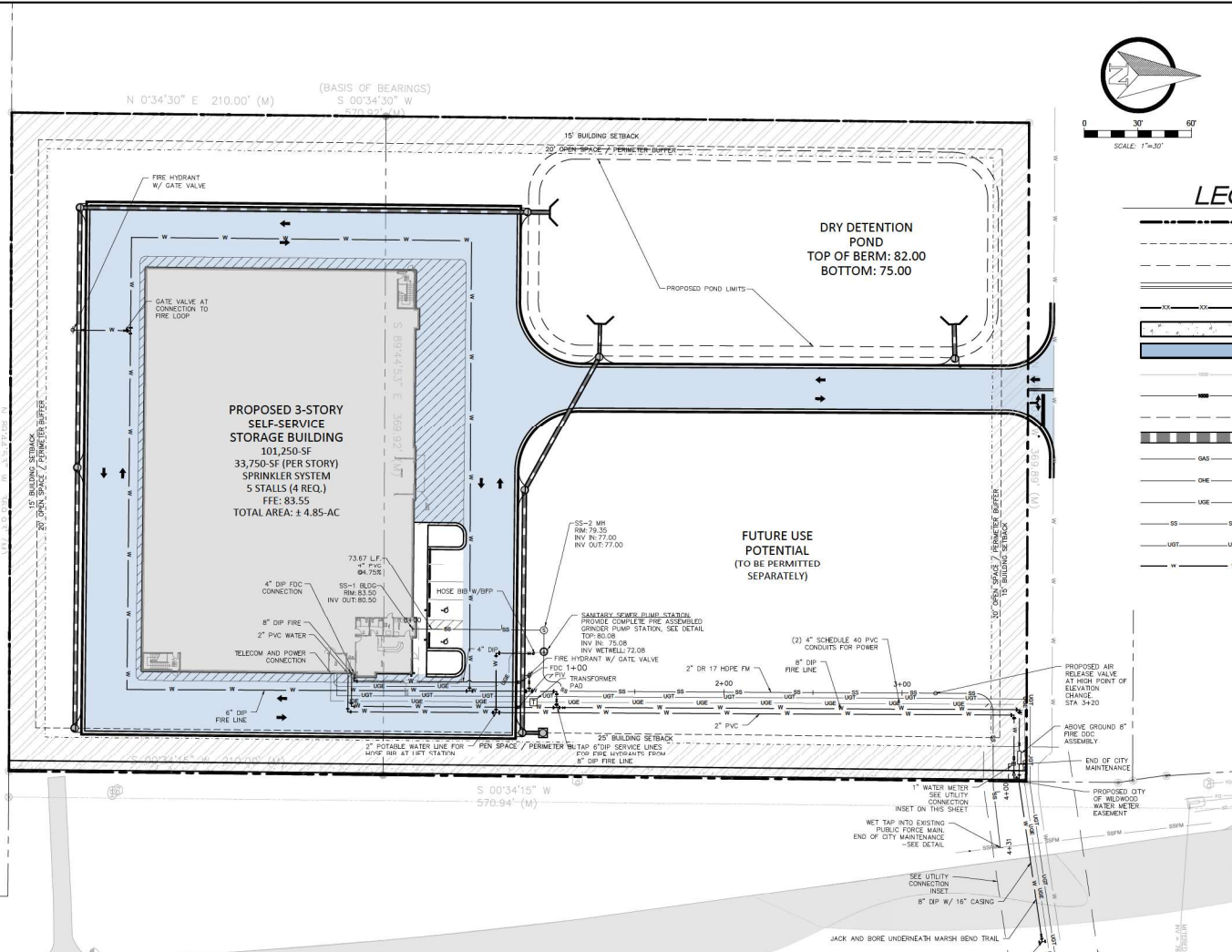
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**HYDRO-INLETS**  
 SHEET **C404**

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**UTILITY CONNECTION INSET**  
SCALE 1" = 1'



**LEGEND**

- PROPERTY BOUNDARY
- - - - - SETBACK BOUNDARY
- - - - - EASEMENT/BUFFER BOUNDARY
- ==== CURB & GUTTER
- FENCE
- CONCRETE
- HEAVY DUTY ASPHALT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADE BREAK LINE
- UNDERGROUND STORM PIPE
- UNDERGROUND GAS UTILITY
- OVERHEAD POWER UTILITY
- UNDERGROUND POWER UTILITY
- SANITARY SEWER UTILITY
- UNDERGROUND TELECOM UTILITY
- UNDERGROUND WATER UTILITY

- UTILITY NOTES**
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS REQUIRED TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFF-SITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
  - ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS, LATEST EDITION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ANY FINAL AS-BUILTS AND EASEMENT PLATS.
  - THE CONTRACTOR IS TO DELIVER ALL WATER AND SEWER SYSTEMS WITH A MINIMUM OF 10' HORIZONTAL AND 2' VERTICAL SEPARATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ELECTRICAL SERVICES TO THE BUILDING, WHICH INCLUDE BUT ARE NOT LIMITED TO, TRANSFORMERS, TRANSFORMER PAD, METERS, ETC.
  - THE CONTRACTOR SHALL COMPARE ALL CIVIL AND BUILDING PLAN SETS PRIOR TO CONSTRUCTION. THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
  - THE LOCATION OF ALL UTILITIES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
  - ALL ELECTRICAL, TELECOM, AND GAS LINE CONDUITS ARE TO HAVE BETWEEN 3" AND 5" OF COVER, UNLESS OTHERWISE NOTED.
  - ALL SEWER MAINS ARE TO BE SDR 26 PVC, ALL SEWER LATERALS ARE TO BE SDR 26 PVC UNLESS OTHERWISE NOTED.
  - ALL WATER LINES ARE TO BE PVC UNLESS OTHERWISE NOTED, AND SHALL BE INSTALLED TO HAVE A MINIMUM 4" OF COVER.
  - ALL UTILITY BUILDING CONNECTIONS ARE APPROXIMATE IN NATURE.
  - ALL LIGHTING IS TO BE INSTALLED BY THE CONTRACTOR IN FULL LIGHTING TO BE CONSIDERED AS 30' POLES, WITH 4 LED HEADS. REFER TO PHOTOGRAPHIC PLAN FOR FULL SPECIFICATIONS.
  - IRRIGATION FOR THE ENTIRE PROPERTY IS REQUIRED AND IS TO BE INCLUDED AS DESIGN/BUILD.
  - THERE WILL BE NO GAS SERVICE PROPOSED ON THIS SITE.
  - ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O.
  - ANY MAN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED; ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE ASBUILT.
  - ALL NEW BACKFLOW PREVENTERS ARE TO BE INSTALLED "BY CONTRACTOR" AND MAINTAINED "BY OWNER". THE BACKFLOW PREVENTER IS TO BE INSTALLED ON THE CUSTOMER SIDE OF THE WATER METER BOX AT A MINIMUM OF 18 INCHES FROM FINAL GRADE TO BOTTOM OF THE BACKFLOW.
  - ALL UTILITY CONSTRUCTION SHALL BE DONE TO MEET THE CITY OF WILWOOD CONSTRUCTION SPECIFICATIONS.
  - PROPOSED PRIVATE FIRE MAIN AND HYDRANTS MUST BE ABLE TO SUPPORT FIRE SPRINKLER SUPPLY, FDC SUPPLY, AND MANUAL FIREFIGHTING OPERATIONS AS DETERMINED BY PROJECT PPL.
  - CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY OF WILWOOD TWO WEEKS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



**CONTINUED GROUP**  
 7400 CONCORD DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.387.7271  
 www.continuedgroup.com

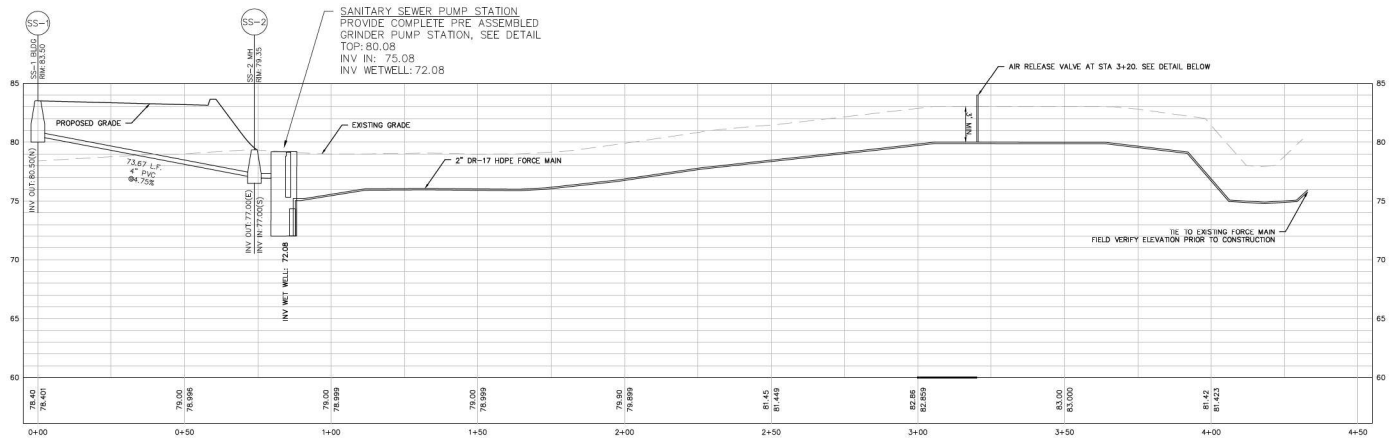
**FOUNDRY INVESTMENT GROUP**  
 1575 NORRISSE DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DUNN@FOUNDRYGROUP.COM  
 TEL: (770) 469-6826

**WILWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILWOOD, FL 34785

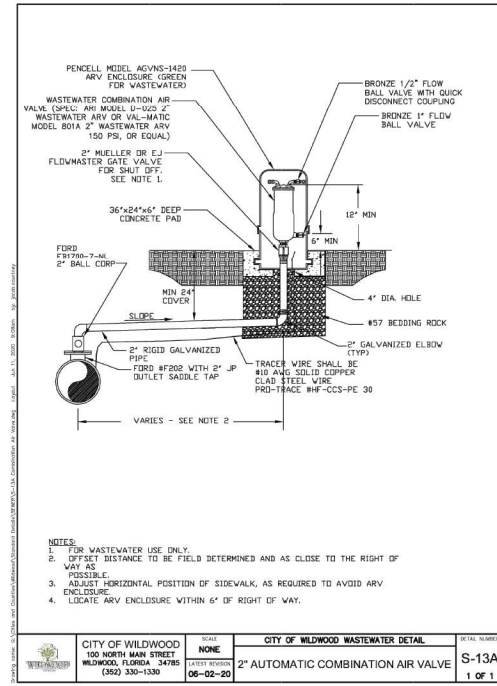
DATE	REVISIONS

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 JOB NO: 23-299 DATE: 11/20/24

**UTILITY PLAN**  
 SHEET C500



**SANITARY SEWER PROFILE: SSI-FORCEMAIN**  
VERTICAL SCALE 1" = 5'



- NOTES:**
1. FOR WASTEWATER USE ONLY.
  2. OFFSET DISTANCE TO BE FIELD DETERMINED AND AS CLOSE TO THE RIGHT OF WAY AS POSSIBLE.
  3. ADJUST HORIZONTAL POSITION OF SIDEWALK, AS REQUIRED TO AVOID ARV ENCLOSURE.
  4. LOCATE ARV ENCLOSURE WITHIN 6' OF RIGHT OF WAY.

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 330-1330	NONE	CITY OF WILDWOOD WASTEWATER DETAIL	DETAIL NUMBER S-13A
	LATEST REVISION 06-02-20	2" AUTOMATIC COMBINATION AIR VALVE	1 OF 1



**CONTINUED GROUP**  
 7400 WINDMILL DRIVE  
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 DECATUR, GA 30030  
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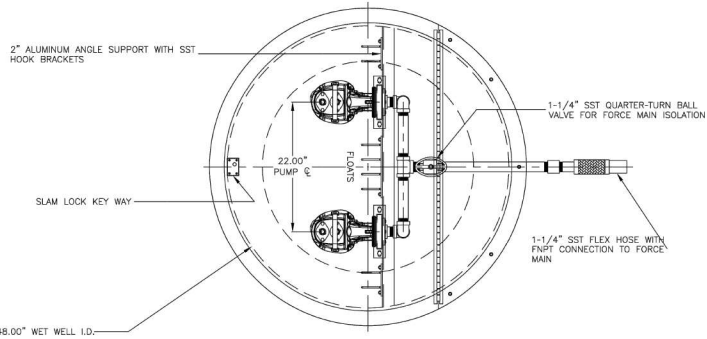
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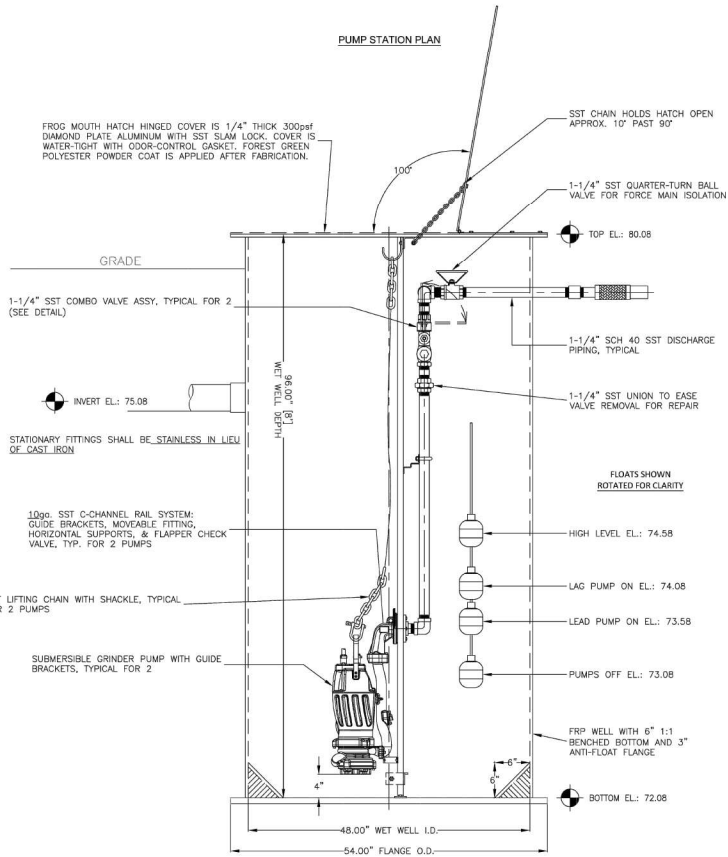
**SANITARY SEWER PROFILES**  
 SHEET **C501**

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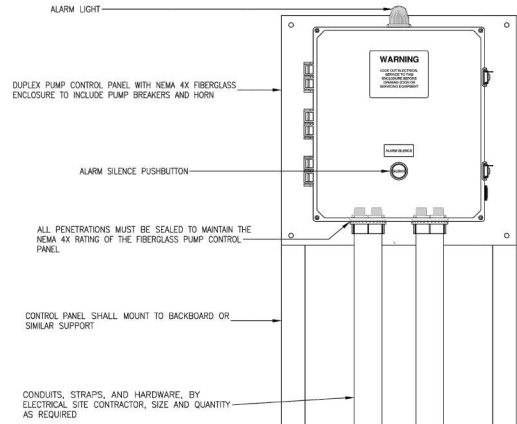
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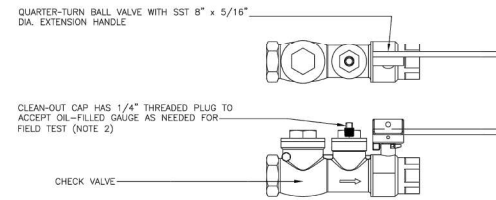
PUMP STATION PLAN



PUMP STATION SECTION



CONTROL PANEL DETAIL



COMBO VALVE DETAIL

NOTES:

1. PUMP STATION IS DESIGNED TO MEET A DUTY POINT OF 30 GPM AT 164 FT TDH WHEN OPERATING IN PARALLEL.
2. PUMP STATION SHALL BE PROVIDED AS PACKAGED UNIT FROM VENDOR, INCLUDING PUMP, CONTROLS, FIBERGLASS BASIN, AND INTERNAL PIPING AND FITTINGS.
3. THE PUMP STATION SHOWN IS DESIGNED AROUND A PUMP SELECTION FROM BARNES, PACKAGED AND PROVIDED BY PUMP AND PROCESS EQUIPMENT INCORPORATED. CONTACT JONATHAN KING 404-856-6573 FOR ORDERING INFORMATION.
4. THE SELECTED PUMP IS THE BARNES ZOGP2072L, 2 HP, 240 V, 1-PHASE, 60 HZ, 15 FLA.
5. A DUPLEX PUMP CONTROL PANEL SHALL BE PROVIDED AND INCLUDE THE FOLLOWING AT MINIMUM: ELAPSED TIME METER FOR EACH PUMP, LIGHTNING ARRESTOR, HIGH WATER ALARM, ALT-1-2 SELECTOR, AND MANUAL ALARM RESET SWITCH. THE PANEL SHALL BE PROVIDED POWER FROM A 240 V, 50 AMP, SINGLE PHASE CIRCUIT.



**CONTINUED GROUP**  
 240 CONTRACT DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.380.7271  
 www.continuedgroup.com

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 1575 NORRISSE DRIVE, NW, ATLANTA, GA 30318  
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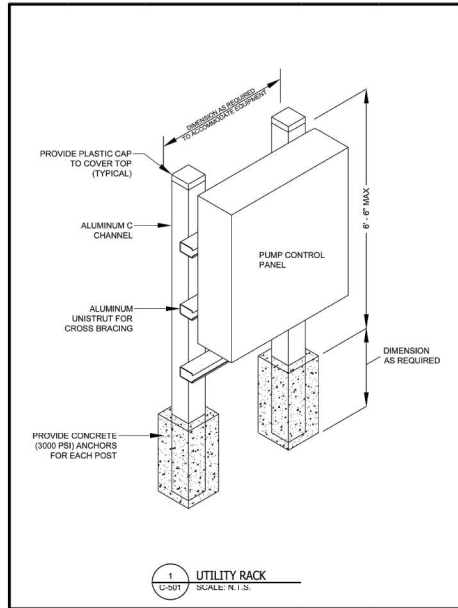
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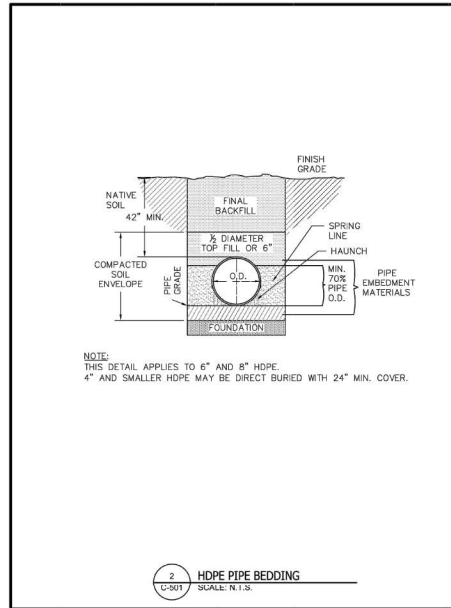
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 JOB NO: 23-299 DATE: 11/20/24

**LIFT STATION DESIGN**  
 SHEET **C502**

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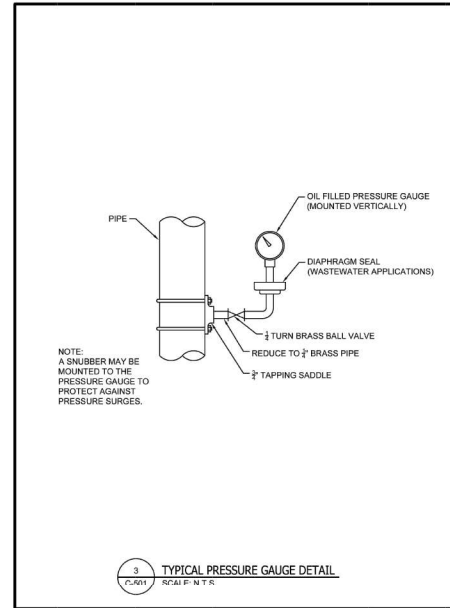


1 UTILITY RACK  
SCALE: N.T.S.



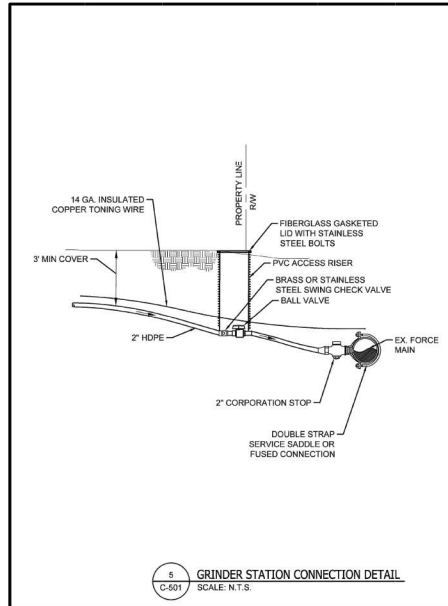
NOTE:  
THIS DETAIL APPLIES TO 6" AND 8" HDPE.  
4" AND SMALLER HDPE MAY BE DIRECT BURIED WITH 24" MIN. COVER.

2 HDPE PIPE BEDDING  
SCALE: N.T.S.



NOTE:  
A SNUBBER MAY BE MOUNTED TO THE PRESSURE GAUGE TO PROTECT AGAINST PRESSURE SURGES.

3 TYPICAL PRESSURE GAUGE DETAIL  
SCALE: N.T.S.



5 GRINDER STATION CONNECTION DETAIL  
SCALE: N.T.S.



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 7450 WILDMOOD DRIVE  
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#	DATE	REVISIONS

DRAWN: JRM  
 CHECK: RTC  
 JOB NO: 23-299  
 DATE: 11/20/24

**LIFT STATION DESIGN**  
 SHEET **C503**

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6022 Marsh Bend Trail, Suite 200  
Wilwood, FL 32254  
(904) 476-3623  
www.integrated-science.com

Project Name/Location: **DEBRIS CHUTE STORAGE**  
Client: **Continued Storage**

Date: **7/21/2024**  
Job Number: **723-2421**

Calculations By: **Lucy Wilcox**  
Calculation Description: **Average and Peak Flow Rates**

**Calculation of Peak Flow Rates Based on Fixture Count**

Fixture	Unit	in Value at 1	# of Fixtures	Relative Value
Bath	gal/min	15	0	0
Bedroom wash	gal/min	15	0	0
Combination Sink & Tray	gal/min	15	0	0
Dish Sink	gal/min	15	0	0
Dish Sink	gal/min	2	0	0
Dish Sink	gal/min	1	0	0
Dish Sink	gal/min	2	0	0
Kitchen - 1/2" connection	gal/min	3	0	0
Kitchen - 3/4" connection	gal/min	7	0	0
Laundry - 3/4" connection	gal/min	2	4	8
- 1/2" connection	gal/min	3	0	0
Laundry Tray - 1/2" connection	gal/min	3	0	0
- 3/4" connection	gal/min	7	0	0
Shower head (shower only)	gal/min	4	0	0
Service Sink - 1/2" connection	gal/min	7	1	2
- 3/4" connection	gal/min	10	0	0
Urinal - Hospital Flush Valve	gal/min	10	0	0
- Flush Valve	gal/min	10	0	0
- Through (2 x 1/2")	gal/min	2	0	0
Wash Sink (each side of kitchen)	gal/min	4	0	0
Water Closet - Flush Valve	gal/min	10	4	40
- Tank Type	gal/min	3	0	0
Washbasin - 1/2" connection	gal/min	5	0	0
- 3/4" connection	gal/min	10	0	0
- 1" connection	gal/min	25	0	0
Washing Machine - 1/2" connection	gal/min	10	0	0
- 3/4" connection	gal/min	25	0	0
- 1" connection	gal/min	4	0	0
Hose connection - 1/2"	gal/min	10	0	0
- 3/4"	gal/min	5	0	0
Hose (50 ft) - 1/2"	gal/min	5	0	0
- 3/4"	gal/min	11	0	0

Water supply fixture units: **51**  
Peak Flow: **26.1** gpm

Use 2018 (FC Table 918.3(3)) in Appendix 4 for peak flow  
Use a pump rate of **30** gpm for design  
Select a duplex pump station.  
Friction Factor: **4.5**  
Average Daily Flow: **6.7** gpm



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Project Name/Location: **DEBRIS CHUTE STORAGE**  
Client: **Continued Storage**

Date: **7/21/2024**  
Job Number: **723-2421**

Calculations By: **Lucy Wilcox**  
Calculation Description: **10' x 8' Basin Case**

Calculation of Volume of Debris in Debris Chute

Location	Flow	Quantity	Rate	Flow Velocity	Head Loss
Basin	Flow	10	10	10	10
Basin	Flow	10	10	10	10
Basin	Flow	10	10	10	10
Basin	Flow	10	10	10	10
Basin	Flow	10	10	10	10

**Calculation of Total Debris Load**

Item	Value
Total Debris Load (lb)	647
Total Debris Load (lb)	100.07
Total Debris Load (lb)	94.8
Total Debris Load (lb)	73.4



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Project Name/Location: **DEBRIS CHUTE STORAGE**  
Client: **Continued Storage**

Date: **7/21/2024**  
Job Number: **723-2421**

Calculations By: **Lucy Wilcox**  
Calculation Description: **Volume Calculations**

Calculation of Volume of Debris in Debris Chute

Item	Value
Volume of Debris (cu ft)	1.84
Volume of Debris (cu ft)	73.9
Volume of Debris (cu ft)	10.07
Volume of Debris (cu ft)	94.8
Volume of Debris (cu ft)	73.4

Weighted cycle times are calculated using the following formula:  
 $T_w = (V \cdot L \cdot D)$   
T = Cycle time in minutes  
V = Volume of debris in cu ft  
L = Length of pipe in feet  
D = Debris density in lb/cu ft

**Calculation of Total Debris Load**

Item	Value
Total Debris Load (lb)	647
Total Debris Load (lb)	100.07
Total Debris Load (lb)	94.8
Total Debris Load (lb)	73.4

For the downward forces of the vessel & soils, the total weight of contents and soil is calculated. For concrete, it's the total volume of the base + items multiplied by 150 lb/cu ft. For soils, the total volume of soils sitting on the base is multiplied by 110 lb/cu ft. The weight of the top is not used in the calculation.



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Project Name/Location: **DEBRIS CHUTE STORAGE**  
Client: **Continued Storage**

Date: **7/21/2024**  
Job Number: **723-2421**

Calculations By: **Lucy Wilcox**  
Calculation Description: **Volume Weight**

Calculation of Volume of Debris in Debris Chute

Item	Value
Volume of Debris (cu ft)	1.84
Volume of Debris (cu ft)	73.9
Volume of Debris (cu ft)	10.07
Volume of Debris (cu ft)	94.8
Volume of Debris (cu ft)	73.4

**Calculation of Pressure Based on Insufficiency Closure**

Item	Value
Pressure (psi)	732.34
Pressure (psi)	23.30
Pressure (psi)	64.46

For this vessel, the cycle time is between 10 and 20 minutes and is acceptable. For basins, the total of the vessel debris is greater than the debris of water so. Debris will not be a problem even if backflow occurs before clogging top.



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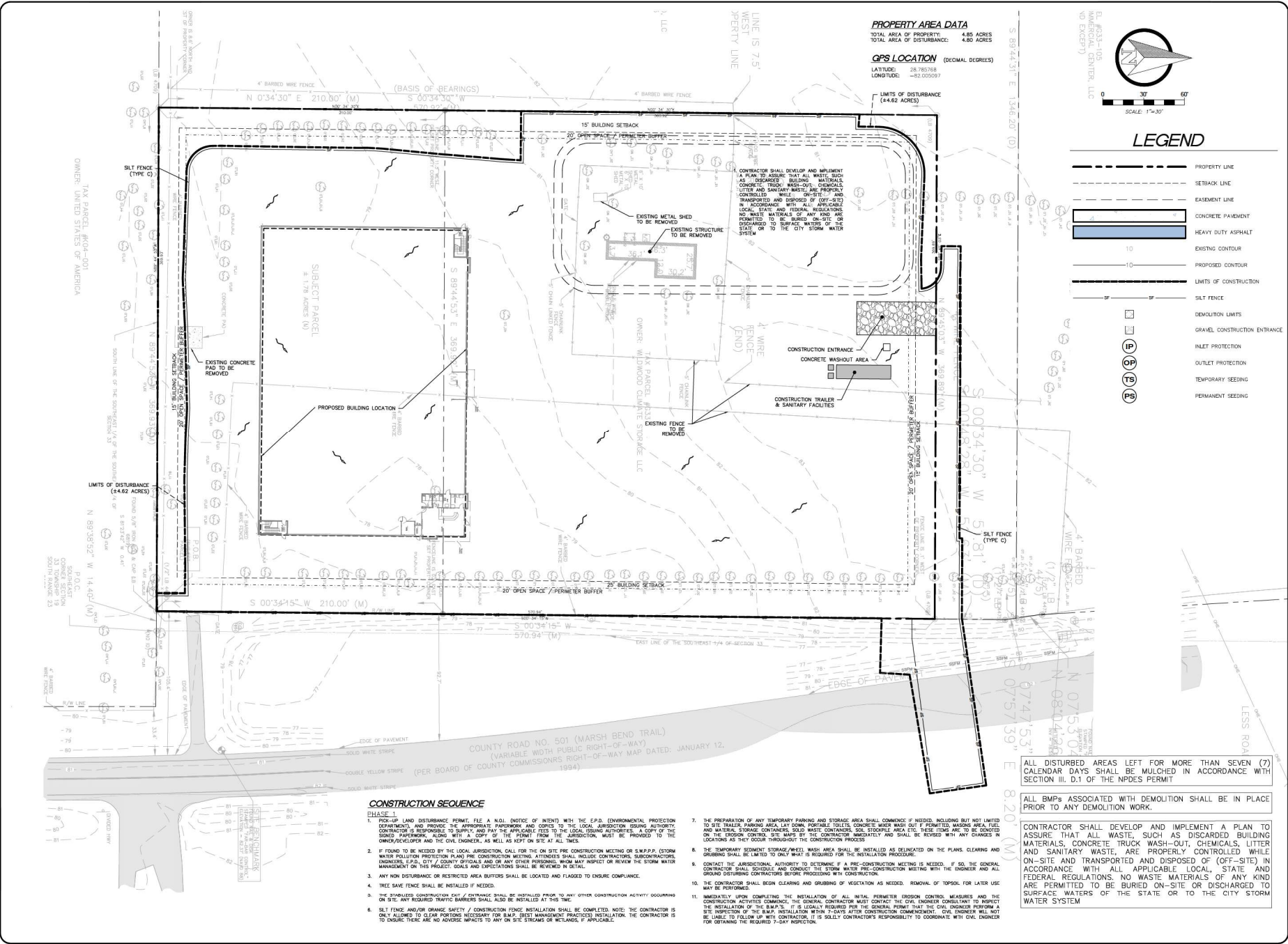
**FOUNDRY INVESTMENT GROUP**  
1575 NORRISSE DRIVE, NW, ATLANTA, GA 30318  
CONTACT: BOB DANIELSON  
BOB@FOUNDRIYGROUP.COM  
TEL: (770) 469-6826

**WILWOOD CLIMATE STORAGE CONSTRUCTION**  
ISSUED FOR: **CONSTRUCTION**  
JURISDICTION: **CITY OF WILWOOD**  
LOCATION: **6022 MARSH BEND TRAIL WILWOOD, FL 32785**

#	DATE	REVISIONS

DRAWN: **JRM** CHECKED: **RTC**  
JOB NO: **23-299** DATE: **11/20/24**

**LIFT STATION DESIGN**  
SHEET **C504**



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 DECATUR, GA 30030  
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 INVESTMENT GROUP  
 1575 NORTHSIDE DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DUNN@BOB DUNN GROUP  
 TEL: (770) 469-6856

**WILWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILWOOD, FL 34785

#	DATE	REVISIONS

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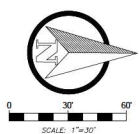
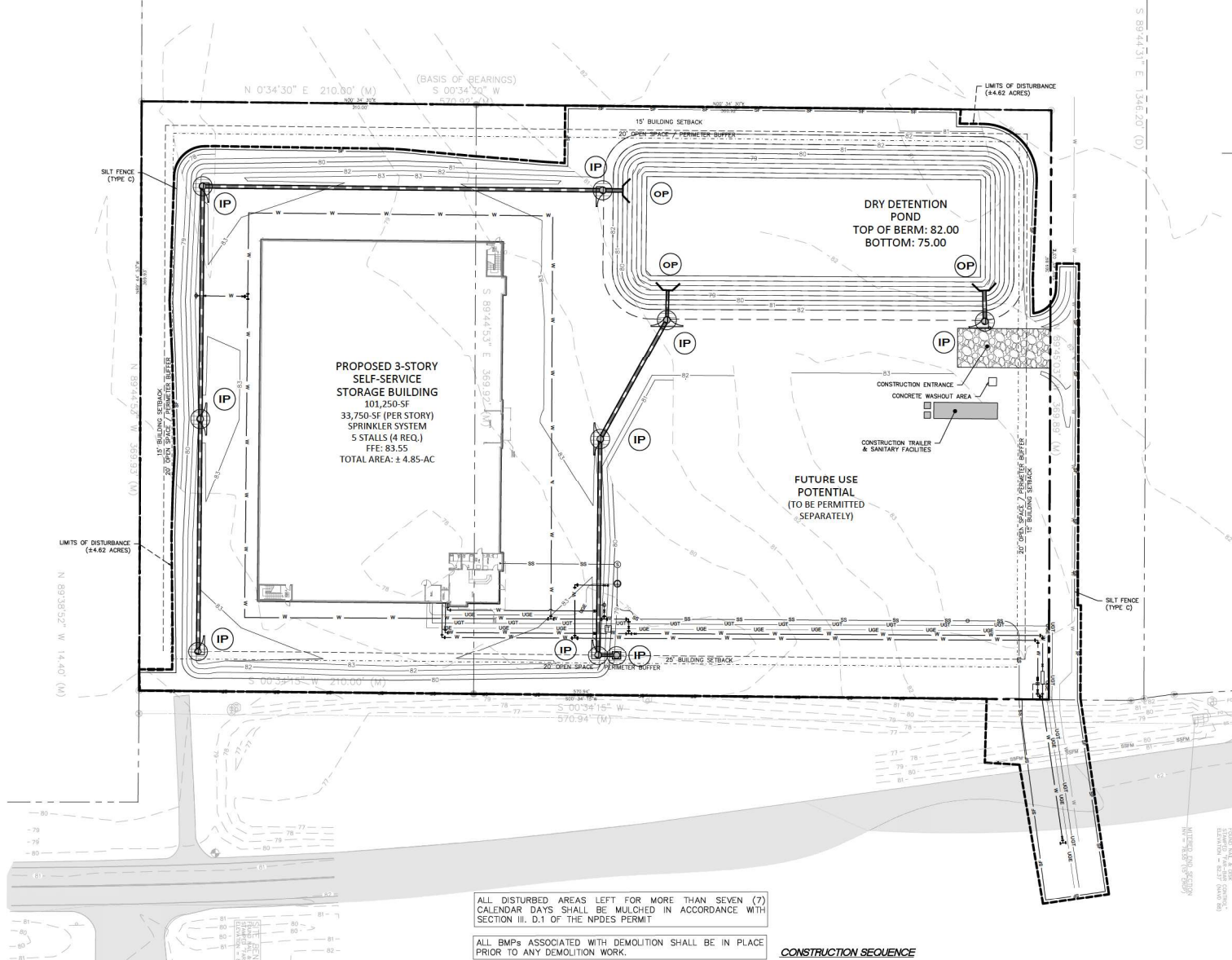
**DEMO AND INITIAL EC PLAN**  
 SHEET **C600**

ALL DISTURBED AREAS LEFT FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL BE MULCHED IN ACCORDANCE WITH SECTION III, D.1 OF THE NPDES PERMIT

ALL BMPs ASSOCIATED WITH DEMOLITION SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK.

CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY STORM WATER SYSTEM

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**LEGEND**

- PROPERTY BOUNDARY
- - - SETBACK BOUNDARY
- - - EASEMENT/BUFFER BOUNDARY
- CURB & GUTTER
- FENCE
- CONCRETE
- HEAVY DUTY ASPHALT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADE BREAK LINE
- UNDERGROUND STORM PIPE
- UNDERGROUND GAS UTILITY
- OVERHEAD POWER UTILITY
- UNDERGROUND POWER UTILITY
- SANITARY SEWER UTILITY
- UNDERGROUND TELECOM UTILITY
- UNDERGROUND WATER UTILITY

ALL DISTURBED AREAS LEFT FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL BE MULCHED IN ACCORDANCE WITH SECTION III, D.1 OF THE NPDES PERMIT

ALL BMPs ASSOCIATED WITH DEMOLITION SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK.

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**CONSTRUCTION SEQUENCE**

- PHASE 2**
1. GRADE SET AS BEST NEEDED FOR INSTALLATION OF ALL UTILITIES, PAVING, BUILDING SLAB, AND RETAINING WALLS) IF APPLICABLE.
  2. AS EACH LIFT IN ELEVATION IS COMPLETED CARE SHALL BE TAKEN AS TO INSURE THAT STABILIZATION AND EROSION PREVENTION HAS OCCURRED, ESPECIALLY AT THE END OF EACH WORK DAY.
  3. AS THE SITE IS BROUGHT UP TO SUB GRADE, THE STORM DRAINAGE SYSTEM IS TO BE CONSTRUCTED. UTILIZE APPROPRIATE INLET PROTECTOR DEVICES TO MINIMIZE SEDIMENT INTRUSION INTO THE STORM DRAINAGE SYSTEM.
  4. THE GENERAL CONTRACTOR SHALL CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM SITE REVIEW AND SURVEY VERIFICATION. IF NEEDED, THE CONTRACTOR AND GEOTECHNICAL MATERIALS TESTING CONSULTANT ARE TO VERIFY FIRM COMPLIANCE TO THE OWNER/DEVELOPER AT THE COMPLETION OF THE GRADING.
  5. BUILDING PAD PREPARATION AND STABILIZATION SHALL OCCUR AS SOON AS POSSIBLE. THE CONTRACTOR SHALL NOTE THE DATE OF COMPLETION ON THE EROSION PLAN. CONTRACTOR MUST BE AWARE OF ANY GEOTECHNICAL REQUIREMENTS ASSOCIATED WITH FINAL COMPACTION OR FOUNDATION PREPARATION REQUIREMENTS.

**PROPERTY AREA DATA**

TOTAL AREA OF PROPERTY: 4.85 ACRES  
TOTAL AREA OF DISTURBANCE: 4.80 ACRES

**GPS LOCATION** (DECIMAL DEGREES)

LATITUDE: 28.761748  
LONGITUDE: -82.005097



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**FOUNDRY INVESTMENT GROUP**

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CONTACT: BOB DANKS@FOUNDRYGROUP.COM  
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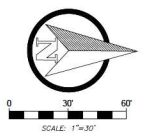
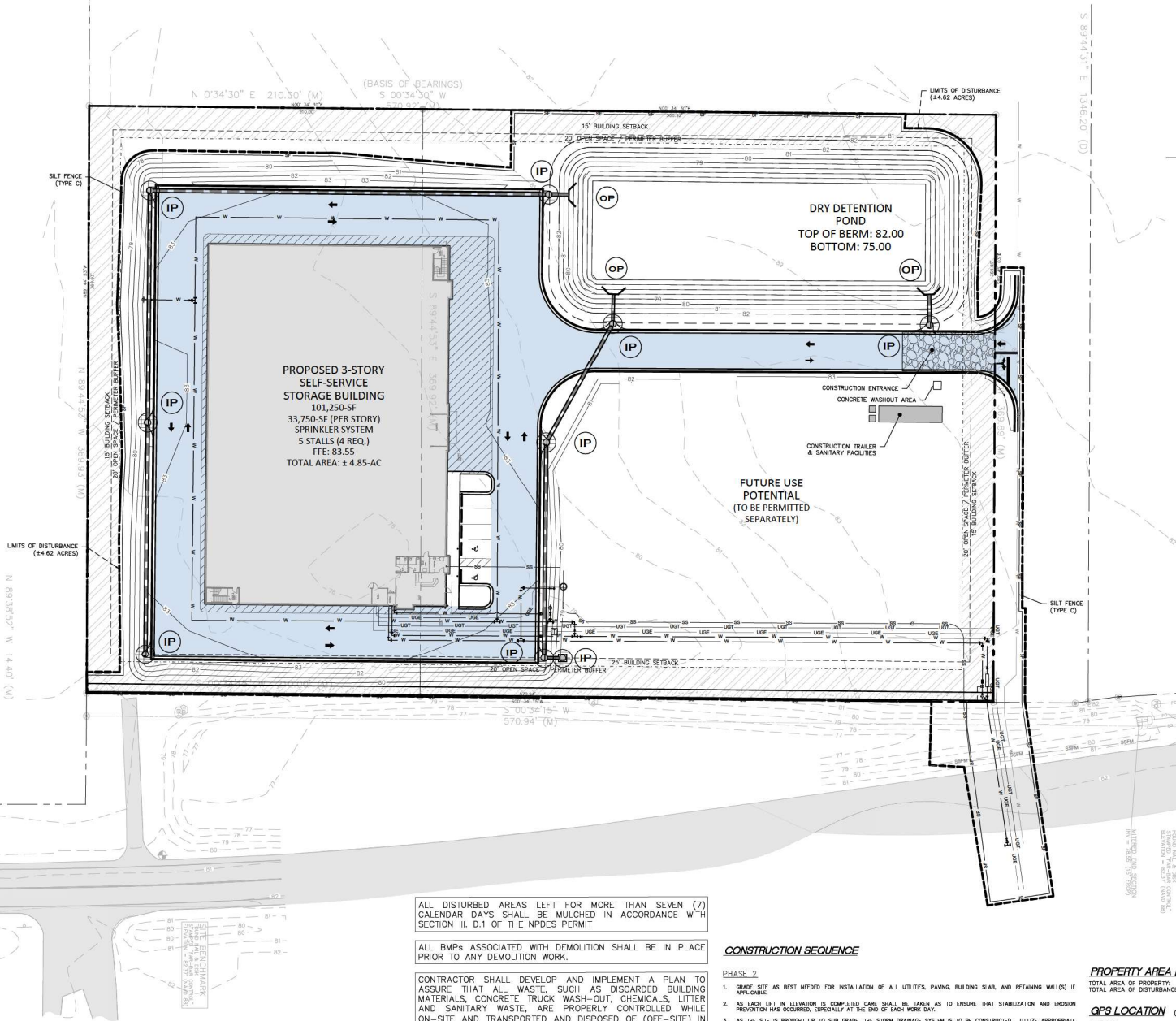
**WILWOOD CLIMATE STORAGE**

ISSUED FOR: CONSTRUCTION  
JURISDICTION: CITY OF WILWOOD  
LOCATION: 6022 MARSH BEND TRAIL WILWOOD, FL 34785

#	DATE	REVISIONS

DRAWN: JRM CHECK: RTC  
JOB NO: 23-299 DATE: 11/20/24

**INTERMEDIATE EC PLAN**  
SHEET **C601**



LEGEND

- Property boundary, setback boundary, easement/buffer boundary, curb & gutter, fence, concrete, heavy duty asphalt, existing contour, proposed contour, grade break line, underground storm pipe, underground gas utility, overhead power utility, underground power utility, sanitary sewer utility, underground telecom utility, underground water utility.



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WILMWOOD CLIMATE STORAGE
ISSUED FOR: CONSTRUCTION
JURISDICTION: CITY OF WILMWOOD
LOCATION: 6022 MARSH BEND TRAIL, WILMWOOD, FL 34785

Table with columns: #, DATE, REVISIONS.

DRAWN: JRM, CHECKED: RTC
JOB NO: 23-299, DATE: 11/20/24

FINAL EC PLAN
SHEET C602

ALL DISTURBED AREAS LEFT FOR MORE THAN SEVEN (7) CALENDAR DAYS SHALL BE MULCHED IN ACCORDANCE WITH SECTION III. D.1 OF THE NPDES PERMIT

ALL BMPs ASSOCIATED WITH DEMOLITION SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK.

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CONSTRUCTION SEQUENCE

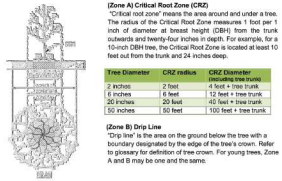
PHASE 2

- 1. GRASS SITE AS BEST NEEDED FOR INSTALLATION OF ALL UTILITIES, PAVING, BUILDING SLAB, AND RETAINING WALLS) IF APPLICABLE.
2. AS EACH LEFT IN ELEVATION IS COMPLETED CARE SHALL BE TAKEN AS TO ENSURE THAT STABILIZATION AND EROSION PREVENTION HAS OCCURRED, ESPECIALLY AT THE END OF EACH WORK DAY.
3. AS THE SITE IS BROUGHT UP TO SUB GRADE, THE STORM DRAINAGE SYSTEM IS TO BE CONSTRUCTED. UTILIZE APPROPRIATE BEST PRACTICES DESIGNED TO MINIMIZE SEDIMENT RUNOFF INTO THE STORM DRAINAGE SYSTEM.
4. THE GENERAL CONTRACTOR SHALL CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM SITE REVIEW AND SURVEY VERIFICATION, IF NEEDED, THE CONTRACTOR AND GEOTECHNICAL MATERIALS TESTING CONSULTANT ARE TO CERTIFY PLAN COMPLIANCE TO THE OWNER/DEVELOPER AT THE COMPLETION OF THE GRADING.
5. BUILDING PAD PREPARATION AND STABILIZATION SHALL OCCUR AS SOON AS POSSIBLE. THE CONTRACTOR SHALL NOTE THE DATE OF COMPLETION ON THE EROSION PLAN. THE CONTRACTOR MUST BE AWARE OF ANY GEOTECHNICAL REQUIREMENTS ASSOCIATED WITH FINAL COMPACTION OR FOUNDATION PREPARATION REQUIREMENTS.

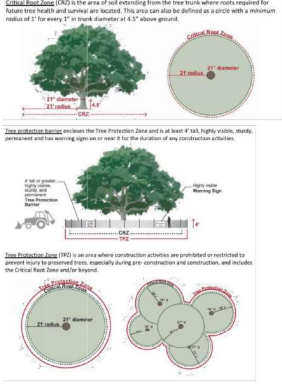
PROPERTY AREA DATA
TOTAL AREA OF PROPERTY: 4.85 ACRES
TOTAL AREA OF DISTURBANCE: 4.80 ACRES

GPS LOCATION (DECIMAL DEGREES)
LATITUDE: 28.707060
LONGITUDE: -82.005957

TREE PROTECTION AREAS



Definitions



(Zone C) Feeder Root Zone
'Feeder Root Zone' is the area under and around a tree. The radius of the Feeder Root Zone measures 2 feet per inch of DBH from the trunk outwards and 24 inches in depth. For example, for a 10-inch DBH tree, the Feeder Root Zone is located at least 20 feet out from the trunk and 24 inches deep.

Tree Protection Zone (TPZ)
'Tree Protection Zone' is an around defined area surrounding the trunk intended to protect the roots and soil to ensure future tree health and stability. A TPZ consists, at a minimum, of Zone A or B, whichever is greater, or may be another area (typically larger) as defined by the Arborist. Fencing may not be required in portions of the Tree Protection Zone that are covered by pavement, that will remain undisturbed during the construction activities, but other restrictions and protection measures are required as discussed in this Chapter.

Tree Protection Plans
Any person conducting construction activities such as excavation, filling, tunneling, trenching, compacting, demolition, utility work or other land disturbing activity in the Critical Root Zone or Dip Line of any tree, must submit a Tree Protection Plan to be approved by the Town Arborist prior to commencement of work. The tree protection site plan shall be incorporated into the demolition and temporary erosion and sediment control plans.

Tree Protection Plans shall include each of the following elements:
1) An Arborist Report detailing the tree's health, condition and recommendation by or against retention; and
2) A site plan that is drawn to scale and shows:
- all trees to be preserved on the site including their species, diameter at breast height (DBH) and Tree Protection Zone (including required fencing location);
- location of existing and/or proposed utilities;
- proposed grade changes and cross-sections; and
- location of proposed new trees.

Tree Protection Plans may be combined with the Stormwater Management Plan.

Tree Protection Fencing
Any person engaging in work that requires a Tree Protection Plan, or any person causing such work to be performed, must ensure that trees shall be sufficiently guarded and protected by those responsible for such work.

Requirements for tree protection fencing for trees to be preserved during construction are as follows:
1) Fencing shall be flush with the initial undisturbed grade.
2) The Protection Sign shall be attached to the fencing. Maintain the fencing in place until the Town authorizes removal or a final certificate of occupancy is issued.
3) Ensure that any climbing, grabbing or landscaping done in the TPZ, subsequent to the removal of the fencing, shall be accompanied with light machinery (ie, soil cutter) or hand labor.

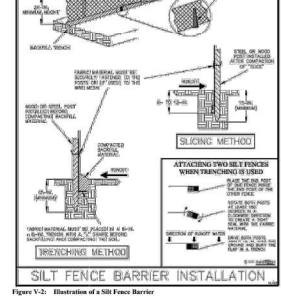


Figure 1-2: Illustration of a Silt Fence Barrier

4) No construction activity shall occur within the TPZ without prior written approval from the Town.
Construction activities are deemed to be prohibited within the TPZ. The Town shall be given at least 24-hour notice prior to the anticipated commencement of construction activities. Prohibited work including approval includes but is not limited to:
- dumping of construction waste;
- storage of materials;
- storage of vehicles or equipment;
- trenching;
- changing soil grade;
- compacting soil with vehicles or equipment traffic;
- installing pavement of any kind;
- attaching anything to trees along rails, crows or splices; or;
- stacking heavy machinery or equipment.

WORKING IN THE TREE PROTECTION ZONE - PROTECTIVE MEASURES
When certain construction activities are limited or prohibited within the TPZ, it is recognized that some activities cannot be avoided. If any construction activities are to be conducted within the TPZ, the following practices must be conducted.

Surface Protection Measures
If safe and construction activities cannot be kept out of the Tree Protection Zone for the entire duration of construction, actions shall be taken to dispense the vehicular load and/or surface compaction to protect the roots and minimize root damage.
Surface Protection Measures include:
1) applying 8 to 12 inches of wood chip mulch to the area;
2) using 1x4x2 plywood over 4 x 4 wood beams over a 4-inch thick layer of wood chip mulch;
3) applying 4 to 6 inches of gravel over a 4-inch, cleaned geotextile fabric;
4) placing steel plates on top of a 4x4 inch thick layer of wood chip mulch; or
5) placing commercial or logging road mats on top of a 4-inch thick layer of wood chip mulch.

Supplemental Irrigation
If construction activities are conducted within the TPZ during the months of May through September (excluding irrigation), which could include hand watering or another regular source of water, shall be provided. There shall be irrigation to provide at least 1 inch of water applied once a week directly to the root system using a slow delivery method to allow for adequate infiltration. The delivery method shall be identified on the work plan.

All trees related to be retained through construction shall be monitored for signs of drought stress. Signs of drought stress include:
- Leaf curling or rolling
- Leaf drop
- Early fall color
- Dieback on twigs (esp. in conifers)

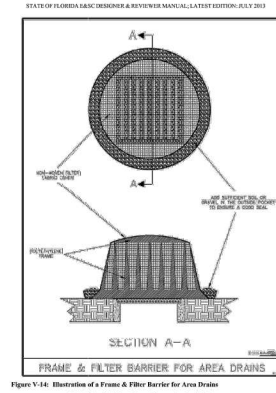


Figure 1-14: Illustration of a Frame & Filter Barrier for Area Drains

Canopy Clearance Pruning
If canopy clearance pruning is required to provide adequate clearance for construction equipment, the crown reduction method of pruning shall be applied to achieve clearance. Typical vehicle clearance is a 14-foot over-vehicular height.

Where excessive pruning would be necessary for construction clearance, temporary live-tie or lower limbs may be considered appropriate as long as the limbs are not structurally damaged.

WORKING IN THE TREE PROTECTION ZONE - TRENCHING / EXCAVATION

I. General
Being Trenching/Jacking is permitted in all Zones providing that:
1) All soil disturbance is to a minimum depth of 2 feet below grade;
2) The working / insertion point is not located within Zones A and B; and
3) The diameter of the barrel is not to exceed 6 inches.
II. Zone A (Critical Root Zone)
1) No disturbance allowed without site specific inspection and approval of methods to minimize root damage, except in the case of forming / boring / jacking
2) Sealing roots larger than 2 inches in diameter require Town approval
3) Trenching/boring/jacking is required to install lines 3 feet below grade or deeper.
III. Zone B (Dip Line)
1) Operation of heavy equipment and/or stockpiling of materials are subject to Town approval, and require specific surface protection measures.
2) Trenching may be allowed if adhering to the following:
- excavation by hand or with a hand-driven trencher may be required;
- trench width must be limited;
- no disturbance in Zone A is allowed; and
- 2/3 of more of Zone B must be maintained in an undisturbed condition.
3) Trenching may be required for trenches deeper than 3 feet.

IV. Zone C (Feeder Root Zone)
1) Operation of heavy equipment and/or stockpiling of materials is subject to Town approval, and may require specific surface protection measures.
2) Trenching is allowed with strict adherence to the following:
- excavation by hand or with a hand-driven trencher may be required;
- trench width must be limited;
- no disturbance in Zone A is allowed; and
- 2/3 or more of Zone C must be maintained in an undisturbed condition.

CRITICAL ROOT ZONE - PROHIBITED CONSTRUCTION ACTIVITIES
The following activities are prohibited within the Critical Root Zone:
- Dumping or storing materials such as building supplies, soil, waste items, vehicles or equipment;

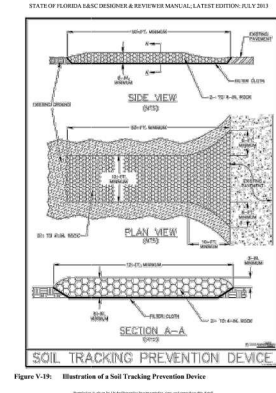


Figure 1-18: Illustration of a Soil Tracking Prevention Device

Parking vehicles;
Excavating for utility or building construction;
Constructing new paved surfaces; and
Significant changes to the grade or drainage patterns to the trees;

Any landscaping done in the CRZ subsequent to the removal of the fencing shall be accomplished by hand operated equipment or, when not feasible to be done by hand, shall be conducted with the smallest mechanized equipment necessary.

POST-CONSTRUCTION TREE MONITORING

All trees retained through construction shall be monitored and maintained including mulching, irrigation and pruning when necessary, for the next 3 years following construction. Trees shall be inspected annually to look for changes in condition and signs of pests or disease. If any problems occur or worsen, promptly notify the Town's Planning and Zoning Department at (803) 885-9272.

Ongoing protection activities following construction include:

- maintaining a mulched, grass-free area around the trunk to avoid damage by mowers or string trimmers;
- keeping building and other maintenance activities away from the limbs and trunks of trees during repair projects;
- avoiding soil contamination from oil, gasoline, paint, spent tires, or other chemicals; and;
- not attaching wires, cables, conduit, manholes or other objects to the trees;



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TEL: (770) 469-6826

WILWOOD CLIMATE STORAGE
ISSUED FOR: CONSTRUCTION
JURISDICTION: CITY OF WILWOOD
LOCATION: 6022 MARSH BEND TRAIL WILWOOD, FL 34785

Table with columns: #, DATE, REVISIONS

DRAWN: JRM CHECK: RTC
JOB NO: 23-299 DATE: 11/20/24

DETAILS SHEET C700

11/20/24

**CONTINUED GROUP**  
 3203 WINDMILL DRIVE  
 SUITE 1800  
 DECATUR, GA 30030  
 404.367.7271  
 www.continuedgroup.com



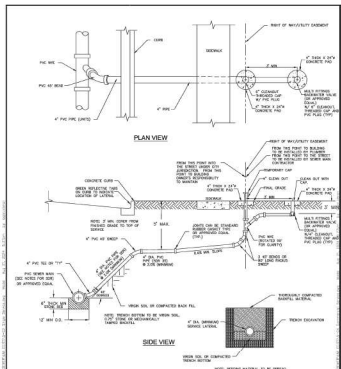
**FOUNDRY**  
 INVESTMENT GROUP  
 1575 NORRIS DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DANKS@FOUNDRYGROUP.COM  
 TEL: (770) 489-6826

**WILDWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
 JURISDICTION: CITY OF WILDWOOD  
 LOCATION: 6022 MARSH BEND TRAIL WILDWOOD, FL 34785

REV.	DATE	REVISIONS

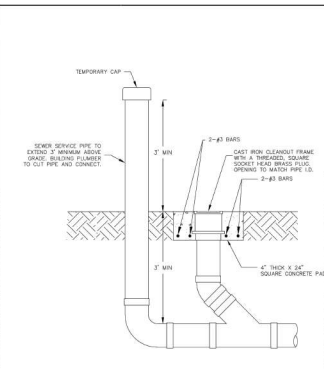
DRAWN: JRM  
 CHECKED: RTC  
 JOB NO: 23-299  
 DATE: 11/20/24

**DETAILS**  
 SHEET C701



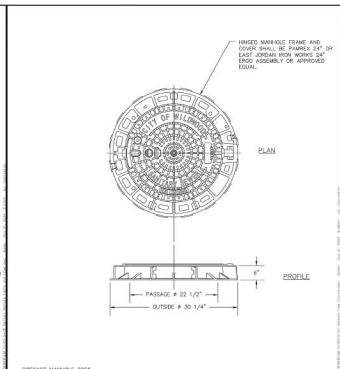
- NOTES:**
1. ALL LATERAL CONNECTIONS SHALL BE TO MANHOLES UNLESS OTHERWISE APPROVED.
  2. LATERAL DEPTH 4" TO 10" - SDN 30
  3. ALL CLEAN-OUTS IN THESE AREAS SHALL BE PROTECTED FROM COLLAPSE OR APPROVED EQUAL.

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	SANITARY SEWER SINGLE SERVICE	S-02



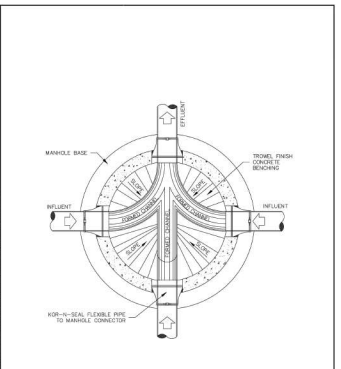
- NOTES:**
- 1. 2" THICK X 24" SQUARE CONCRETE FWD
  - 2. 2-#3 BARS
  - 3. 3" MIN
  - 4. 4" THICK X 24" SQUARE CONCRETE FWD

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	COMMERCIAL SANITARY SERVICE (8" AND SMALLER MANHOLES)	S-04

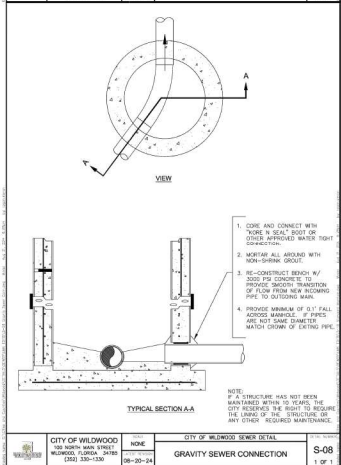


- PRECAST MANHOLE TYPES**
1. TWO COURSES OF ALIGNMENT BRICK (MAX) SHALL BE REQUIRED BETWEEN ALL PRECAST MANHOLE TYPES AND COVER FRAMES.
  2. CITY-OWNED MANHOLES SHALL HAVE COVERS LETTERED WITH "CITY OF WILDWOOD" ACROSS THE TOP AND "SANITARY SEWER" ACROSS THE BOTTOM. COVER OF PRIVATELY-OWNED MANHOLES SHALL ONLY INCLUDE "SANITARY SEWER" ACROSS THE BOTTOM.
  3. ALL MANHOLES IN URBAN AREAS SHALL INCLUDE RAIN CATCHERS AS DIRECTED BY THE CITY ENGINEER AND INSPECTOR.

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	STANDARD MANHOLE FRAME AND COVER	S-06

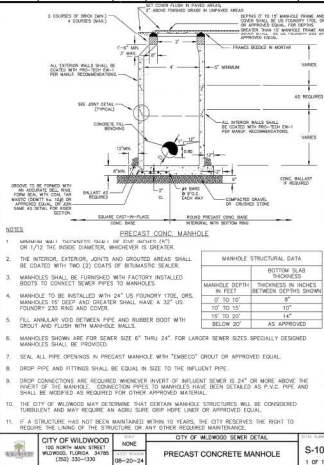


CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	TYPICAL MANHOLE PLAN	S-07



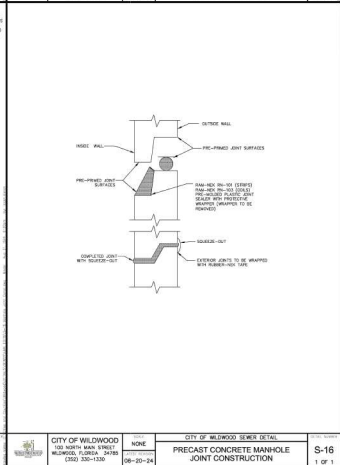
- NOTES:**
1. CODE AND CONNECT WITH TUBES IN SEAL FOOT OR (2) COURSES APPROVED WATER TIGHT (NON-SHIMING GROUT)
  2. RE-CONSTRUCT BRICK BY 3000 PSI CONCRETE TO BE INSTALLED WITH REINFORCING BARS TO BE INSTALLED TO A MINIMUM DEPTH OF FLOW FROM NEW RECEIVING PIPE TO EXISTING MAIN.
  3. PROVIDE MANHOLE OF A 1" FALL (KINDS MANHOLE, IF TYPES ARE NOT SAME DIAMETER MATCH CENTER OF EXISTING PIPE.

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	GRAVITY SEWER CONNECTION	S-08



- NOTES:**
1. MANHOLE SHALL BE REINFORCED WITH 4" (MIN) DIA. BARS (MAX) SHALL BE SPACED AT 12" ON CENTER.
  2. THE INTERIOR, EXTERIOR, JOINTS AND GROUTED AREAS SHALL BE COATED WITH TWO (2) COATS OF BITUMASTIC SEALER.
  3. MANHOLE SHALL BE FURNISHED WITH FACTORY INSTALLED BODYS TO CONNECT SEWER PIPES TO MANHOLES.
  4. MANHOLE TO BE INSTALLED WITH 24" US FOUNDRY TYPE, ORES MANHOLES OF 24" AND LARGER SHALL MAKE A 32" US FOUNDRY 230 RIG AND COVER.
  5. FILL ANNULAR VOID BETWEEN PIPE AND RUBBER BOOT WITH GROUT AND FLOOR WITH MANHOLE BARS.
  6. MANHOLES SHOWN ARE FOR SEWER SIZE 6" THRU 24". FOR LARGER SEWER SIZES SPECIALLY DESIGNED MANHOLES SHALL BE PROVIDED.
  7. SEAL ALL PIPE OPENINGS IN PRECAST MANHOLE WITH "TIMBERLOK" GROUT OR APPROVED EQUAL.
  8. DROP PIPE AND FITTINGS SHALL BE EQUAL IN SIZE TO THE INFLUENT PIPE.
  9. DROP CONNECTIONS ARE REQUIRED UNLESS MANHOLES OF 24" OR WERE ABOVE THE LEVEL OF THE MANHOLE. CONNECTION PIPES TO MANHOLES HAVE BEEN SEaled AS P.V.C. PIPE AND SHALL BE APPROVED BY ENGINEER.
  10. THE CITY OF WILDWOOD MAY DETERMINE THAT CERTAIN MANHOLE STRUCTURES WILL BE CONSIDERED TUNNELS AND MAY REQUIRE AN ADDITIONAL GROUT WITH UNDER OR APPROVED EQUAL.
  11. IF A STRUCTURE HAS NOT BEEN MAINTAINED WITHIN 15 YEARS, THE CITY RESERVES THE RIGHT TO REQUIRE THE TUNNELING OF THE STRUCTURE OR ANY OTHER REQUIRED MAINTENANCE.

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	PRECAST CONCRETE MANHOLE	S-10



- MANHOLE STRUCTURAL DATA**
- |                 |   |
|-----------------|---|
| MANHOLE SIZE    | 6" TO 36"   |
| MANHOLE DEPTH   | REQUIRE AS SHOWN                                      |
| MANHOLE IN FEET | 8" TO 12" 10" 12" 14" 16" 18" 20" 22" 24" AS APPROVED |

CITY OF WILDWOOD	NONE	CITY OF WILDWOOD	1 OF 1
160 SOUTH BEND STREET WILDWOOD, FL 34785 (2023-2024)	08-20-24	PRECAST CONCRETE MANHOLE JOINT CONSTRUCTION	S-16

TABLE OF CONTENTS	LATEST	
W-00	TABLE OF CONTENTS	01-23-19
W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-02	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-03	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-04	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-05	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-06	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-07	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-08	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-09	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-10	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-11	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-12	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-13	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-14	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-15	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-16	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-17	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-18	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-19	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-20	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-21	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-22	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18
W-23	POTABLE WATER DISTRIBUTION SPECIFICATIONS	08-20-18

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	TABLE OF CONTENTS
WILMWOOD, GA	08-20-18	W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-01	POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS
WILMWOOD, GA	08-20-18	W-02	NON-POTABLE WATER DISTRIBUTION SPECIFICATIONS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	SEPARATION OF WATER MAINS
WILMWOOD, GA	08-20-18	W-05	SEPARATION OF WATER MAINS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	MECHANICAL JOINT RESTRAINTS
WILMWOOD, GA	08-20-18	W-06	MECHANICAL JOINT RESTRAINTS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	MECHANICAL JOINT RESTRAINTS
WILMWOOD, GA	08-20-18	W-06	MECHANICAL JOINT RESTRAINTS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	WATER SEWER PIPE CONTACT DETAIL
WILMWOOD, GA	08-20-18	W-07	WATER SEWER PIPE CONTACT DETAIL

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	GATE VALVE AND BOX DETAIL
WILMWOOD, GA	08-20-18	W-08	GATE VALVE AND BOX DETAIL

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	ATMATIC AIR RELEASE VALVE
WILMWOOD, GA	08-20-18	W-09	ATMATIC AIR RELEASE VALVE

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	SEPARATION OF WATER MAINS
WILMWOOD, GA	08-20-18	W-05	SEPARATION OF WATER MAINS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	MECHANICAL JOINT RESTRAINTS
WILMWOOD, GA	08-20-18	W-06	MECHANICAL JOINT RESTRAINTS

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	WATER SEWER PIPE CONTACT DETAIL
WILMWOOD, GA	08-20-18	W-07	WATER SEWER PIPE CONTACT DETAIL

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	GATE VALVE AND BOX DETAIL
WILMWOOD, GA	08-20-18	W-08	GATE VALVE AND BOX DETAIL

CITY OF WILMWOOD	DATE	CITY OF WILMWOOD WATER DETAIL	ATMATIC AIR RELEASE VALVE
WILMWOOD, GA	08-20-18	W-09	ATMATIC AIR RELEASE VALVE

**FOUNDRY**  
INVESTMENT GROUP

1575 MORRISSE DRIVE, NW, ATLANTA, GA 30318  
TEL: (770) 469-6826

**WILMWOOD CLIMATE STORAGE**

ISSUED FOR: CONSTRUCTION  
JURISDICTION: CITY OF WILMWOOD  
LOCATION: 6022 MARSH BEND TRAIL WILMWOOD, FL 34785

**REVISIONS**

NO.	DATE	DESCRIPTION

**DRAWN: JRM**      **CHECK: RTC**

**JOB NO: 23-299**      **DATE: 11/20/24**

**DETAILS**

**SHEET C702**

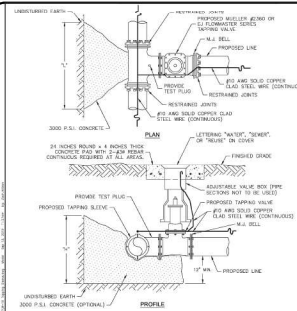


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CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-10 TAPPING SLEEVE AND VALVE 1 OF 1

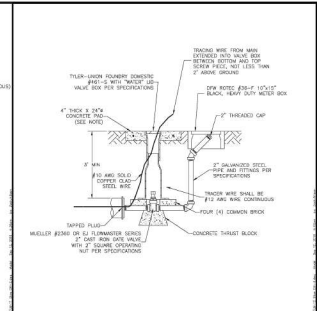


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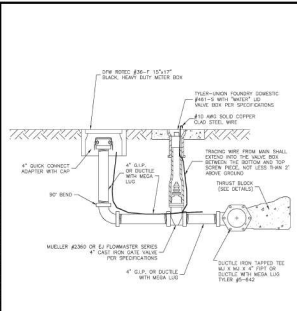


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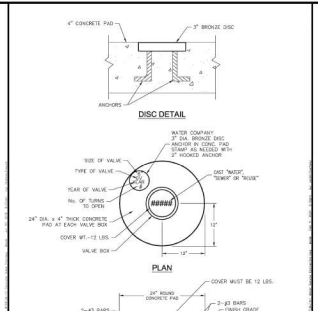


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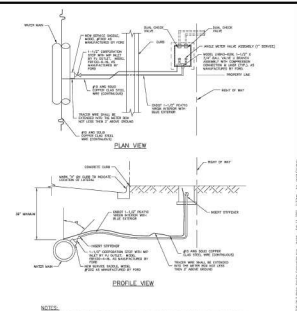


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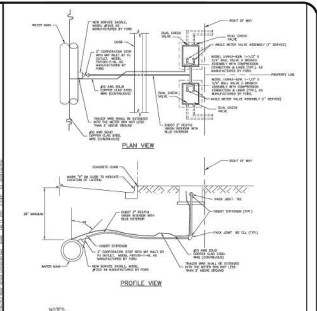
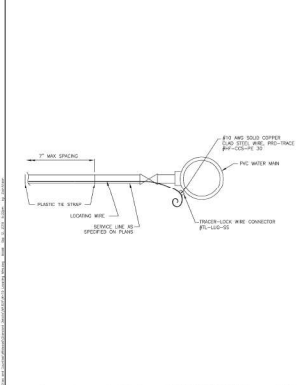
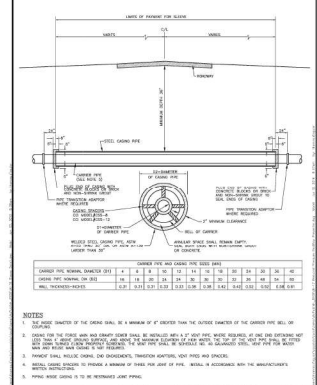


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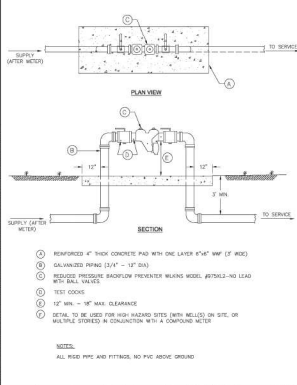
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-15 DUAL WATER SERVICE CONNECTION 1 OF 1



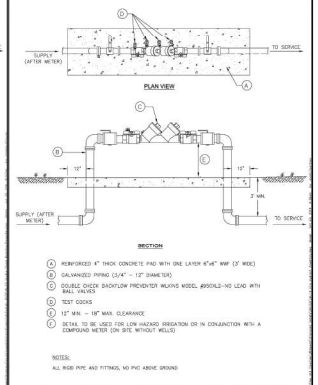
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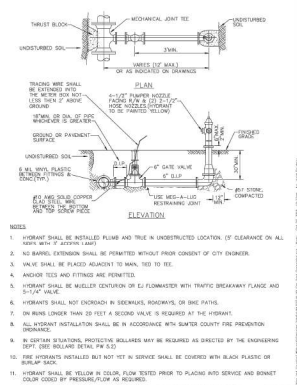
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-16 UTILITY SLEEVE DETAIL 1 OF 1



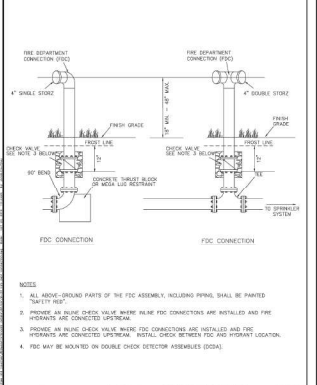
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-17 REDUCED PRESSURE BACKFLOW PREVENTER 1 OF 1



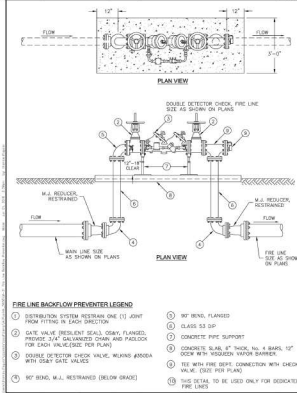
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-18 DOUBLE CHECK BACKFLOW PREVENTER 1 OF 1



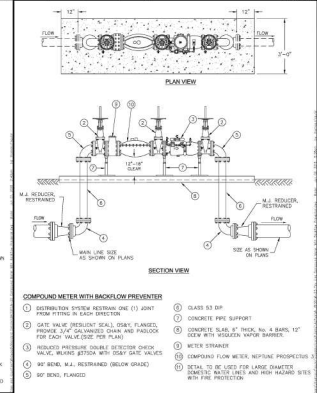
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-19 FIRE HYDRANT ASSEMBLY 1 OF 1



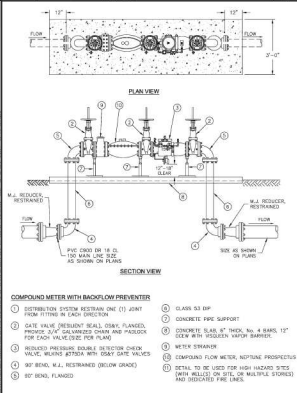
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-20 FIRE DEPARTMENT CONNECTION (6\"/>



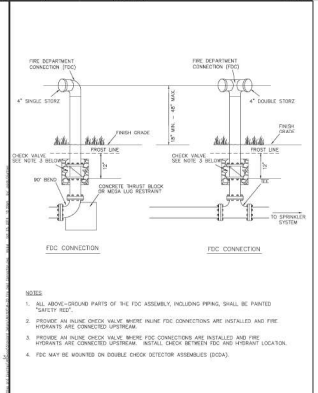
CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-21 FIRE LINE BACKFLOW PREVENTER DEVICE 1 OF 1



CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-22 COMPOUND METER WITH BACKFLOW PREVENTER 6\"/>



CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-23 FIRE LINE COMPOUND METER WITH BACKFLOW PREVENTER 6\"/>



CITY OF WILWOOD PROJECT NO. 30-299 SHEET NO. W-20 FIRE DEPARTMENT CONNECTION (6\"/>



CONTINUED GROUP  
2500 CONTRACT DRIVE  
SUITE 800  
DECATUR, GA 30030  
404.3867721  
www.gongroup.com



FOUNDRY  
INVESTMENT GROUP  
1575 NORTSHIRE DRIVE, NW, ATLANTA, GA 30118  
CONTACT: BOB DUNN@FOUNDRYGROUP.COM  
TEL: (770) 469-6826

WILWOOD CLIMATE STORAGE  
ISSUED FOR: CONSTRUCTION  
JURISDICTION: CITY OF WILWOOD  
LOCATION: 6022 MARSH BEAND TRAIL WILWOOD, FL 34785

Table with 2 columns: DATE and REVISIONS. Includes a section for DRAWN: JRM and CHECK: RTC.

JOB NO: 23-299  
DATE: 11/20/24

DETAILS  
SHEET C703



**CONTINUED GROUP**  
 7400 WINDWOOD DRIVE  
 SUITE 800  
 DECATUR, GA 30030  
 404.387.7271  
 www.continued.com

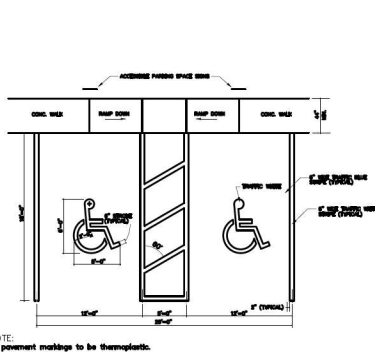
**FOUNDRY**  
 INVESTMENT GROUP  
 1575 WARRISSE DRIVE, NW, ATLANTA, GA 30318  
 CONTACT: BOB DANESBACH  
 TEL: (770) 469-6826

**WILDWOOD CLIMATE STORAGE**  
 ISSUED FOR: CONSTRUCTION  
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 LOCATION: 6022 MARSH BEND TRAIL WILDWOOD, FL 34785

#	DATE	REVISIONS

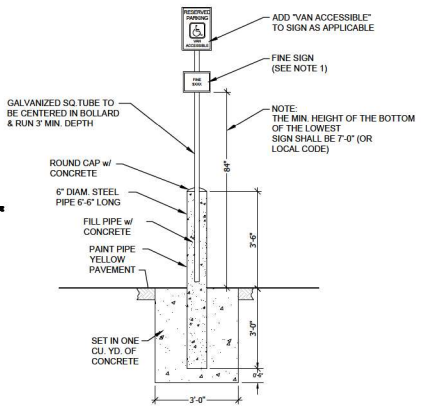
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 CHECKED: RTC  
 JOB NO: 23-299  
 DATE: 11/20/24

**DETAILS**  
 SHEET C704



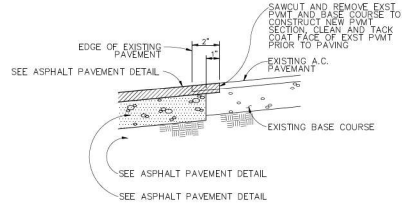
**ACCESSIBLE STRIPING DETAIL**  
 NTS

- NOTES:  
 1. All pavement markings to be thermoplastic.  
 2. VERTICAL ACCESSIBLE SIGN DOES NOT HAVE TO BE POLE MOUNTED AND MAY BE MOUNTED TO THE BUILDING FASCIA INSTEAD (LOCAL AND STATE CODE TO SUPERSEDE)

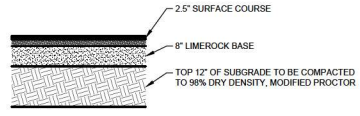


**ADA SIGN, MOUNTING AND BASE**  
 NTS

- NOTES:  
 1. SIGN STARTING MONETARY FINE TO BE INSTALLED (IF NEEDED) BASED ON LOCAL CODE.  
 2. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND, AS SPECIFIED, MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 3. VERTICAL ACCESSIBLE SIGN DOES NOT HAVE TO BE POLE MOUNTED AND MAY BE MOUNTED TO THE BUILDING FASCIA INSTEAD.

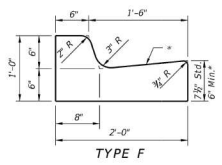


**TYPICAL PAVEMENT CONNECTION**  
 NTS

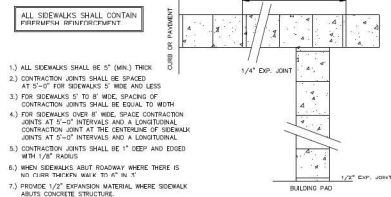


**HEAVY-DUTY ASPHALT DETAIL**  
 NTS

NOTE:  
 CONFIRM PAVEMENT DESIGN W/ GEOTECHNICAL REPORT

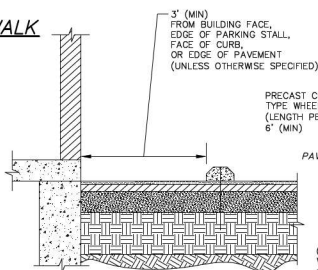
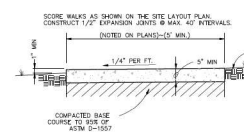


**TYPE F**

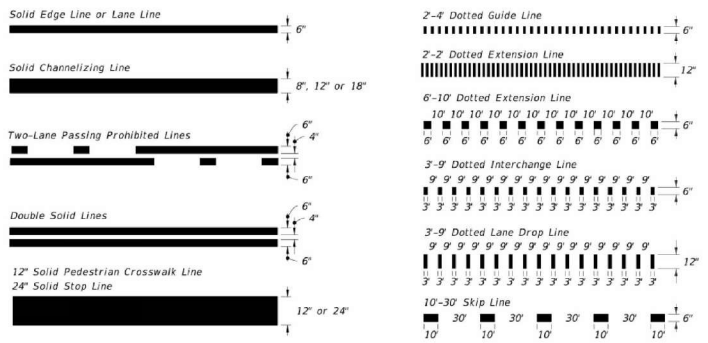


**CONCRETE SIDEWALK**  
 NTS

- ALL SIDEWALKS SHALL CONTAIN FERRITUM REINFORCEMENT.  
 1. ALL SIDEWALKS SHALL BE 6" (MIN.) THICK.  
 2. CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" FOR SIDEWALKS 5' WIDE AND LESS.  
 3. FOR SIDEWALKS 5' TO 8' WIDE, SPACING OF CONTRACTION JOINTS SHALL BE EQUAL TO WIDTH.  
 4. FOR SIDEWALKS OVER 8' WIDE, SPACE CONTRACTION JOINTS AT 8'-0" INTERVALS AND A LONGITUDINAL CONTRACTION JOINT AT THE CENTERLINE OF SIDEWALK JOINTS AT 2'-0" INTERVALS AND A LONGITUDINAL CONTRACTION JOINT SHALL BE 1" DEEP AND EDGED WITH 1/2" RADIUS.  
 5. WHEN SIDEWALKS ABUT ROADWAY WHERE THERE IS NO CURB THEREIN MARK TO 4" IN 1".  
 6. PROVIDE 1/2" EXPANSION MATERIAL WHERE SIDEWALK ABUTS CONCRETE STRUCTURE.  
 7. A LAYER OF #5 FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLEL CONCRETE CURB.



**WHEEL STOP**  
 NTS



**PAVEMENT MARKING LINES**

C:\USERS\WMT\CONTINUED\WORKING\PROJECTS\23-299 - FIC - 6022 MARSH BEND TRAIL WILDWOOD - FL 34785.DWG



Wildwood Storage Storage  
Addendum No. 22-0000  
August 26, 2023

We are pleased to be of assistance to you on the phase of the project. When we may be of further service to you or should you have any questions, please contact us.

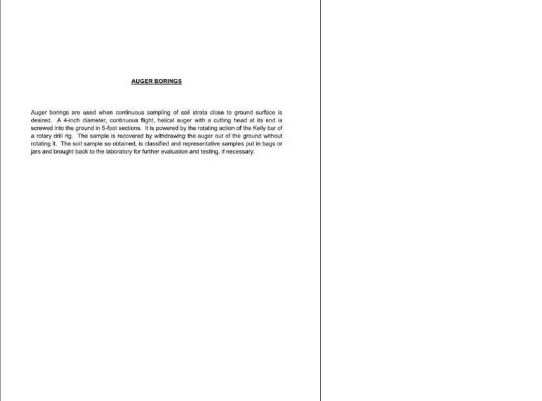
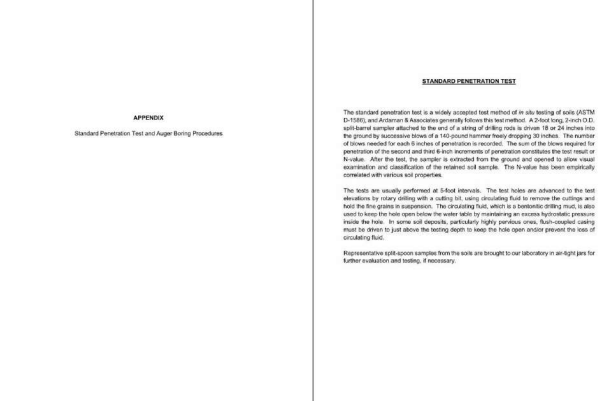
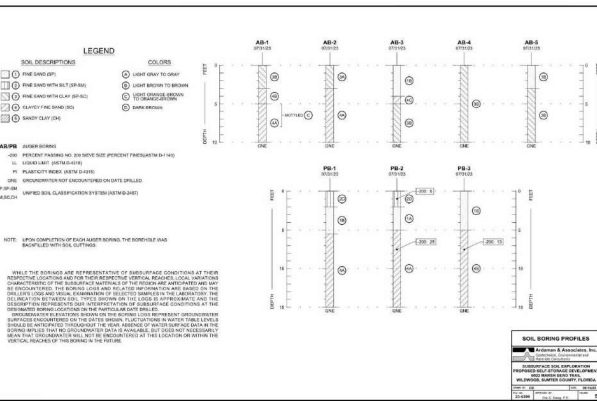
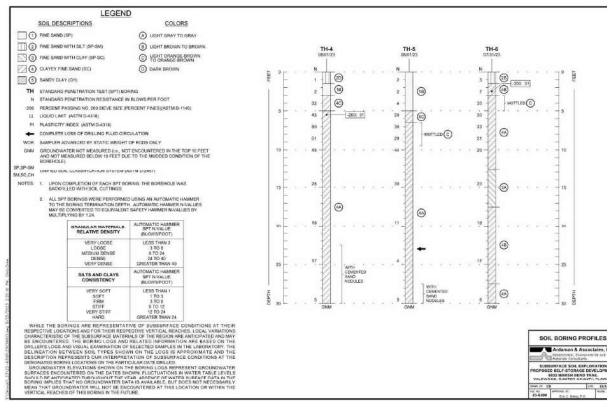
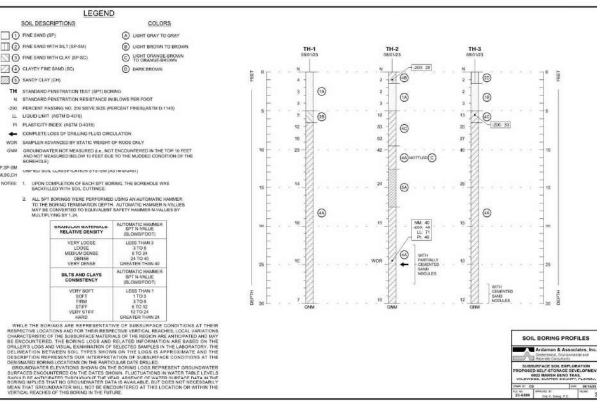
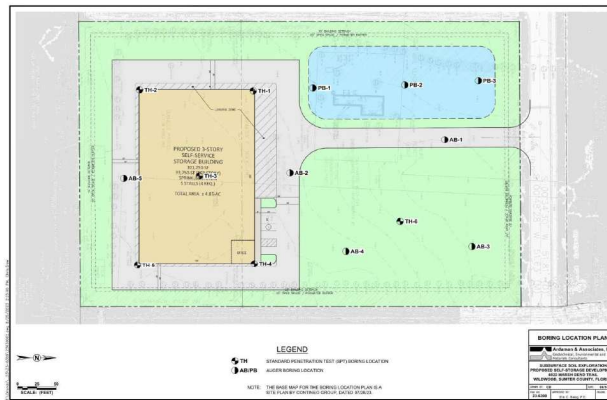
For the City of  
ARDAMAN & ASSOCIATES, INC.  
Florida Registry 5962

*Eric C. Baboy*  
Eric C. Baboy, P.E.  
Principal Engineer  
Florida License No. 5962

*Charles H. Cunningham, P.E.*  
Charles H. Cunningham, P.E.  
Vice President  
Florida License No. 38165



ARDAMAN & ASSOCIATES, INC.  
10000 W. BOULEVARD, SUITE 200  
MIRAGE, FLORIDA 32187  
TEL: 407.255.1100  
WWW.ARDAMAN.COM



CONTINUED GROUP  
1575 MARSH BEAD DRIVE  
SUITE 800  
DECATUR, GA 30030  
404.256.7271  
www.rongroup.com

FOUNDRY INVESTMENT GROUP  
1575 MARSH BEAD DRIVE, SUITE 800  
DECATUR, GA 30030  
TEL: (770) 469-6826

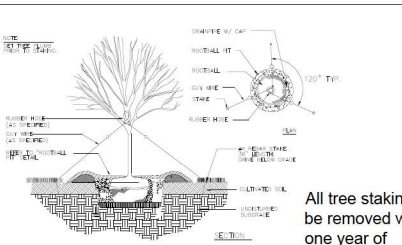
SELF-SERVICE STORAGE  
WILDWOOD, SUMNER COUNTY  
ISSUED FOR: CONSTRUCTION  
JURISDICTION: CITY OF WILDWOOD  
LOCATION: 6022 MARSH BEAD TRAIL  
WILDWOOD, FL 32606

#	DATE	REVISIONS

DRAWN: KK  
CHECKED: RTC  
JOB NO: 23-299  
DATE: 10/09/23

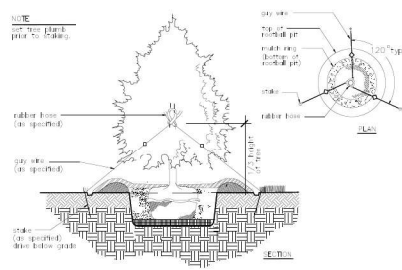
GEOTECH REPORT  
SHEET C801

This item has been digitally signed and sealed by RON CRUMP PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

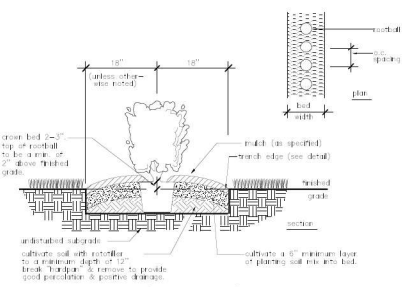


All tree staking is to be removed within one year of installation.

**THEE STAKING & CIVING**



**EVERGREEN TREE STAKING**



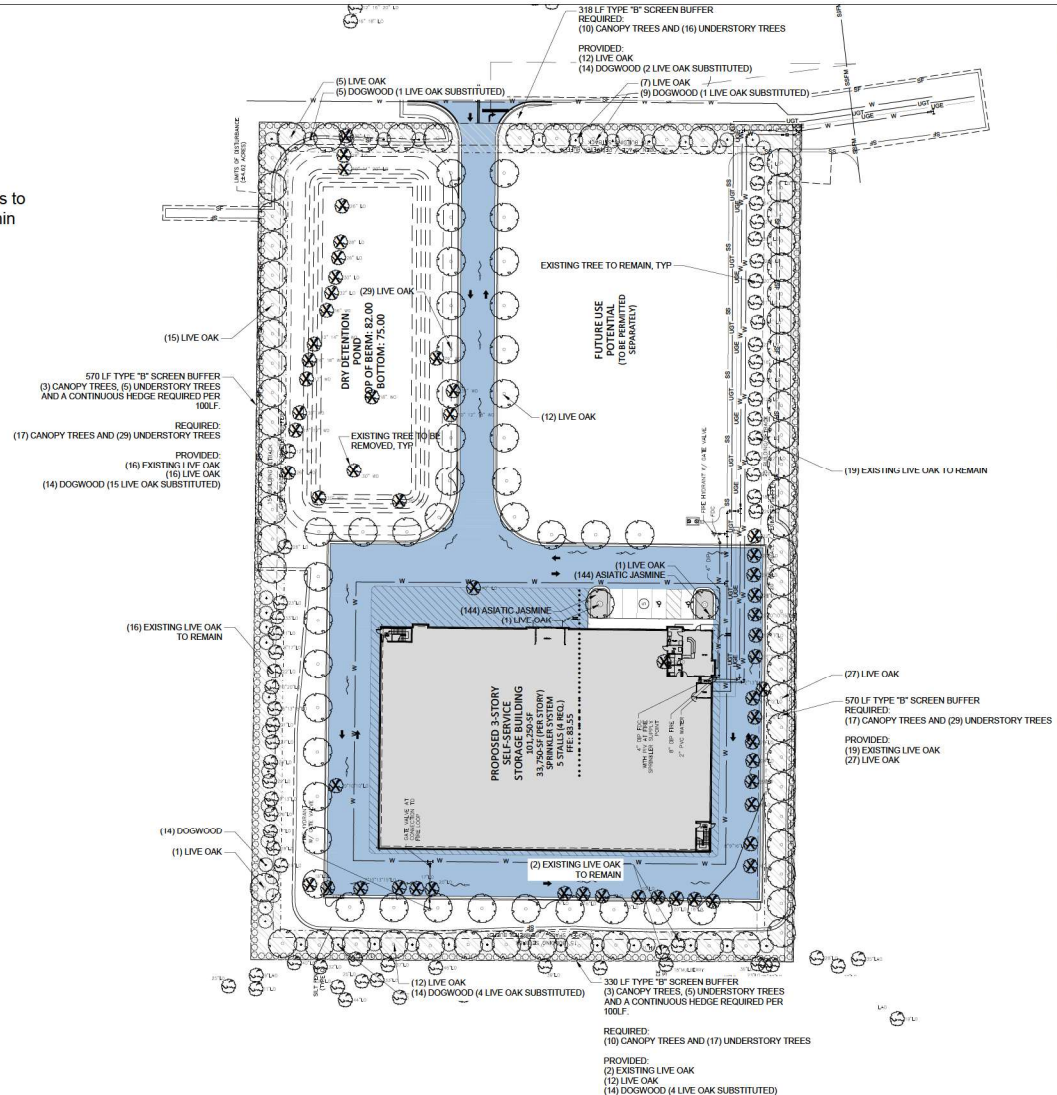
**HEDGE PLANTING (SINGLE ROW)**

**GENERAL PLANTING NOTES:**

1. All plants are to be healthy, vigorous specimens, free of pests & diseases.
2. All plants are to be containerized in a standard landscape bag or pot and labeled as such.
3. All plants are to be installed within 14 days of receipt of all equipment.
4. All plants are to be installed within 14 days of receipt of all equipment.
5. All plants are to be installed within 14 days of receipt of all equipment.
6. All plants are to be installed within 14 days of receipt of all equipment.
7. All plants are to be installed within 14 days of receipt of all equipment.
8. All plants are to be installed within 14 days of receipt of all equipment.
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15. All plants are to be installed within 14 days of receipt of all equipment.
16. All plants are to be installed within 14 days of receipt of all equipment.
17. All plants are to be installed within 14 days of receipt of all equipment.
18. All plants are to be installed within 14 days of receipt of all equipment.
19. All plants are to be installed within 14 days of receipt of all equipment.
20. All plants are to be installed within 14 days of receipt of all equipment.

Qty	Sym.	Botanical Name	Common Name	Size	Spacing	Hgt.	Width	Root	Notes
364	○	Ligustrum japonicum	Ligustrum	3 gal.	5' o.c.	18"	24"	cont.	

Qty	Sym.	Botanical Name	Common Name	Size	Spacing	Root	Notes
288	○	Trachelospermum asiaticum	Asiatic Jasmine	4" pot	18" o.c.	cont.	Hand tagged



Qty	Sym.	Botanical Name	Common Name	Size	Spacing	Hgt.	Root	Notes
42	○	Cornus florida	Dogwood	2.5" DBH	25' O.C.	8' MIN.	B&B	
110	○	Quercus virginiana	Live Oak	3" DBH	25' O.C.	12' MIN.	B&B	

Qty	Sym.	Botanical Name	Common Name	Size	Spacing	Hgt.	Width	Root	Notes
364	○	Ligustrum japonicum	Ligustrum	3 gal.	5' o.c.	18"	24"	cont.	

Qty	Sym.	Botanical Name	Common Name	Size	Spacing	Root	Notes
288	○	Trachelospermum asiaticum	Asiatic Jasmine	4" pot	18" o.c.	cont.	Hand tagged

Existing Trees to Remain = 38  
Proposed Trees = 80 Live Oak, 41 Dogwood

(8) Heritage (36" or greater) Live Oak Trees to be removed;  
(32) Replacement Live Oaks required

(4) Heritage (36" or greater) Trees to be removed;  
(16) Replacement Trees required

(23) 18-35" Live Oak Trees to be removed;  
(69) Replacement Live Oaks required

(8) 18-35" Trees to be removed;  
(24) Replacement trees required

(9) 10-17" Live Oaks removed;  
(9) Replacement Live Oaks required

(2) 10-17" Trees to be removed;  
(2) Replacement trees required

(110) replacement Live Oaks Trees required;  
(110) Live Oak Trees are proposed.

There is NO deficit of Live Oak Trees.  
(42) replacement trees required  
(42) replacement Dogwood trees proposed

Land Development Regulations (LDR) 6.10(H)(2), requires one (1) replacement tree for trees 10" -17" diameter breast height (DBH), three (3) replacement trees for trees 18" - 35" diameter breast height (DBH) and four (4) replacement trees for trees 36" or greater DBH.

Additionally, LDR 6.10(H)(2) requires Live Oaks to be replaced with Live Oaks.  
NO MITIGATION TO THE TREE FUND REQUIRED

Note: Any/all critical root zones must have root pruning prior to permanent irrigation installation.



REVISIONS
REVISED 01-01-2024
REVISED 06-04-2024
REVISED 06-26-2024
REVISED 09-11-2024
REVISED 11-12-2024



**LANDSCAPE PLAN**

**STORAGE FACILITY**  
WILDWOOD, FLORIDA

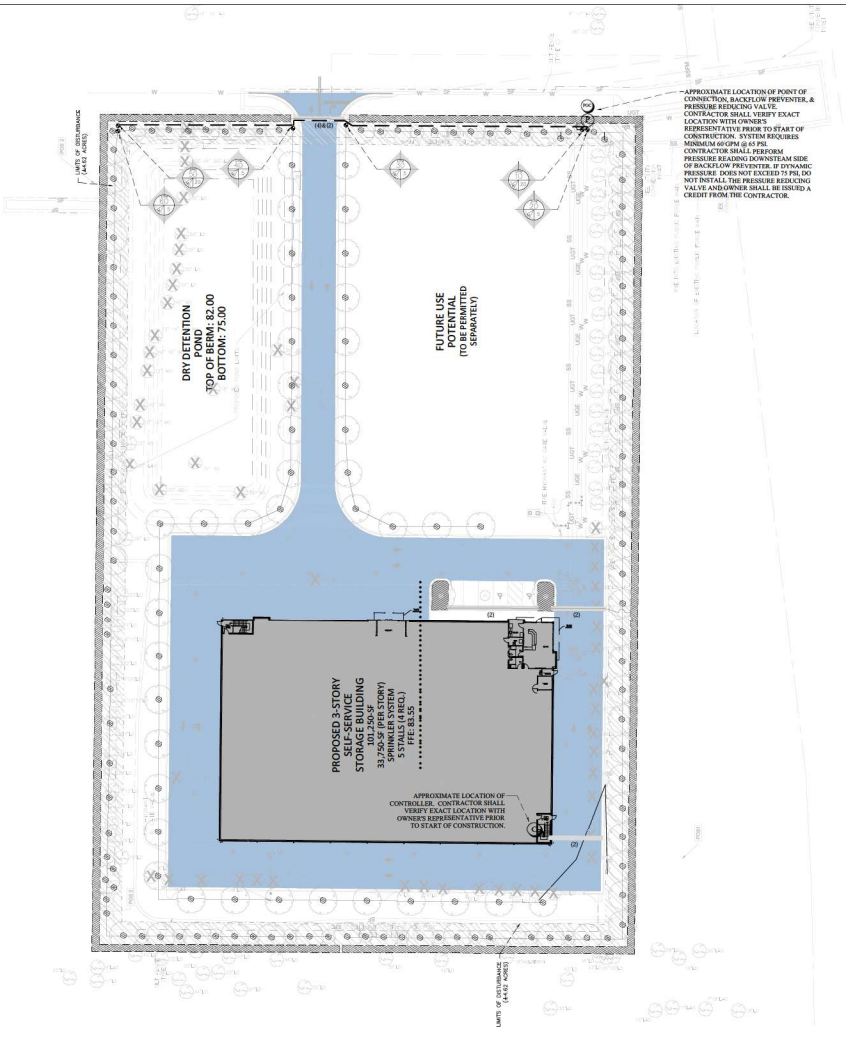
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JOB NO.	2023076
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DRAWN BY	RM
CHECKED BY	RM

DISCLAIMER  
THIS DRAWING IS THE PROPERTY OF RAA DESIGN, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.  
RAA DESIGN, LLC



LS-1  
0"

Date: Nov 12, 2024, 10:39am, User: 6144\_063204  
 File: C:\Users\pkar\_063204\Desktop\RAA Design\2023\2023102727 - Wetmore Pt. Self Storage\Wetmore Pt. Storage Facility\current.dwg



**LEGEND**

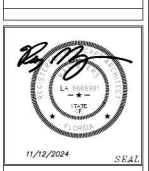
- ▲ RAIN HYDRANT HEAD - SEE DETAIL
- ▲ RAINBIRD 180 SERIES #200 CONTROL KIT INSTALL BY CARSON TUBBO RECTANGLE VALVE BOX
- ▲ RAINBIRD 180 SERIES PRESSURE REDUCING VALVE
- BELL AND HOWELL OR EQUAL VP 1" VALVE BOX 1/2" 20 GPM
- RAINBIRD 180 SERIES OR EQUAL VALVE SUPPLY 1.5" HOLES & HOSE THROTTLE PRESS. VALVES
- EACH PLANTING AREA SHOWN AS DRIP TUBING SHALL HAVE FROM 10' TO 15' NETSPRINK TYPICAL CV
- DRIP TUBING THE DRIP TUBING SHALL BE INSTALLED ON GRADE, AND WHEN WITH NETSPRINK 1.5" (L) GALVANIZED STEEL PIPES, AND WHEN COVERED WITH MULCH, THE DRIPLINE SHALL BE LOCATED TO AVOID PLANTING CONTIGUOUS OF ALL PLANT MATERIAL NETSPRINK
- RAINBIRD TYPING SHALL BE USED ON ALL DRIPLINE KENTS AND ENDS - SEE DETAIL
- NETSPRINK TYPICAL CV DRIP TUBING WITH EMITTERS - INSTALL AS PER DETAILS
- GEOFLOW (AP F) FLUSH VALVE OR EQUAL/INSTALL AS PER DETAILS
- GEOFLOW (ARV 05) AIR VACUUM RELIEF VALVE/ OR EQUAL/INSTALL AS PER DETAILS
- CLASS 300 PVC LATERAL LINE - SIZE AS SHOWN UNLESS A SMALLER SIZE IS SHOWN
- RAINBIRD 180 SERIES #1000 HEAD - 10 GPM
- RAINBIRD 180 SERIES #1000 HEAD
- SEE 40' DEEPEST AVOIDANCE OF 24" DEPTH AND 12" DIA. TRENCH DEPTH SHALL BE THE PIPE SIZE OR AS LABELED ON THE PLAN
- CLASS 300 PVC MAINLINE 1"
- CLASS 300 PVC LATERAL LINE - SIZE AS SHOWN UNLESS A SMALLER SIZE IS SHOWN
- CONTROL LINE HENTON PFC 300M M3 STATION/WALL MOUNT AS SHOWN ON THE PLAN, INSTALL MIN 1/2" TRENCH SENSORS & FREEZE CLIP SENSORS GROUND WITH MINIMUM 20' OF COPPER CLAD RODS. SLEEVE TO AS REQUIRED
- BACKLOG PREVENTER 4" OR REDUCED PRESSURE AND HOT BOX 6211 OR TYPES AS REQUIRED BY LOCAL CODE
- PRESSURE REDUCING VALVE 1/4" WATTI (INSTALL AS REQUIRED)

**LATERAL LINE PIPE SIZE SCHEDULE**

2" - 3" GPM	1/2" CLASS 300 PVC PIPE
3" - 4" GPM	3/4" CLASS 300 PVC PIPE
4" - 5" GPM	1" CLASS 300 PVC PIPE
6" - 8" GPM	1 1/2" CLASS 300 PVC PIPE



**REVISIONS**

11/12/2024 SEAL

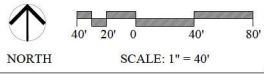
**IRRIGATION PLAN**

**STORAGE FACILITY**  
WILLOWOOD, FLORIDA

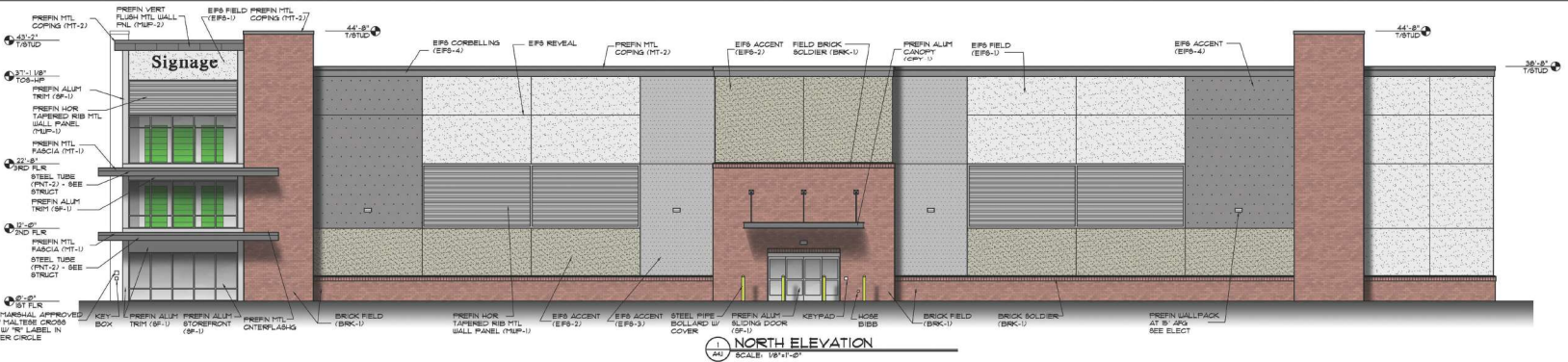
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JOB NO.	2023076
SCALE	
DRAWN BY	RM
CHECK BY	RM

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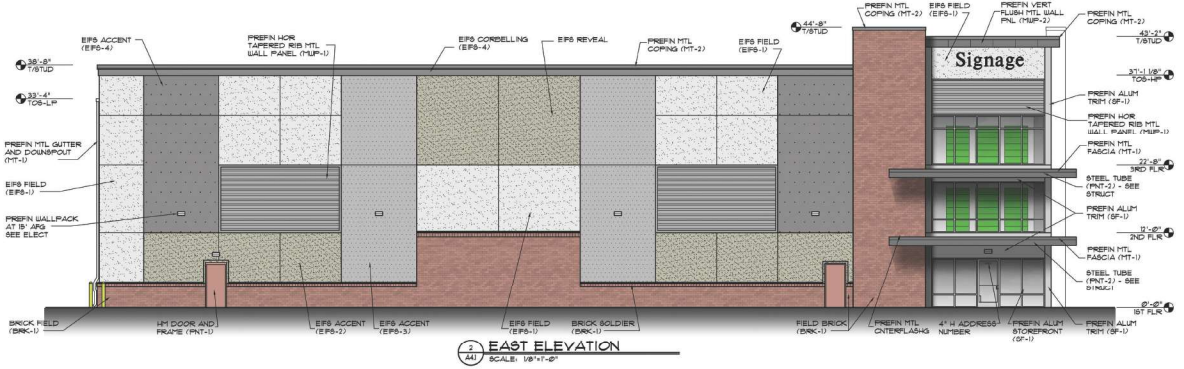
SHEET  
**IR-1**  
OF



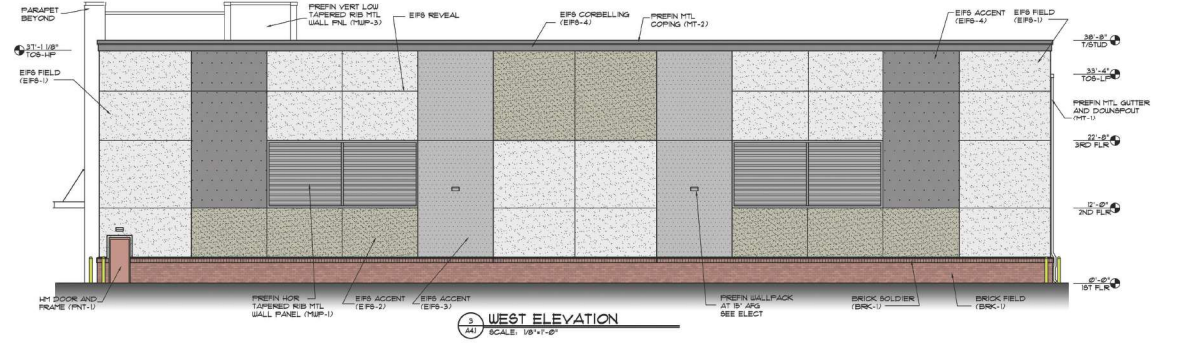




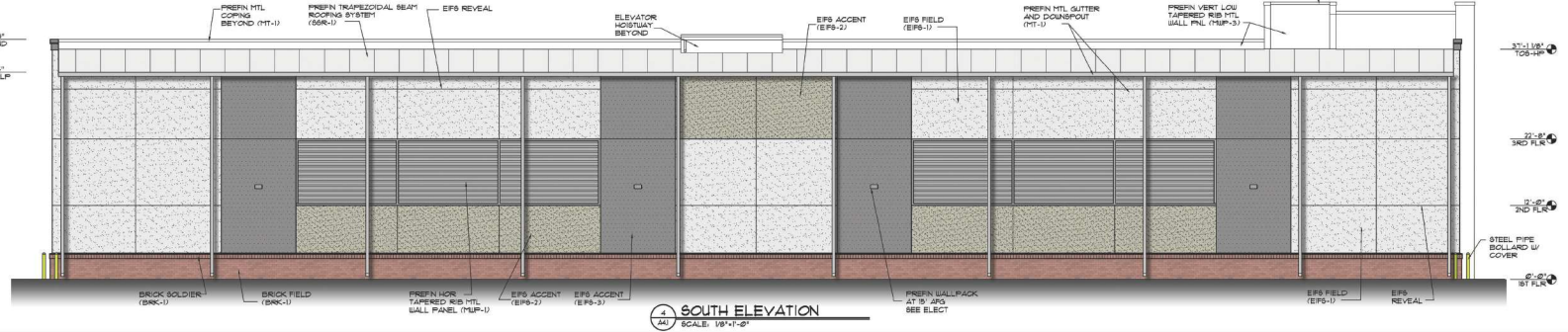
1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



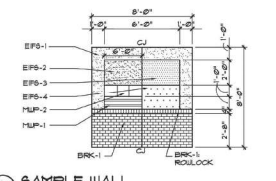
2 EAST ELEVATION  
SCALE: 1/8"=1'-0"



3 WEST ELEVATION  
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



5 SAMPLE WALL  
SCALE: 1/4"=1'-0"  
GO TO PROVIDE SAMPLE WALL AND OBTAIN APPROVAL OF MATERIALS AND COLORS FROM ARCHITECT AND OWNER PRIOR TO PLACING ORDERS

MARK	MATERIAL	COLOR
BRK-1	CHEROKEE BRICK - FIELD	CHEROKEE BRICK T18 VELOUR RED*
---	MORTAR	MODULAR SIZE ARGOS "LITE BUFF"
CPY-1	PREFIN ALUM CANOPY	SKYSCAPE "STONE GRAY"
EPB-1	EPB - FIELD	DRYVIT 6/2 "MOONLIGHT", SAHARA FINISH
EPB-2	EPB - ACCENT, PANELS	DRYVIT 6/8 "BUDE", SAHARA FINISH
EPB-3	EPB - ACCENT, PANELS	DRYVIT 1/2 "MOUNTAIN FOG", SAHARA FINISH
EPB-4	EPB - CORBELLINGS, ACCENT BAND	DRYVIT 6/8 "ANTIQUE GRAY", SAHARA FINISH
MWP-1	PREFIN HOR TAPERED RIB MTL WALL PANEL - MIBC T2	MIBC "ASH GRAY"
MWP-2	PREFIN VERT FLUSH MTL WALL PANEL - MIBC F2-D2-2	MIBC "CHARCOAL GRAY"
MWP-3	VERT LOU TAPERED RIB MWP - MIBC F2U	MIBC "STONE WHITE"
MT-1	PREFIN MTL COPING, FASCIA, TRIM, GUTTING, CANOPY, AND D.S.	MIBC "ASH GRAY"
MT-2	PREFIN MTL COPING	MIBC "CHARCOAL GRAY"
PNT-1	M1 DOORS AND FRAMES	SHERWIN WILLIAMS 607558 "SIENNA REDWOOD"
PNT-2	6TL TUBE	SHERWIN WILLIAMS 607519 "GAUNTLET GRAY"
BRK-1	PREFIN TRAPEZOIDAL SEAM MTL ROOF SYSTEM	MIBC "STONE WHITE"
SP-1	ALUM STOREFRONT	CLEAR ANODIZED
TAP-1	TEXTURED ACRYLIC FINISH - CANOPY & TRIM	DRYVIT 6/2 "MOONLIGHT", SAHARA FINISH

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Wildwood Self Storage  
6022 Marsh Bend Trail  
Wildwood, FL 32660



ISSUE LIST FOR CONSTRUCTION REVISIONS:

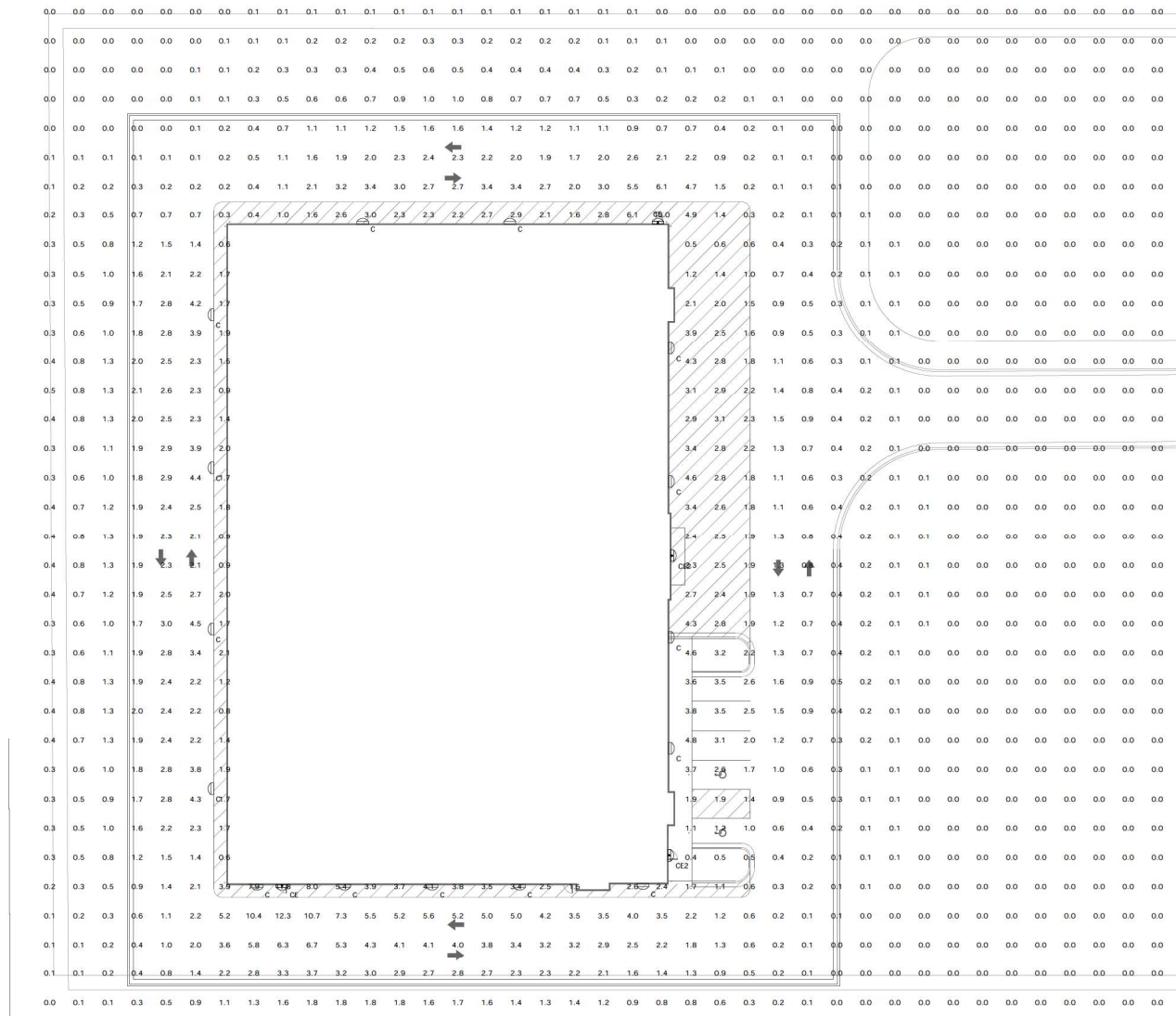
NO.	DATE	DESCRIPTION

PROJECT NUMBER: 202401  
DATE: 1-11-24

SHEET NUMBER: A4.1

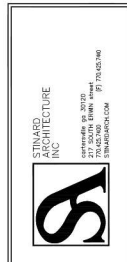
SITE LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	VOLTS	NOTE 1
C		(1) 71W LED	LED WALL PACK, 5000K, BUTTON PHOTOCELL	DSW2 LED, 200-1000 30K FTM MVOLT	MULTIPLE	MOUNTED AT 16'
CE		(1) 71W LED	EXTERIOR WALL PACK W/ EMERGENCY BATTERY WHITE COLOR	ACUITY WEDGE LED P3 50K BOCRI R4 MVOLT EZWC-PE DDBXD	MULTIPLE	MOUNTED AT 9'

GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	0.92
MINIMUM FOOT-CANDLES	13.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	8860.22
AVERAGE TO MINIMUM FC RATIO	629.55



1 SITE PLAN - PHOTOMETRIC  
SCALE: 1/8" = 1'-0"

Wildwood Self Storage  
6022 Marsh Bend Trail  
Wildwood, FL 34785



ISSUE FOR CONSTRUCTION REVISIONS

PROJECT NUMBER: 202401  
DATE: 5-1-24

SHEET NUMBER: E3.1

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD**  
**EXECUTIVE SUMMARY**

**SUBJECT:** SP 2405-001 Circle K US 301 & CR 462

**REQUESTED ACTION:** The Project Review Committee recommends approval

**CONTRACT:**

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

**BUDGET IMPACT:**

**HISTORY/FACTS/ISSUES:**

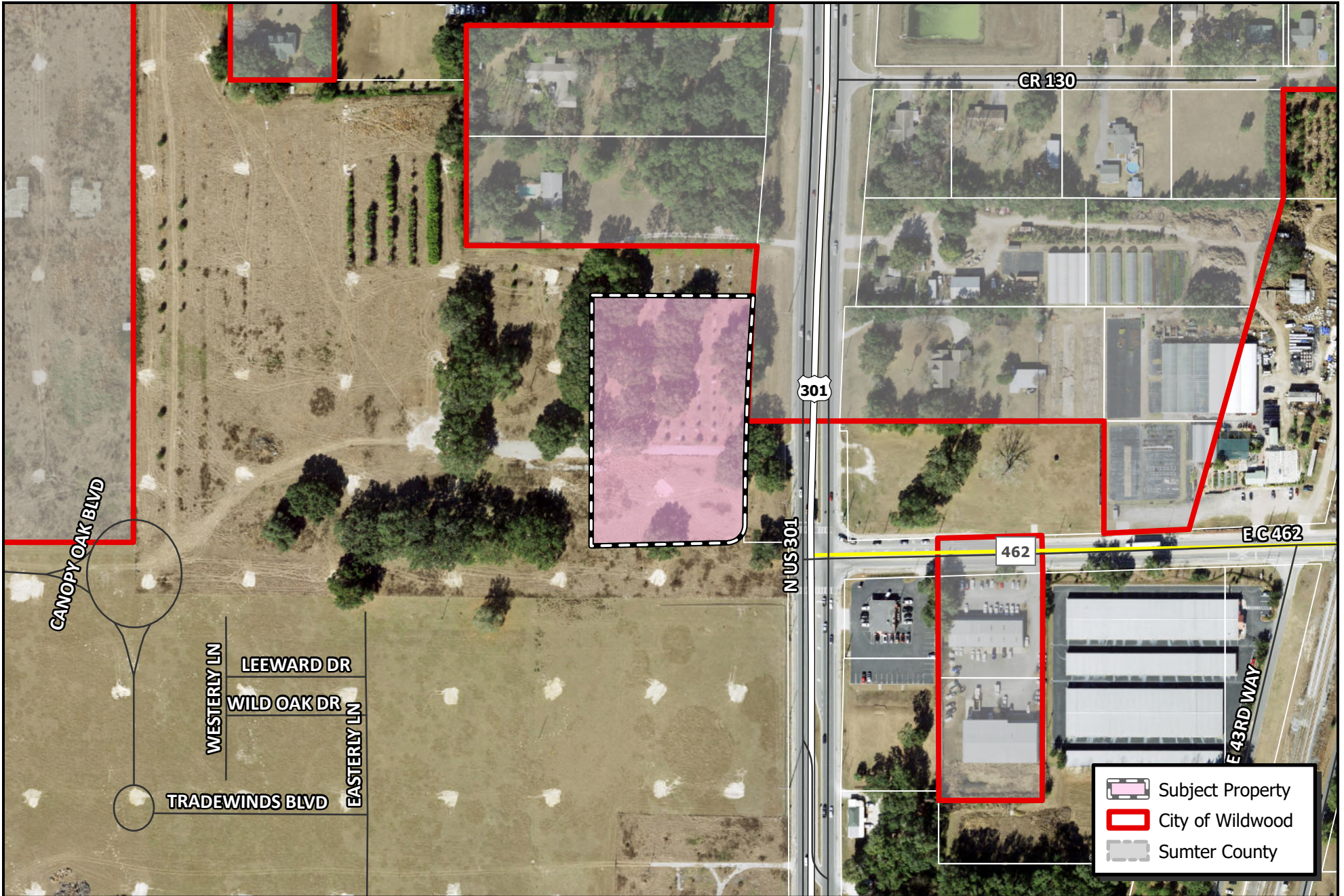
Case Number	SP 2405-001 Circle K -US 301 & CR 462
Applicant	Circle K Stores INC
Owner(s)	KL Twisted Oaks LLC
Acreage	3.28 +/-
Property Location	The subject property is generally located on the northwest corner of the intersection of US 301 and rerouted CR 462.
Parcel	D31A218

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a 5,200-square-foot Circle K building, 7 fueling pumps, 3 high-speed diesel pumps, 25 parking spaces, and associated infrastructure on 3.28 acres MOL.

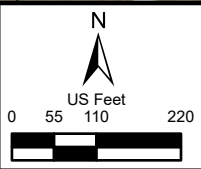
SP 2405-001 meets the criteria set forth within the Land Development Regulations, Design District Standards, and is in line with the goals, objectives, and policies in the 2050 Comprehensive Plan.



Date: 04/27/2025  
McKenna Page  
Planner I, Development Services



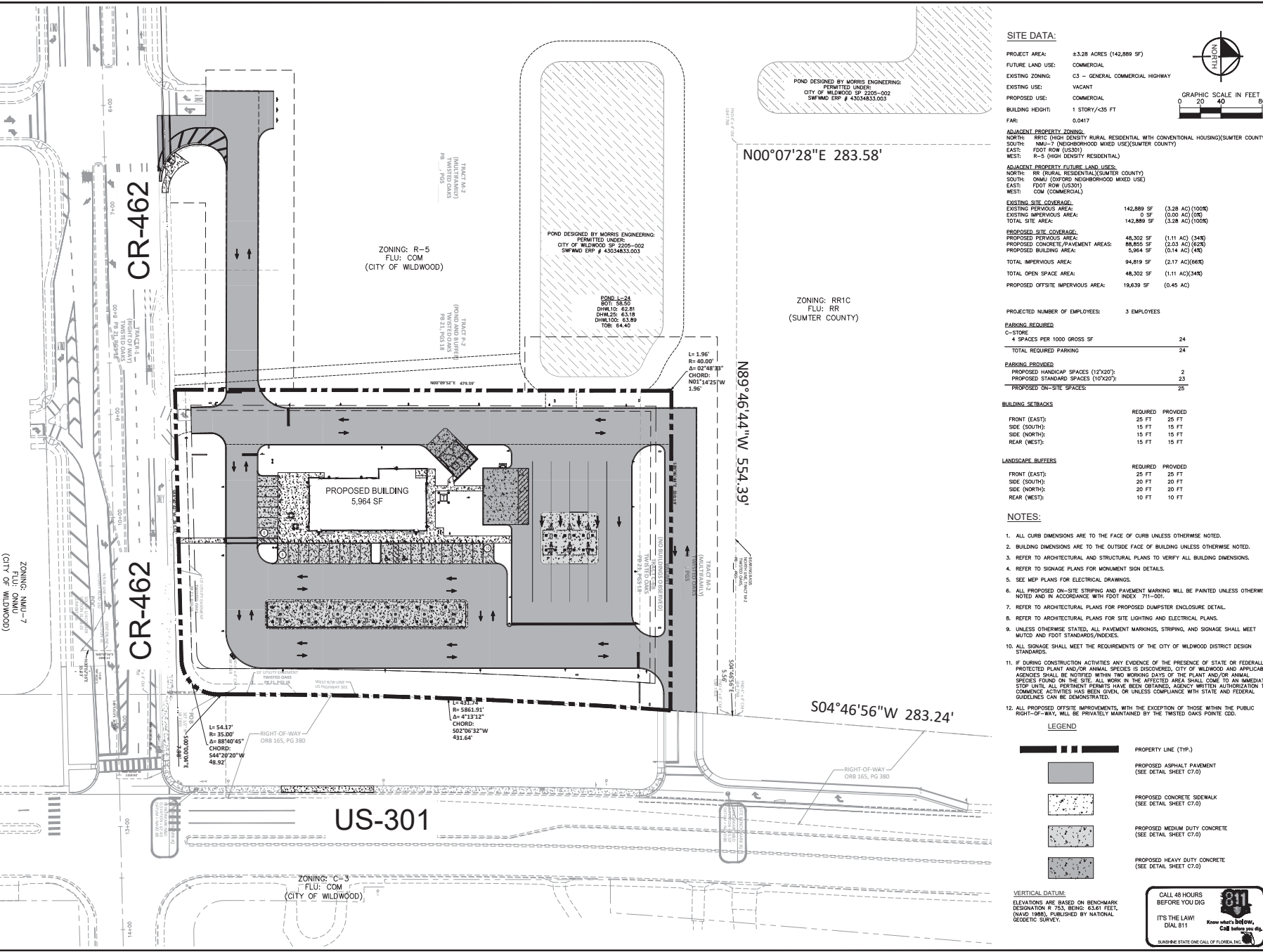
**CITY OF WILDWOOD**  
 100 North Main Street  
 Wildwood, FL 34785  
 Phone: (352) 330-1330  
[www.wildwood-fl.gov](http://www.wildwood-fl.gov)



SP 2405-001  
**CIRCLE K - US 301 & CR 462**  
 PARCEL D31A218

**MAP 1B**  
**LOCATION**  
**MAP**  
**MAY 2024**

Prepared by: [Firm Name] - [Address] - [City, State, ZIP] - [Phone] - [Fax] - [Website]



**SITE DATA:**

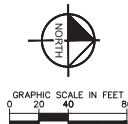
PROJECT AREA: ±3.28 ACRES (142,889 SF)  
 FUTURE LAND USE: COMMERCIAL  
 EXISTING ZONING: C3 - GENERAL COMMERCIAL HIGHWAY  
 EXISTING USE: VACANT  
 PROPOSED USE: COMMERCIAL  
 BUILDING HEIGHT: 1 STORY/435 FT  
 FAR: 0.0417

**ADJACENT PROPERTY ZONING:**  
 NORTH: RR1C (HIGH DENSITY RURAL RESIDENTIAL WITH CONVENTIONAL HOUSING)(SUMNER COUNTY)  
 SOUTH: NMAU-7 (NEIGHBORHOOD MIXED USE)(SUMNER COUNTY)  
 EAST: FOOT ROW (US301)  
 WEST: R-5 (HIGH DENSITY RESIDENTIAL)

**ADJACENT PROPERTY FUTURE LAND USES:**  
 NORTH: RR (RURAL RESIDENTIAL)(SUMNER COUNTY)  
 SOUTH: ONMU (OWFORD NEIGHBORHOOD MIXED USE)  
 EAST: FOOT ROW (US301)  
 WEST: COM (COMMERCIAL)

**EXISTING SITE COVERAGE:**  
 EXISTING PAVEMENT AREA: 142,889 SF (3.28 AC) (100%)  
 EXISTING IMPERVIOUS AREA: 0 SF (0.00 AC) (0%)  
 TOTAL SITE AREA: 142,889 SF (3.28 AC) (100%)

**PROPOSED SITE COVERAGE:**  
 PROPOSED PAVEMENT AREA: 48,302 SF (1.11 AC) (34%)  
 PROPOSED CONCRETE/PAVEMENT AREAS: 88,855 SF (2.03 AC) (62%)  
 PROPOSED BUILDING AREA: 5,964 SF (0.14 AC) (4%)  
 TOTAL IMPERVIOUS AREA: 94,819 SF (2.17 AC)(66%)  
 TOTAL OPEN SPACE AREA: 48,302 SF (1.11 AC)(34%)  
 PROPOSED OFFSITE IMPERVIOUS AREA: 19,639 SF (0.45 AC)



**PROJECTED NUMBER OF EMPLOYEES:** 3 EMPLOYEES

**PARKING REQUIRED:**

C-STOPS:  
 4 SPACES PER 1000 GROSS SF: 24  
 TOTAL REQUIRED PARKING: 24

**PARKING PROVIDED:**  
 PROPOSED HANDICAP SPACES (1'x20'): 2  
 PROPOSED STANDARD SPACES (10'x20'): 23  
 PROPOSED ON-SITE SPACES: 25

**BUILDING SETBACKS:**

	REQUIRED	PROVIDED
FRONT (EAST):	25 FT	25 FT
SIDE (SOUTH):	15 FT	15 FT
SIDE (NORTH):	15 FT	15 FT
REAR (WEST):	15 FT	15 FT

**LANDSCAPE BUFFERS:**

	REQUIRED	PROVIDED
FRONT (EAST):	25 FT	25 FT
SIDE (SOUTH):	20 FT	20 FT
SIDE (NORTH):	20 FT	20 FT
REAR (WEST):	10 FT	10 FT

- NOTES:**
- ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - REFER TO SIGNAGE PLANS FOR MONUMENT SIGN DETAILS.
  - SEE MEP PLANS FOR ELECTRICAL DRAWINGS.
  - ALL PROPOSED ON-SITE STRIPING AND PAVEMENT MARKING WILL BE PAINTED UNLESS OTHERWISE NOTED AND IS ACCORDANCE WITH FOOT INDEX 711-001.
  - REFER TO ARCHITECTURAL PLANS FOR PROPOSED DUMPSTER ENCLOSURE DETAIL.
  - REFER TO ARCHITECTURAL PLANS FOR PROPOSED SITE LIGHTING AND ELECTRICAL PLANS.
  - UNLESS OTHERWISE STATED, ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL MEET MUTCD AND FOOT STANDARDS/INDEXES.
  - ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE CITY OF WILDWOOD DISTRICT DESIGN STANDARDS.
  - IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, CITY OF WILDWOOD AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL ALL PERTINENT PERMITS HAVE BEEN OBTAINED. AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL CHALLENGES CAN BE DEMONSTRATED.
  - ALL PROPOSED OFFSITE IMPROVEMENTS, WITH THE EXCEPTION OF THOSE WITHIN THE PUBLIC RIGHT-OF-WAY, WILL BE PRIVATELY MAINTAINED BY THE TWISTED AXIS PONTE CDD.

**LEGEND**

[Symbol]	PROPERTY LINE (TYP.)
[Symbol]	PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C7.0)
[Symbol]	PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C7.0)
[Symbol]	PROPOSED MEDIUM DUTY CONCRETE (SEE DETAIL SHEET C7.0)
[Symbol]	PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL SHEET C7.0)

**VERTICAL DATUM:**  
 ELEVATIONS ARE BASED ON BENCHMARK DESIGNATION R 753, BEING: 63.61 FEET, (NAD: 1988), PUBLISHED BY NATIONAL GEODETIC SURVEY.

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 IT'S THE LAW DIAL 811  
  
 Know what's below, Call before you dig.  
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**Kimley»Horn**

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**OVERALL SITE PLAN**

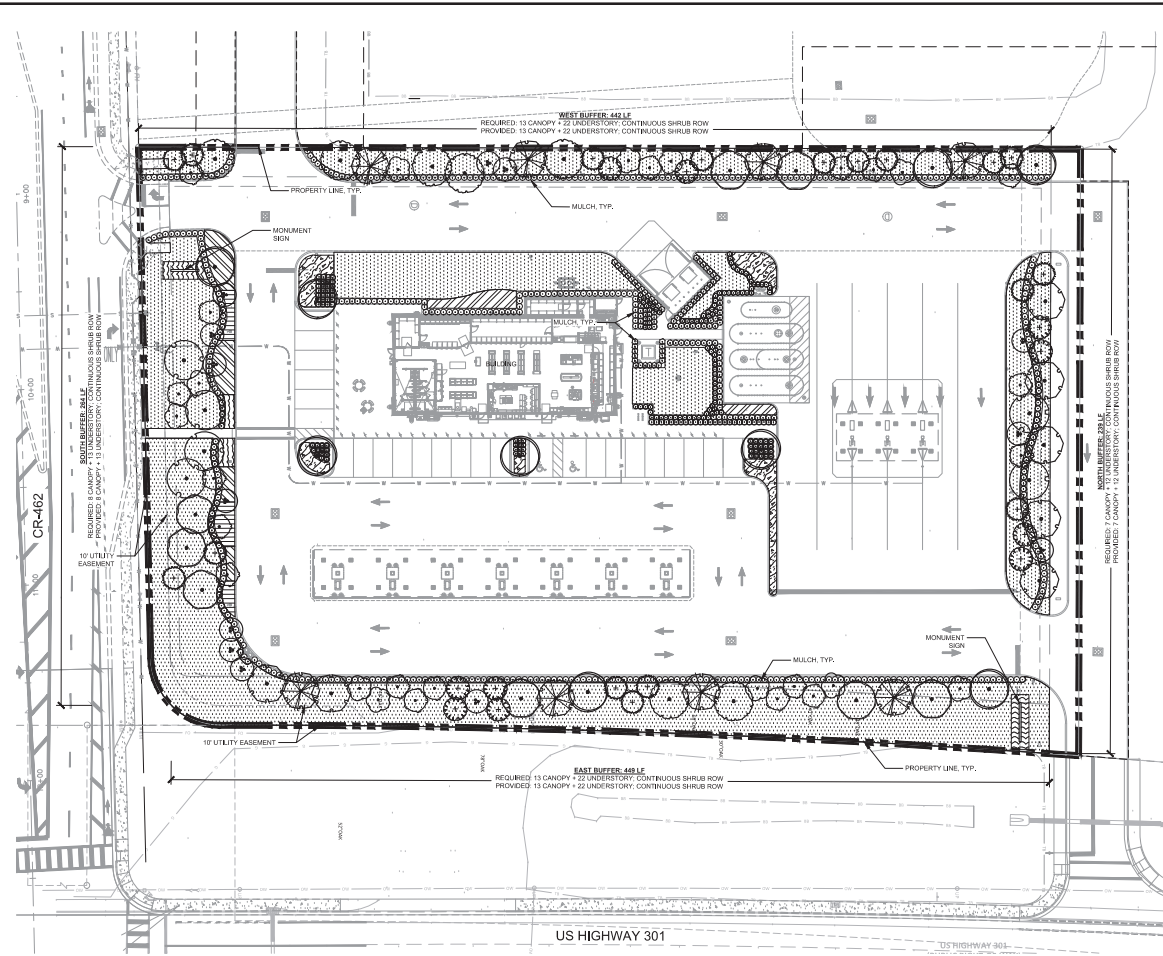
**CIRCLE K - US301 & CR462**

FLORIDA  
 CITY OF WILDWOOD

NO.	REVISIONS	DATE	BY

SHEET NUMBER  
**C4.0**

Project: Circle K - US301 & CR462 - Landscape Plan. Date: 11/05/2024. 10:00:00 AM. User: JAVIER@KIMLEY-HORN.COM. Scale: AS SHOWN. Drawn by: NAA. Checked by: NAA. Date: 12/11/2024.

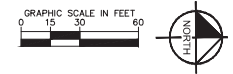


- LANDSCAPE NOTES:**
- ALL LANDSCAPE MATERIAL TO BE FLORIDA GRADE #1 OR BETTER QUALITY
  - ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
  - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
  - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
  - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
  - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ADJACENT TO THE WORK AREA IS TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE WARRANTY PERIOD.
  - ANY PLANT MATERIAL WHICHES DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR WARRANTY PERIOD; THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
  - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND SHALL BE FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY STOCK, PARTS 1 AND 1" STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
  - ALL INVASIVE/EXOITD SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
  - ALL LANDSCAPE AREAS WILL BE PROVIDED WITH PERMANENT AUTOMATIC IRRIGATION SYSTEM.
  - ALL TREE STAKING IS TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.
  - ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS, CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
  - ALL PLANTED LANDSCAPE AREAS TO HAVE 3" DEEP DESIGNER BROWN HARDWOOD MULCH TO FULLY COVER DRIP IRRIGATION & AMENDED SOILS. REPAIR AS NEEDED DURING CONSTRUCTION. SUBMIT ALTERNATIVE MULCH SPECIFICATION FOR LANDSCAPE ARCHITECT APPROVAL.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	DBH	SIZE
<b>CANOPY TREE</b>							
	AF	8	FLORIDA FLAME RED MAPLE STRAIGHT, SINGLE LEADER, FL #1	ACER RUBRUM 'FLORIDA FLAME'	FG	3" DBH	10 HT MIN
	LS	8	AMERICAN SWEET GUM STRAIGHT, SINGLE LEADER, FL #1	LIQUIDAMBAR STRYACIFLIDA	FG	3" DBH	10 HT MIN
	MB	7	BRACKENS SOUTHERN MAGNOLIA STRAIGHT, SINGLE LEADER, FULL TO BASE, FL #1	MAGNOLIA GRANDIFLORA 'BRACKENS'	FG	3" DBH	10 HT MIN
	QV	9	SOUTHERN LIVE OAK STRAIGHT, SINGLE LEADER, FL #1	QUERCUS VIRGINIANA	FG	3" DBH	10 HT MIN
	TD	7	BALD CYPRESS STRAIGHT, SINGLE LEADER, FL #1	TAXODIUM DISTICHUM	FG	3" DBH	10 HT MIN
	UA	6	WINGED ELM STRAIGHT, SINGLE LEADER, FL #1	ULMUS ALATA	FG	3" DBH	10 HT MIN
<b>UNDERSTORY TREES</b>							
	IC	11	DAWSON HOLLY STRAIGHT, SINGLE LEADER, FL #1	ILEX CASBINE	FG	2" DBH	8' HT, 4' SPRD
	HE	10	EAGLESTON HOLLY STRAIGHT, SINGLE LEADER, FULL TO BASE, FL #1	ILEX X ATTENUATA 'EAGLESTON'	FG	2" DBH	8' HT, 4' SPRD
	LM	13	LAVENDER CRAPE MYRTLE MULTITRUNK MULTITRUNK, 5' TRUNK MIN, FL #1	LAGERSTROEMIA X MARGISOEGE	FG	4" DBH TOT.	8' HT, 4' SPRD
	MC	18	YAW MYRTLE STRAIGHT, SINGLE LEADER, FL #1	MORELIA CERIFERA	FG	2" DBH	8' HT, 4' SPRD
	ML	17	LITTLE GEM DWARF SOUTHERN MAGNOLIA STRAIGHT, SINGLE LEADER, FULL TO BASE, FL #1	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	FG	2" DBH	8' HT, 4' SPRD
<b>SHRUBS</b>							
	HF	123	PIREBUSH FULL	HAMELIA PATENS	7 GAL	36" HT	30" OC
	IV	70	YAUPOH HOLLY FULL	ILEX VOMITORIA	3 GAL	36" HT	30" OC
	PM	51	PODCARPUS FULL	PODOCARPUS MACROPHYLLUS	7 GAL	36" HT	30" OC
	SL	128	EMERALD GREEN SCHEFFLERA FULL	SCHEFFLERA ARBOREALIS 'EMERALD GREEN'	3 GAL	24" FULL	30" OC
	VT	440	WALTER'S MIBURNUM FULL	VIBURNUM OBTUSUM	3 GAL	24" FULL	30" OC
	ZP	58	COONTE FULL	ZAMA FLORIDIANA	3 GAL	24" FULL	30" OC
<b>GROUND COVERS</b>							
	DT2	610	FLAX LILY FULL	IBANELIA TASMANICA	3 GAL	15" FULL	18" OC
	EB	649	BRAZILIAN DWARF MORNING GLORY FULL	EVOLVALLUS GLOMERATUS 'BLUE MY MIND'	3 GAL	12" FULL	12" OC
	JT	326	BLUE PACIFIC JUNPER FULL	JUNIPERUS CONFERTA 'BLUE PACIFIC'	7 GAL	14" FULL	18" OC
	TM	463	MINIMA JASMINE FULL	TRACHELOSPERMUM ASIATICUM 'MINIMA'	3 GAL	12" FULL	12" OC
<b>SOD</b>							
	PP	32,996 SF	PENSACOLA BANJA GRASS ROLLED TIGHT, 100% RESIST TO WEEDS/INVASIVE SPECIES FREE	PASPALUM NOTATUM 'PENSACOLA'	SOD		
<b>SPECIFICATIONS</b>							
MULCH	TBD	DESIGNER BROWN HARDWOOD MULCH	3" DEPTH MINIMUM, SHREDDED, FREE OF WEEDS/INVASIVE PLANT MATERIAL.				

LANDSCAPE CALCULATIONS		
PER CITY OF WILMWOOD LAND DEVELOPMENT CODE		
	REQUIRED	PROVIDED
<b>PARKING LOT REQUIREMENTS</b> MIN. 10% OF GROSS SQ FT OF PAVED PARKING AREA SHALL BE LANDSCAPE	TOTAL PAVED AREA: 82,654 SF ±, 10% = 8,265 SF LANDSCAPE	9,815 SF LANDSCAPE AREA 4 CANOPY TREES AND 65 SHRUBS
TOTAL PARKING SPACES: 29 = 2 CANOPY TREE AND 6 SHRUBS		
<b>SECTION G.4.2.C</b>		
<b>LANDSCAPE BUFFERS</b> 1 CANOPY TREE AND 3 SHRUBS PER 100 LF	<b>EAST BUFFER: 44' LE</b> 44 LF / 100 LF = 0.44 x 3 = 1.32 CANOPY 4.41 x 5 = 22 UNDERSTORY CONTINUOUS SHRUB ROW	<b>EAST BUFFER: 44' LE</b> 13 CANOPY + 5 UNDERSTORY CONTINUOUS SHRUB ROW
	<b>NORTH BUFFER: 23' LE</b> 23 LF / 100 LF = 0.23 x 3 = 0.69 CANOPY 2.31 x 5 = 12 UNDERSTORY CONTINUOUS SHRUB ROW	<b>NORTH BUFFER: 23' LE</b> 7 CANOPY + 5 UNDERSTORY CONTINUOUS SHRUB ROW
	<b>WEST BUFFER: 44' LE</b> 44 LF / 100 LF = 0.44 x 3 = 1.32 CANOPY 4.42 x 5 = 22 UNDERSTORY CONTINUOUS SHRUB ROW	<b>WEST BUFFER: 44' LE</b> 13 CANOPY + 5 UNDERSTORY CONTINUOUS SHRUB ROW
	<b>SOUTH BUFFER: 26' LE</b> 26 LF / 100 LF = 0.26 x 3 = 0.78 CANOPY 2.64 x 5 = 13 UNDERSTORY CONTINUOUS SHRUB ROW	<b>SOUTH BUFFER: 26' LE</b> 7 CANOPY + 5 UNDERSTORY CONTINUOUS SHRUB ROW
<b>SECTION G.4.2</b>	TOTAL TREES REQUIRED: 11 TREES 112 TREES / 10 = 11 TREES SPECIES MIN.	11 TREES SPECIES MIN.
<b>SECTION G.5.8</b>		



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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

DATE: 11/05/2024  
SCALE: AS SHOWN  
DESIGNED BY: NAA  
DRAWN BY: NAA  
CHECKED BY: MTT

**LANDSCAPE PLAN**

**CIRCLE K - US301 & CR462**

CITY OF WILMWOOD, FLORIDA

SHEET NUMBER: L1.00



**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

**SUBJECT:** PLAT 2409-002 One Hundred (100) Oaks Improvement Plan

**REQUESTED ACTION:** The Project Review Committee recommends approval contingent on the resolution of outstanding comments. Staff recommends approval with development order stipulations.

**CONTRACT:**

**BUDGET IMPACT:**

**HISTORY/FACTS/ISSUES:**

Case Number	PLAT 2409-002 One Hundred (100) Oaks Improvement Plan
Owner(s)	KL 100 Oaks, LLC
Applicant(s)	M2RE Partners Wildwood LLC
Acreage	99.81 +/-
Property Location	The subject property is generally located west along N US 301, approximately 1.32 miles south of the Florida Turnpike and N US 301 intersection and approximately 0.88 miles north of E Warm Springs Ave.
Parcel(s)	G19-011 & G30-048
Date	April 18, 2025

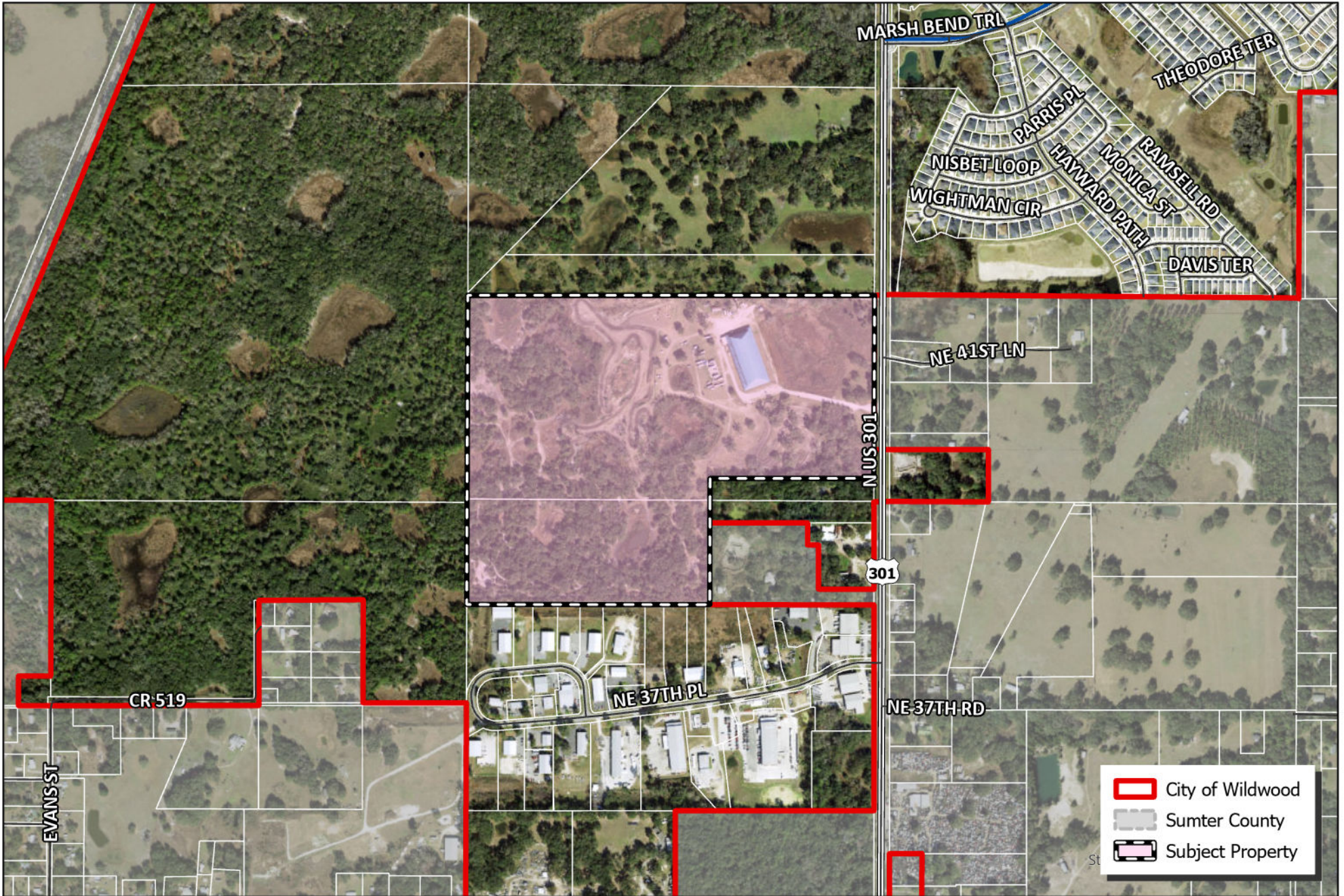
The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of the One Hundred (100) Oaks Subdivision, an improvement plan consisting of 305 single-family lots with associated infrastructure, per the attached plans. The subdivision is proposing the following amenities to be submitted by a separate site plan; community garden, grill area with picnic tables, playground, and nature trails. Copies of all proposed or executed easements for cross-access, utilities, or other easements will be shown on the One Hundred (100) Oaks Final Plat along with a performance surety should the final plat be submitted prior to the competition of the infrastructure. There were two outstanding comments; the addition of odor control units on lift stations 1 and 2, and Live Oak tree mitigation requirements. The utility comment has been cleared as of April 18, 2025, and the Live Oak mitigation requirement will be addressed in a forthcoming modification. A lighting design plan is still in coordination with SECO and will be provided and approved at a later date.

PLAT 2409-002 will meet the criteria set forth within the Land Development Regulations, Design District Standards, and is in line with the goals, policies, and objectives within the 2050

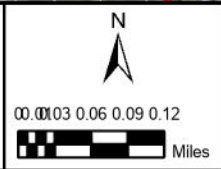
Comprehensive Plan upon the submission of the lighting design plan and tree survey/landscape plan modification. The development order will reflect the lighting and mitigation stipulations.

A handwritten signature in cursive script, appearing to read "Amanda Bondi".

Amanda Bondi  
Planner II, Development Services

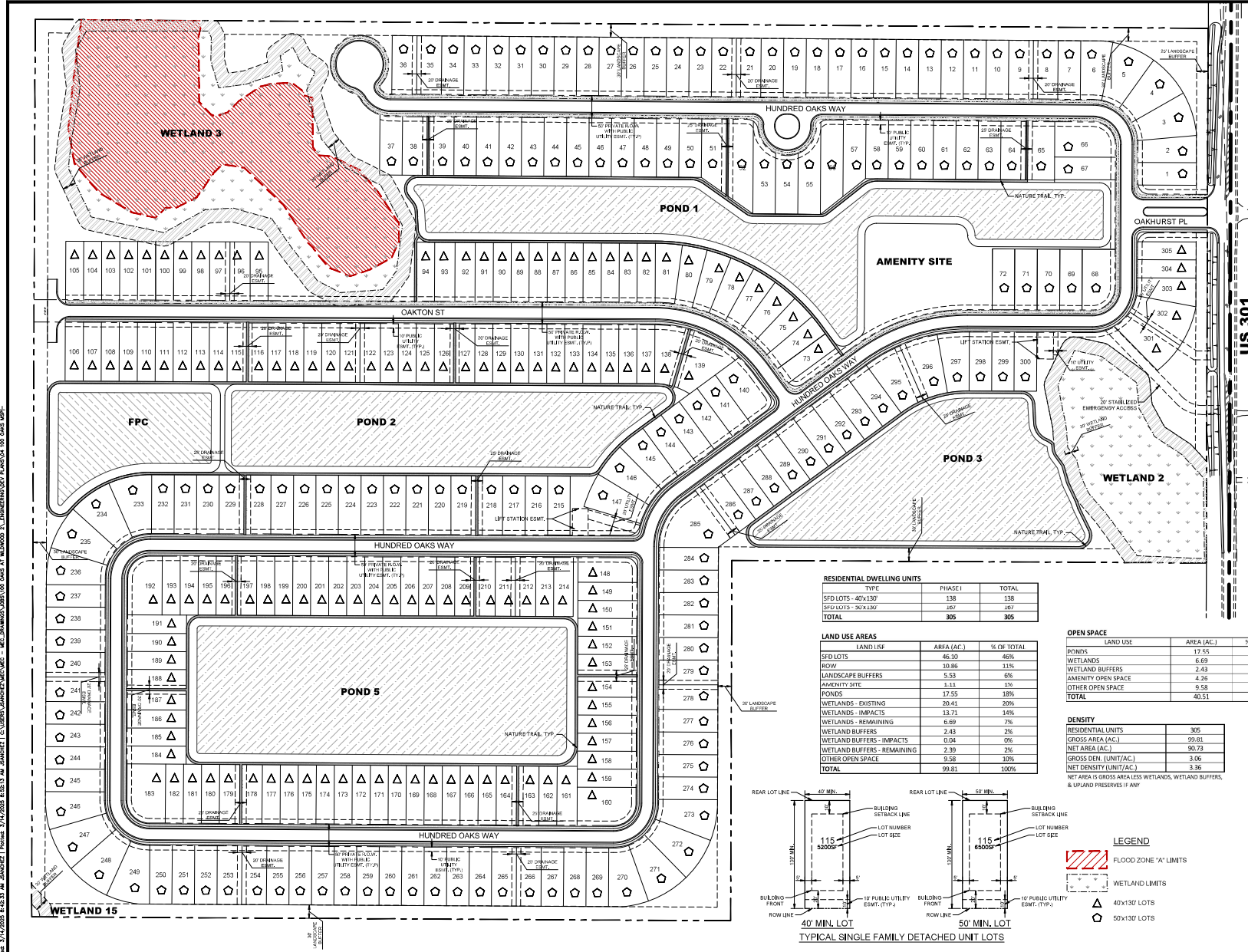


**CITY OF WILDWOOD**  
 100 North Main Street  
 Wildwood, FL 34785  
 Phone: (352) 330-1330  
[www.wildwood-fl.gov](http://www.wildwood-fl.gov)



PLAT 2409-002  
**ONE HUNDRED OAKS IMPROVEMENT PLAN**  
 PARCELS G19-011 & G30-048

**MAP 1B**  
**LOCATION**  
**MAP**  
**SEP 2024**



- SITE DATA**
- SUMTER COUNTY PROPERTY APPRAISER'S PARCEL IDENTIFICATION NUMBER: 019411 S 03048
  - PROPERTY LOCATION: SUMTER COUNTY, FLORIDA, SECTION 19 & 30, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA
  - ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)
  - EXISTING ZONING: R-3
  - EXISTING LAND USE: AGRICULTURAL
  - FUTURE LAND USE: FLU-MDR
  - THE SUBJECT PROPERTY LAND LIES IN THE FEMA 100-YR FLOOD ZONE "A" & "X" OF THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 121100133D (DFIRM INDEX DATED 08/27/2013).
  - ZONE "A" SITE RANGE: 02.25 TO 04.74
  - PROJECT AREA: TOTAL 99.81 AC
  - PROPOSED LAND USE: RESIDENTIAL, SINGLE FAMILY
  - MAXIMUM BUILDING HEIGHT: 35'
  - INTERNAL ROADWAYS ARE TO BE PRIVATE, OWNED & MAINTAINED BY THE HOA. ROADWAY DESIGN SPEED TO BE 25 MPH.
  - CONSTRUCTION SCHEDULE: JANUARY 2025 TO JANUARY 2026
  - SUBDIVISION POTABLE WATER, SANITARY SEWER & LIFT STATIONS SHALL BE CONSTRUCTED TO CITY OF WILDWOOD PUBLIC WORKS UTILITY STANDARDS & OWNED & MAINTAINED BY CITY OF WILDWOOD.
  - A 10' MINIMUM UTILITY EASEMENT SHALL BE LOCATED ALONG ALL FRONT LOT LINES & A 5' UTILITY EASEMENT ALONG ALL SIDE & REAR LOT LINES.
  - ALL SIDEWALKS ADJACENT TO RESIDENTIAL LOTS SHALL BE CONSTRUCTED BY THE HOME BUILDER. ALL OTHER NON-LOT SIDEWALKS SHALL BE CONSTRUCTED BY THE SITE DEVELOPER.
  - EXISTING WELLS ARE KNOWN TO BE ON SITE. THEY ARE TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.5(3)(F.A.C).
  - STREET SIGNS SHALL BE INSTALLED PRIOR TO VERTICAL CONSTRUCTION.
  - ALL OF THE SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MUTCD. FOOT DESIGN STANDARDS AND THE SUMTER COUNTY PUBLIC WORKS DEPARTMENT HIGHWAY TRAFFIC AND STORMWATER STANDARDS. TRAFFIC CONTROL DEVICES THAT DO NOT CONFORM TO THESE DOCUMENTS, AND THAT ARE WITHIN THE PUBLICLY MAINTAINED RIGHT-OF-WAY, IF ACCEPTABLE, WILL REQUIRE AN EXECUTED MAINTENANCE AGREEMENT PRIOR TO APPROVAL OF CONSTRUCTION PLANS.
  - ALL INVASIVE EXOTIC PLANT SPECIES SHALL BE REMOVED FROM UPLAND PORTIONS OF LAND DEVELOPMENT SITES DURING CONSTRUCTION DEVELOPER SHALL PROVIDE FOR THE CONTINUED PHASED REMOVAL OF INVASIVE EXOTIC PLANT SPECIES THAT BECOME REESTABLISHED WITHIN COMMON AREAS OF A RESIDENTIAL DEVELOPMENT FOR THE LIFE OF THE PROJECT.
  - ALL DRAINAGE EASEMENTS ARE PUBLIC DRAINAGE EASEMENTS UNLESS CALLED OUT AS A PRIVATE DRAINAGE EASEMENT.
  - ANY OFFSITE IMPROVEMENTS WITHIN THE FOOT ROW AS DEPICTED ON THE APPROVED CONSTRUCTION DRAWINGS &/OR FINAL SITE PLANS, AS APPLICABLE SHALL REQUIRE A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) BASED ON THE MINIMUM REQUIREMENTS PROVIDED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) &/OR FOOT STANDARD DETAILS (ROADWAY CLOSURE PROCEDURES).
  - LSB = LANDSCAPE BUFFER, WLB = WETLAND BUFFER, DR = DRAINAGE, ESMT = EASEMENT
  - LOCATIONS OF SEPTIC TANKS AND ASSOCIATED DRAINFIELDS ARE NOT IDENTIFIED ON THE EXISTING CONDITIONS SITE SURVEY. ALL ON-SITE SEPTIC TANKS AND DRAINFIELDS SHALL BE PROPERLY DEMOLISHED AND DISPOSED OF BY A FLORIDA LICENSED CONTRACTOR PRIOR TO COMMENCEMENT OF UTILITY CONSTRUCTION ACTIVITIES.
  - PROPOSED AMENITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: COMMUNITY GARDEN, GRILL AREA WITH PICNIC TABLES, PLAYGROUND AND NATURE TRAILS.

**RESIDENTIAL DWELLING UNITS**

TYPE	PHASE I	TOTAL
SFD LOTS - 40'x130'	138	138
SFD LOTS - 50'x130'	167	167
<b>TOTAL</b>	<b>305</b>	<b>305</b>

**LAND USE AREAS**

LAND USE	AREA (AC)	% OF TOTAL
SFD LOTS	46.30	46%
ROW	10.96	11%
LANDSCAPE BUFFERS	5.53	6%
AMENITY SITE	3.11	3%
PONDS	17.55	18%
WETLANDS - EXISTING	20.41	20%
WETLANDS - REMAINING	13.71	14%
WETLAND BUFFERS	6.69	7%
WETLAND BUFFERS - IMPACTS	2.43	2%
WETLAND BUFFERS - REMAINING	0.54	0%
OTHER OPEN SPACE	2.39	2%
OTHER OPEN SPACE	9.58	10%
<b>TOTAL</b>	<b>99.81</b>	<b>100%</b>

**OPEN SPACE**

LAND USE	AREA (AC)	% OF TOTAL	% OF OPEN SPACE
PONDS	17.55	43%	18%
WETLANDS	6.69	17%	7%
WETLAND BUFFERS	2.43	6%	2%
AMENITY OPEN SPACE	4.26	11%	4%
OTHER OPEN SPACE	9.58	24%	10%
<b>TOTAL</b>	<b>40.51</b>	<b>100%</b>	<b>41%</b>

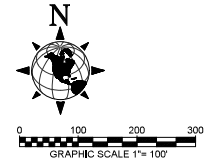
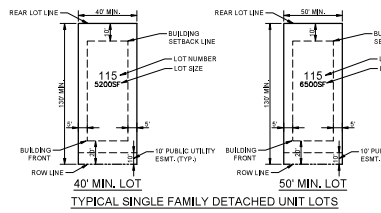
**DENSITY**

RESIDENTIAL UNITS	305
GROSS AREA (AC)	99.81
NET AREA (AC)	90.73
GROSS DEN. (UNIT/AC)	3.06
NET DEN. (UNIT/AC)	3.36

NET AREA IS GROSS AREA LESS WETLANDS, WETLAND BUFFERS, & UPLAND PRESERVES IF ANY

**LOT SETBACKS**

TYPE	FRONT	SIDE	REAR
MIN. HOME SETBACK	30'		
ACCESSORY USES MAY ENCRACH INTO THE SIDE AND REAR SETBACKS, HOWEVER, A MINIMUM OF 5 FEET SHALL BE PROVIDED BETWEEN THE ACCESSORY STRUCTURE AND			



**MORRIS ENGINEERING AND CONSULTING, LLC**  
 Civil Engineering and Land Development Consulting  
 6001 Professional Parkway (Stat. State 105, Semtara, Florida 34130, C.A. 38780) 813-411-6641 www.morrisengineering.com

DATE: 07/07/24  
 PROJECT: 100 OAKS  
 DRAWING: MSP  
 DRAWN BY: MCH  
 CHECKED BY: MAM

**MASTER SITE PLAN**  
**ONE HUNDRED OAKS**  
 CITY OF WILDWOOD, FLORIDA

SCALE: 1" = 100'  
 VERTICAL DATUM: NAVD83  
 SHEET: 4 OF 31  
 ERN LEAH TUNOLD  
 FL LICENSE NO. 69072



BONNETT design group, llc  
landscape architecture  
community planning  
FL #LA0001718  
400 South Orlando Ave. Suite 201  
Maitland, FL 32751  
407.422.2588

100 Oaks at Wildwood  
Landscape Architecture  
Morris Engineering & Consulting, LLC  
Wildwood, Florida  
OVERALL LANDSCAPE PLAN

DATE: September 06, 2024  
DRAWN BY: RLM  
CHECKED BY: TYW  
JOB NUMBER: 2023.119  
FILE NAME: 202319 100 OAKS WILWOOD LSAE

REVISIONS:  
City Comments 11-15-2024  
City Comments 01-02-2025  
City Comments 01-22-2025  
Updated 02-09-2025



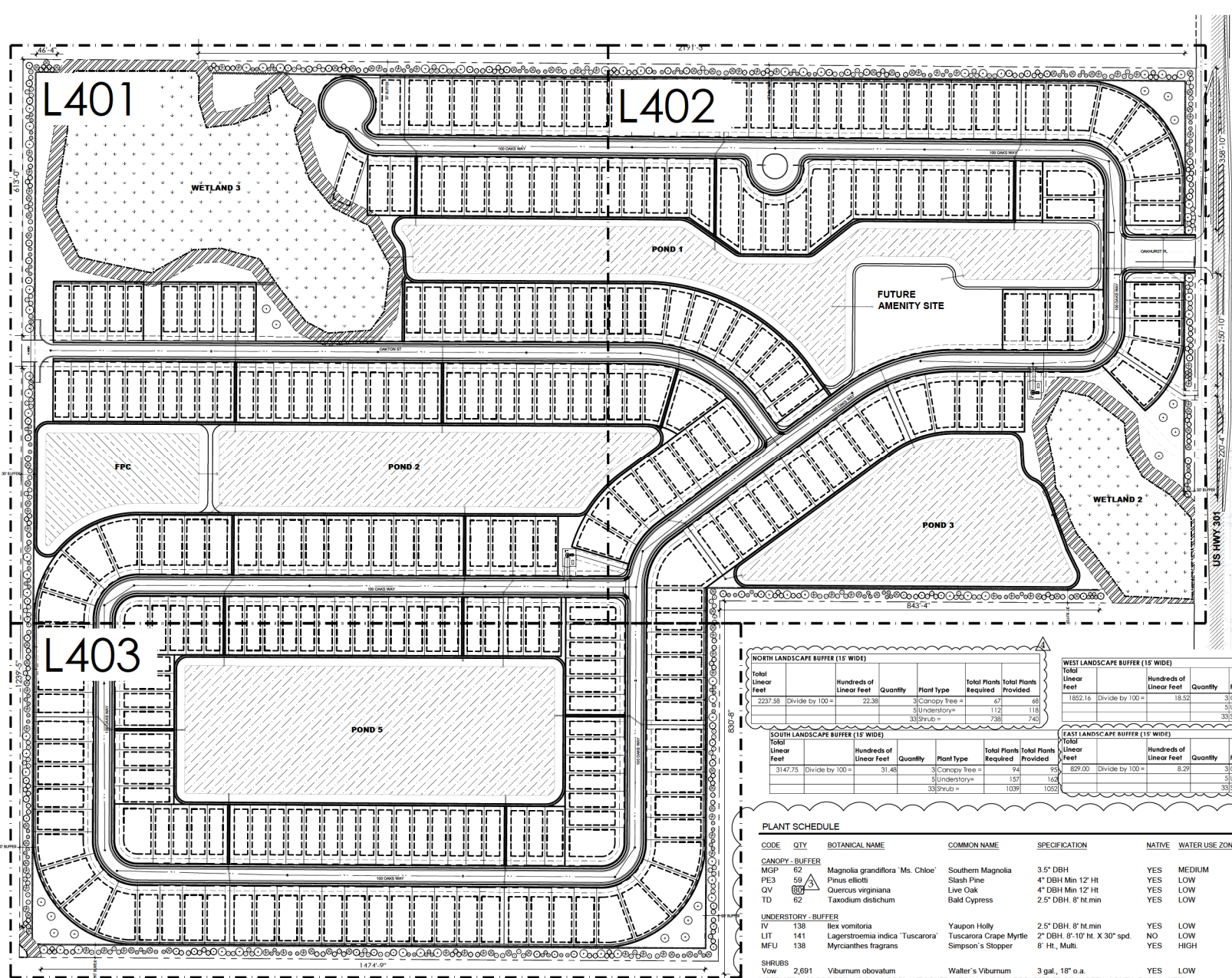
L400

UPDATED BASE

NOTE: PROPOSED AMENITIES MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:  
• COMMUNITY GARDEN  
• COMMUNITY GRILL  
• PLAYGROUND  
• NATURE TRAILS



SCALE 1" = 100'  
0 50 100 200



NORTH LANDSCAPE BUFFER (15' WIDE)							WEST LANDSCAPE BUFFER (15' WIDE)						
Total Linear Feet	Hundreds of Linear Feet	Quantity	Plant Type	Total Plants Required	Total Plants Provided		Total Linear Feet	Hundreds of Linear Feet	Quantity	Plant Type	Total Plants Required	Total Plants Provided	
2237.55	Divide by 100 = 22.38	3	Canopy Tree =	67	68		1852.16	Divide by 100 = 18.52	3	Canopy Tree =	56	56	
		5	Understory =	112	118				5	Understory =	93	93	
		33	Shrub =	738	742				33	Shrub =	611	625	

SOUTH LANDSCAPE BUFFER (15' WIDE)							EAST LANDSCAPE BUFFER (15' WIDE)						
Total Linear Feet	Hundreds of Linear Feet	Quantity	Plant Type	Total Plants Required	Total Plants Provided		Total Linear Feet	Hundreds of Linear Feet	Quantity	Plant Type	Total Plants Required	Total Plants Provided	
3147.75	Divide by 100 = 31.48	3	Canopy Tree =	94	95		829.00	Divide by 100 = 8.29	3	Canopy Tree =	25	26	
		5	Understory =	157	163				5	Understory =	41	45	
		33	Shrub =	1039	1052				33	Shrub =	274	274	

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	WATER USE ZONE	SPACING	REMARKS
<b>CANOPY - BUFFER</b>								
MGP	62	Magnolia grandiflora 'Ms. Chloe'	Southern Magnolia	3.5" DBH	YES	MEDIUM	As Shown	
PE3	59	Pinus elliotii	Slash Pine	4" DBH Min 12' Ht	YES	LOW	As Shown	
QV	88	Quercus virginiana	Live Oak	4" DBH Min 12' Ht	YES	LOW	As Shown	
TD	62	Taxodium distichum	Bald Cypress	2.5" DBH, 8' Ht, min	YES	LOW	As Shown	
<b>UNDERSTORY - BUFFER</b>								
IV	138	Ilex vomitoria	Yaupon Holly	2.5" DBH, 8' Ht, min	YES	LOW	As Shown	
LIT	141	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	2" DBH, 8'-10' Ht, X 30" spd.	NO	LOW	As Shown	
MFU	138	Myrcianthes fragrans	Simpson's Stopper	8' Ht., Multi.	YES	HIGH	As Shown	
<b>SHRUBS</b>								
Vow	2,681	Viburnum obovatum	Walter's Viburnum	3 gal., 18" o.a.	YES	LOW	36" o.c.	

NOTE: SEE L403 FOR BREAKDOWN OF PLANT SCHEDULE BY LANDSCAPE BUFFER EDGE (NORTH, SOUTH, EAST & WEST)

REVISIONS: 09/06/2024 BY: RLM (L400) 01/02/2025 BY: TYW (L400) 01/22/2025 BY: TYW (L400) 02/09/2025 BY: TYW (L400)

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD**  
**EXECUTIVE SUMMARY**

**SUBJECT:** PLAT 2410-004 Boulder Square Improvement Plan

**REQUESTED ACTION:** Project Review Committee recommends approval.

**CONTRACT:** Vendor/Entity:  
Effective Date: Termination Date:  
Managing Division/Department:

**BUDGET IMPACT:**

**HISTORY/FACTS/ISSUES:**

Case Number	PLAT 2410-004 Boulder Square Improvement Plan
Owner(s)	Ronnie Lavonn Bailey, SR, Ronnie Lavonn Bailey, JR, Stephanie Lashay Bailey, Paul Pumphrey, Sandra Pumphrey, and PFD Twisted Sisters, LLC
Applicant(s)	PFD Twisted Sisters, LLC
Acreage	84.10 +/-
Property Location	The subject property is generally located between C 44A and W Clarke St, with portions along CR 217 approximately 0.64 miles west of N Main St/N US 301.
Parcel(s)	F01-101, F01A008, G06-185, G06-186, & G06-187
Date	April 18, 2025

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the Boulder Square Subdivision, an improvement plan consisting of 270 dwelling units with 178 single-family detached lots and 92 single-family attached lots with associated infrastructure, per the attached plans. The subdivision is proposing the following amenities to be submitted on a separate site plan: a community pool, a walking trail with exercise equipment, and a picnic area. The developer is donating and dedicating 100 feet of ROW to the City of Wildwood for the continuation of CR 209 from C 44A to W Clarke St, in which the Project Review Committee approved the following technical waivers: reduced buffers and plantings adjacent to the dedicated future ROW along with reduced mitigation requirements, per the justifications attached. HOA declarations must be submitted in a form suitable for recording at the Boulder Square Final Plat along with a performance surety should the final plat be submitted prior to the competition of the infrastructure. Sign application is to be submitted by separate permit application.

PLAT 2410-004 meets the criteria set forth within the Land Development Regulations, Design

District Standards, and is in line with the goals, objectives, and policies within the 2050 Comprehensive Plan with technical waiver approvals.

A handwritten signature in black ink, appearing to read "Amanda Bondi". The signature is written in a cursive, flowing style.

Amanda Bondi  
Planner II, Development Services



# Project Review Committee Technical Standards Waiver Request

Project Name \_\_\_\_\_

Project # \_\_\_\_\_

1. Briefly describe your waiver request.
2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.
3. Please provide the justification for your waiver request.

Name (Print) \_\_\_\_\_

Date \_\_\_\_\_

Signature David Moss

Boulder Square  
Plat 2410-004

Project Review Committee  
Technical Standards Waiver Request – Buffers Adjacent to applicant-dedicated future ROW

3. Please provide justification for your waiver request.

In consideration of the applicant's dedication to the City, with the approval of this project, 3.92 Acres of land to accommodate the City's future road extension of CR 209 from West Clark Street to CR 44a through a 100' wide ROW tract, applicant is requesting a reduced buffer width and intensity of plantings along the project boundary shared with the applicant-dedicated future ROW.

These buffers are labeled as Buffer #'s 6, 12, 13A, 13B, 14A, & 14B on the Boulder Square Landscape Plans dated January 2025. Each of these buffers is 10' in width and provides 3 canopy trees per 100 linear feet.

Until such time as the City acquires the balance of land needed to complete the 100' wide ROW tract from West Clarke Street to CR 44A, designs and commences construction on the roadway project, this dedicated land will remain undeveloped with existing vegetation.



# Project Review Committee Technical Standards Waiver Request

Project Name \_\_\_\_\_

Project # \_\_\_\_\_

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2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.
3. Please provide the justification for your waiver request.

Name (Print) \_\_\_\_\_

Date \_\_\_\_\_

Signature David Moss

Boulder Square  
Plat 2410-004

Project Review Committee  
Technical Standards Waiver Request

1. Briefly describe your waiver request.

Applicant is requesting a waiver from Section 6.10(H) to allow 1,586 replacement trees required to mitigate trees to be removed to develop the site, in lieu of the required 2,007 trees to meet the tree mitigation requirements.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

Section 6.10(H) of the Land Development Regulations.

3. Please provide the justification for your waiver request.

The applicant is proposing 1,586 replacement trees and the preservation of 104 existing trees on site. The proposed tree density of 1,690 trees equates to 1 tree per 2,113 square feet of the overall site. This tree density will provide 85-90% shade / canopy coverage for the overall community once the trees reach maturity. The applicant is requesting a waiver to reduce the minimum tree mitigation by 421 trees.

The additional 421 trees required would limit the ability for each tree to reach its full potential and provide an environment that would be prone to tree mortality due to overplanting.

This 84.1-acre property has 1,812 trees meeting the criteria to be surveyed. As observed by our TRAQ certified Arborist, Mary Edwards, on January 17<sup>th</sup> many of the trees are in poor condition due mostly to overcrowding and due to overgrowth of vines, and storm damage.

Mary's task during her site visit on January 17<sup>th</sup> was to assess the condition of a sample of trees including those that our current plan intends to preserve.

While onsite, Mary assessed 278 trees specifically but walked the entire site and observed the condition of the population as a whole. Of the 278 trees she specifically assessed, 142 of them were in Poor Condition. Poor Condition, as defined in Mary's report, are those trees that meet multiple stress items and should be considered for **removal only**. This also includes dead trees. In this sample, 51% of the trees were assessed to be in Poor Condition. It is Mary's professional opinion that this same percentage is applicable to areas of the site that are densely populated with trees.



February 26, 2025

David Moss  
Project Finance & Development  
7575 Dr. Phillips Blvd.  
Suite 265  
Orlando, FL 32819

Dear David,

Thank you for the opportunity to propose a Consulting Arborist Fee Report for the Boulder Square Project in the city of Wildwood, FL.

**Observations:**

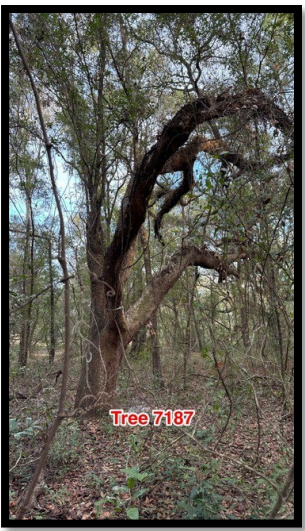
The primary variety of tree canopy on the site is Live Oak, Laurel Oak(38%) and Slash Pine (2%) with the majority being Live Oak trees (60%). There appear to be a substantial amount of additional downed tree debris from the recent high windstorm events. I observed several medium size Laurel Oak Trees that had completely fallen over and many other trees with broken canopies from high winds. The site has a variety of ground covers, perennial weeds, and vines.

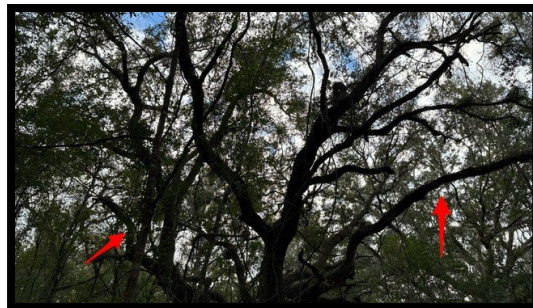
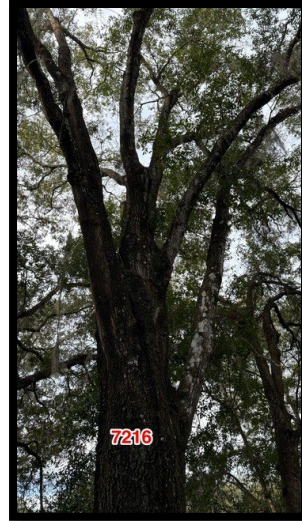
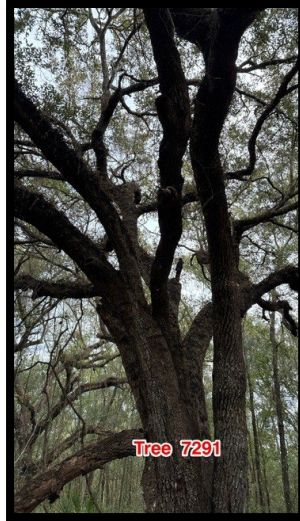
The vines have become a significant problem on these parcels. There were several trees with canopies completely engulfed in vines, choking out the foliage. There were several trees in various stages of decline with poor structures and poor health. We traversed the entire site to review the 277 specific trees that were potential preservation candidates. Of these 277 trees 50% were classified by "Poor" condition or completely "Dead". I would confidently say that this is an accurate percentage representation of the entire tree canopy condition throughout the site.

The volunteer trees in this area have developed shallow rooting with stretched canopies and insufficient lateral branching. This makes them vulnerable to failure once they are exposed to altering wind shear and general weather occurrences. This is quite common in sites that are overgrown with unavailable sunlight, encroachment from vines and overhead growth from neighboring trees.

There were trees with high co-dominant trunk structures and low co-dominant trunk structures. Due to the structural defects on these trees, they have a much higher risk of failure than others. They often fail due to the presence of branch bark inclusions that are not properly attached to the trunk. A branch bark inclusion is when two trunks or stems grow tightly together in a "V" shape and there is no room for the branch to properly grow and expand, creating a weak attachment. As the branch matures the reaction wood grows inward, putting pressure on this attachment which can cause wood separation and failure. When these unions fail, they tend to peel or rip from the trunk removing all of the reaction wood which is what helps close cuts or wounds. Without wound wood closure the decay will continue to advance throughout the tree wood causing additional stress on the structure and health of the tree.

Below are pictures throughout the site showing the varied species, site density, vines, downed trees, and varying health conditions.





**Above Pictures show downed, leaning trees, vines, lack of lateral branching consistent across the site**

Trees are dynamic, living organisms which change over time. The observations made herein will reflect the opinion of the Arborist at the time of inspection and do not guarantee the condition of the trees anytime in the

future. Trees or parts can fail at any time; these failures cannot always be predicted. Inspections of these trees will be based on a ground level visual observation only, I did not perform sound testing, advanced Arboricultural testing or gather any forensic samples for further examination. The assessment did not take into consideration any information unknown, not visible or detectable at the time of the inspection.

Again David, thank you for the opportunity to work as your Consulting Arborist on the Boulder Square Project site. Please let me know if you have any questions regarding this health assessment report.

Sincerely,  
Mary

Mary L. Edwards  
Registered Consulting Arborist RCA #451  
ISA Certified Arborist FI-0116  
FL. ISA Tree Risk Qualification & Prescription Pruning Qualification  
Florida Certified Landscape Contractor  
[mary@maryedwardsarborist.com](mailto:mary@maryedwardsarborist.com)  
321-303-4714



January 20, 2025

David Moss  
Project Finance & Development  
7575 Dr. Phillips Blvd.  
Suite 265  
Orlando, FL 32819

Dear David,

Thank you for the opportunity to propose a Consulting Arborist Fee Report for the Boulder Square Project in the city of Wildwood, FL.

**Assignment:**

Site visit to provide a health assessment for (201) select group of trees chosen to be preserved on site and confirm the decline on (76) trees classified as dead. Provide a Consulting Arborist Report with the tree assessment findings, exact tree species and general conditions. The original surveyed tree numbers and sizes will be used in the report.

The health assessments will be rated based on the following description below:

**Excellent** – Specimen tree good health, suitable candidate for preservation.

**Good** – Tree that meets available points for good structure, viable canopy and without decay. Typically, a suitable candidate for preservation.

**Fair** – Tree that does not meet one of the defects listed; good structure, viable canopy or has internal decay present. It is not always recommended for preservation unless it has either the opportunity for correction or if not corrected left in a natural setting away from any targets (structure, pedestrian walkway).

**Poor** – Tree that meets multiple stress items and should be considered for removal only. This also includes dead trees and Invasive Species– **Removal Only**

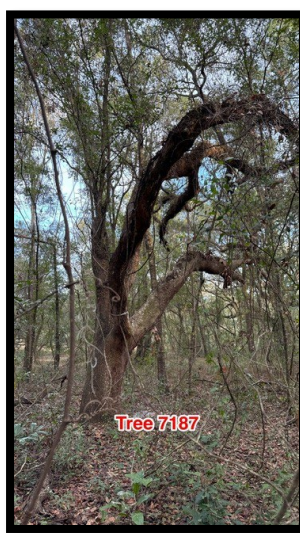
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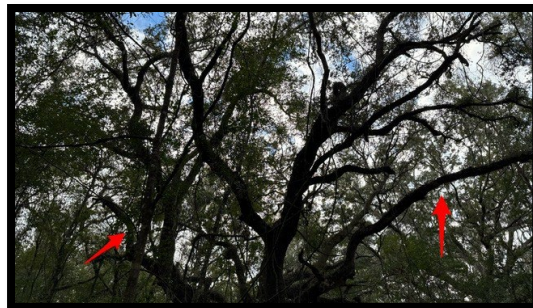
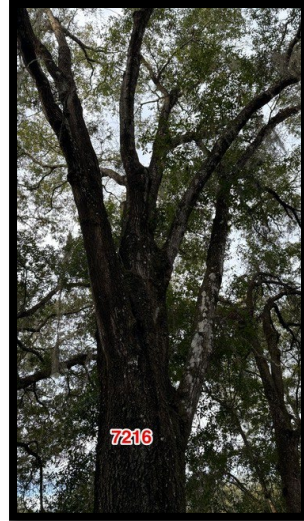
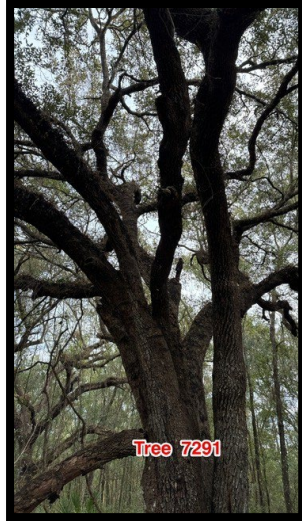
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The volunteer trees in this area have developed shallow rooting with stretched canopies and insufficient lateral branching. This makes them vulnerable to failure once they are exposed to altering wind shear and general weather occurrences. This is quite common in sites that are overgrown with unavailable sunlight, encroachment from vines and overhead growth from neighboring trees.

There were trees with high co-dominant trunk structures and low co-dominant trunk structures. Due to the structural defects on these trees, they have a much higher risk of failure than others. They often fail due to the presence of branch bark inclusions that are not properly attached to the trunk. A branch bark inclusion is when two trunks or stems grow tightly together in a “V” shape and there is no room for the branch to properly grow and expand, creating a weak attachment. As the branch matures the reaction wood grows inward, putting pressure on this attachment which can cause wood separation and failure. When these unions fail, they tend to peel or rip from the trunk removing all of the reaction wood which is what helps close cuts or wounds. Without wound wood closure the decay will continue to advance throughout the tree wood causing additional stress on the structure and health of the tree.

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Mary L. Edwards  
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[mary@maryedwardsarborist.com](mailto:mary@maryedwardsarborist.com)  
321-303-4714

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Tree #	DBH	Species	Supporting Characteristics for Health Assessment & Recommendations
7025	17"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species
7026	24"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, upright structure, good structure, deadwood
7027	32"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, deadwood
7028	45"	<i>Quercus virginiana</i> - Live Oak	Good - multiple branching, upright branching, deadwood
7038	20"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species
7039	16"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species
7045	15"/18"	<i>Quercus virginiana</i> - Live Oak	Fair - low co-dominant structure, multiple inclusions, deadwood, broken branches
7052	27"	<i>Quercus virginiana</i> - Live Oak	Good/Moderate - tri-dominant structure, minor decay, good structure,
7053	30"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, slight lean, deadwood, good structure
7169	16"	<i>Quercus virginiana</i> - Live Oak	Fair - upright structure, girdled roots, deadwood, vines
7170	11"/7"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, slight lean, no lateral branches
7171	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusions, no lateral branching, decay
7172	17"	<i>Quercus virginiana</i> - Live Oak	Poor - broken canopy, decay, deadwood, secondary growth
7173	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - significant lean, broken top, secondary growth, vines
7174	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high canopy, not a good stand alone tree
7175	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high canopy, decay, one-sided canopy, deadwood, broken branches
7176	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, decay, deadwood
7178	16"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, slight lean, canopy damage
7179	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - high canopy, deadwood, secondary growth
7182	12"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright branching, secondary growth, balanced canopy
7186	27"	<i>Quercus virginiana</i> - Live Oak	Poor - 1/2 dead canopy with advanced decay in parent trunk
7187	24"	<i>Quercus virginiana</i> - Live Oak	Poor- advanced decay throughout canopy, decay fungi, poor structure
7197	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, slight lean, not a good stand alone tree, secondary growth
7200	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high canopy, broken branching, deadwood, narrow canopy
7201	15"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, broken canopy on top, hangers, large deadwood, secondary growth
7202	18"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, deadwood, lean, vines
7203	22"	<i>Quercus virginiana</i> - Live Oak	Fair - large deadwood, vines, character lean
7205	16"	<i>Quercus virginiana</i> - Live Oak	Poor - 75% dead, advanced decay, vines
7213	14"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure, advanced decay, encroached canopy, heavy vines
7216	24"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, multiple branching with inclusions, vines, secondary growth
7217	22"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, low branching, deadwood, vines
7219	9"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high tri-dominant structure, heavy encroached canopy, secondary growth
7269	32"	<i>Quercus virginiana</i> - Live Oak	Good - co-dominant structure, minor vines, upright branching, deadwood
7270	29"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure, 50% dead, advanced decay, large deadwood, secondary growth, vines
7291	27"/21" /17"	<i>Quercus virginiana</i> - Live Oak	Fair - low tri-dominant structure, decay, large deadwood, broken dead branching, vines
7302	14"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, broken upright branching, hanger, deadwood
7307	30"	<i>Quercus virginiana</i> - Live Oak	Fair - balanced canopy, large deadwood, heavy vines, lower canopy dead branching
7333	15"	<i>Quercus virginiana</i> - Live Oak	Fair - edge of pond, upright branching, deadwood, slight lean
7334	13"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy in decline, secondary growth only, deadwood, standing water
7335	10"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure, one-sided canopy, tip dieback, slight lean
7336	10"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, broken canopy, secondary growth, deadwood
7340	16"	<i>Quercus virginiana</i> - Live Oak	Fair - some storm damage, sap sucker damage, upright canopy, deadwood
7341	12"/14"	<i>Quercus virginiana</i> - Live Oak	Fair - low co-dominant structure, broken branching, edge of pond, deadwood
7349	11"	<i>Quercus virginiana</i> - Live Oak	Poor - secondary growth, deadwood, poor structure
7350	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - high canopy, deadwood, vines
7353	9"/8"	<i>Quercus virginiana</i> - Live Oak	Poor - low co-dominant structure with inclusion, one-sided canopy, deadwood, vines
7354	11"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure, high canopy, no lateral branching, vines
7355	10"/11"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay in parent trunk, low co-dominant structure with inclusion, heavy vines, deadwood, yellow jackets
7356	23"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, girdled on fence, deadwood, vines, good structure
7363	29"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure no inclusion, large deadwood, heavy vines, girdled roots, secondary growth
7386	7"/5"/5" /5"	<i>Quercus virginiana</i> - Live Oak	Poor - multiple low branching, poor structure, girdled into barbed wire fence, poor structure
7391	11"/15"	<i>Quercus virginiana</i> - Live Oak	Fair - low co-dominant structure, deadwood, secondary growth, low vines, slight lean
7392	27"	<i>Quercus virginiana</i> - Live Oak	Fair - multiple branching at one level, secondary growth, deadwood, vines
7393	48"	<i>Quercus virginiana</i> - Live Oak	Fair - decay, large broken branches, secondary growth, deadwood, keep with #7394 good together as a balanced canopy

BOULDER SQUARE

7394	50"	<i>Quercus virginiana</i> - Live Oak	Fair - significant lean, large deadwood, secondary growth, keep with #7393 good together as a balanced canopy
7395	44"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, 40% dead, limited foliage, heavy vines, large deadwood
7400	51"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, low branching, large deadwood, secondary growth, vines
7405	12"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright structure, balanced canopy, minor deadwood, vines
7407	14"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, advanced decay, encroached canopy, heavy vines
7408	17"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, advanced decay, encroached canopy, heavy vines
7416	25"	<i>Quercus virginiana</i> - Live Oak	Moderate - decay in lateral branching, large deadwood, one-sided canopy, vines
7417	21"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, low canopy, large deadwood, secondary growth, vines, poor structure
7418	21"	<i>Quercus virginiana</i> - Live Oak	Poor - 1/2 canopy dead, advanced decay, large hanger, veins, poor structure
7419	22"	<i>Quercus virginiana</i> - Live Oak	Fair - minor decay, one-sided canopy, large deadwood, vines
7420	17"	<i>Quercus virginiana</i> - Live Oak	Dead tree - broken in half
7421	20"	<i>Quercus virginiana</i> - Live Oak	Fair - lean on trunk, large deadwood, intertwined with cluster
7422	16"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, large deadwood, vines, poor structure
7423	25"	<i>Quercus virginiana</i> - Live Oak	Poor - basal decay, lean, large deadwood, secondary growth
7424	24"	<i>Quercus virginiana</i> - Live Oak	Fair - high co-dominant structure, small dead trunk adjacent, secondary growth, vines
7435	15"/18"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - low co-dominant structure, minor decay, upright canopy, deadwood, secondary growth
7459	42"	<i>Quercus virginiana</i> - Live Oak	Fair - decay in union, large deadwood, secondary growth, vines
7465	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay, significant lean, no lateral branching, poor structure
7466	13"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright branching, good structure, minor deadwood
7467	15"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright branching, good structure, minor deadwood
7468	12"/13"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure with inclusion, no lateral branching, canopy dieback, decay, vines
7471	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay in parent trunk, secondary growth, vines
7472	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay in parent trunk, secondary growth, vines
7477	28"	<i>Quercus virginiana</i> - Live Oak	Fair - minor decay, large deadwood, slight lean, secondary growth, heavy moss
7483	7"/7"/6" /13"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy in decline, one-sided canopy, secondary growth, deadwood, vines
7495	17"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, one-sided canopy, secondary growth, vines
7499	20"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure no inclusion, upright branching, stand alone tree, girdled roots
7504	29"	<i>Quercus virginiana</i> - Live Oak	Fair - decay in lateral branching, deadwood, secondary growth, vines
7521	15"	<i>Quercus virginiana</i> - Live Oak	Good - upright structure, minor deadwood, vines
7522	17"	<i>Quercus virginiana</i> - Live Oak	Fair - significant lean on trunk, deadwood, vines, keep together with #7521 as a cluster
7523	20"	<i>Pinus palustris</i> - Longleaf Pine	Poor - co-dominant structure with inclusion, poor structure
7524	36"/24" /22"	<i>Quercus virginiana</i> - Live Oak	Poor - tree has separated and split with inclusion, advanced decay, large deadwood, vines
7548	15"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, vines
7549	11"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, vines
7550	17"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, vines, keep with #7551
7551	12"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, vines, keep with #7550
7563	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - sap sucker damage, one-sided canopy, broken canopy, deadwood, secondary growth, poor structure
7564	16"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright structure, balanced canopy, minor deadwood
7574	22"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - co-dominant structure with inclusion, advanced decay, canopy dieback, large deadwood
7614	6"/9"/1" 0"	<i>Quercus virginiana</i> - Live Oak	Poor - heavily encroached with vines, little foliage, canopy in decline, deadwood
7617	13"	<i>Pinus elliotii</i> - Slash Pine	Poor - high co-dominant structure with inclusion, poor structure
7658	16"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, deadwood
7682	13"	<i>Pinus elliotii</i> - Slash Pine	Good - good for species, deadwood, vines
7683	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - encroached by pines, stunted canopy, deadwood, vines
7684	14"	<i>Pinus elliotii</i> - Slash Pine	Fair - one-sided canopy, deadwood
7685	17"	<i>Pinus elliotii</i> - Slash Pine	Fair - slight lean, deadwood, heavy vines
7688	19"	<i>Quercus laurifolia</i> - Laurel Oak	Dead tree only trunk remaining
7689	17"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in parent trunk, canopy dieback, broken branches, deadwood
7694	11"	<i>Pinus elliotii</i> - Slash Pine	Poor - heavy vines, poor trunk structure, deadwood
7697	13"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, canopy dieback, secondary growth, vines
7698	13"	<i>Quercus virginiana</i> - Live Oak	Dead tree
7713	30"	<i>Quercus virginiana</i> - Live Oak	Fair - light canopy, deadwood, moss, secondary growth
7716	12"	<i>Quercus virginiana</i> - Live Oak	Poor - 50% dead, advanced decay, large deadwood, heavily forested canopy
7718	10"	<i>Quercus virginiana</i> - Live Oak	Poor - high canopy, no lateral branching, significant lean, poor structure

## BOULDER SQUARE

7719	25"	<i>Quercus virginiana</i> - Live Oak	Fair - high canopy, secondary growth, large deadwood, vines
7720	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, one-sided canopy, secondary growth, deadwood
7721	8"/9"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure with inclusion, canopy dieback, no lateral branching, deadwood, vines
7722	8"/9"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure with inclusion, canopy dieback, no lateral branching, deadwood, vines
7723	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - one-sided canopy, decay, deadwood
7724	19"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, one-sided canopy, low lateral limbs, deadwood
7725	22"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - tree completely uprooted, decay, leaning, deadwood
7726	14"	<i>Quercus virginiana</i> - Live Oak	Fair - low attachment with inclusion, multiple branching, deadwood, vines
7727	13"	<i>Quercus virginiana</i> - Live Oak	Poor - 75% dead, significant lean, advanced decay, large basal cavity
7728	15"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, significant lean, secondary growth, large deadwood
7729	15"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, upper canopy foliage is thin, bottom tree encroached, deadwood
7730	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, canopy in decline, deadwood, vines
7731	13"/16"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure with inclusion, advanced decay in trunk, deadwood, poor structure
7732	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - leave as cluster only, not a good stand alone tree, deadwood, secondary growth
7733	12"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - leave as cluster only, not a good stand alone tree, deadwood, secondary growth
7734	5"/11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - leave as cluster only, not a good stand alone tree, deadwood, secondary growth
7735	11"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy in decline, decay, broken branches, deadwood
7736	12"/11"	<i>Quercus virginiana</i> - Live Oak	Poor - co-dominant structure, canopy in decline, broken branches, deadwood
7737	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, deadwood, secondary growth, vines
7738	18"	<i>Quercus virginiana</i> - Live Oak	Fair - in swale, good buffer tree only, not a good stand alone tree, deadwood, vines
7739	21"	<i>Quercus virginiana</i> - Live Oak	Fair - fence girdling, balanced canopy, deadwood, heavy vines
7740	14"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure with inclusion, decay in trunk, deadwood
7741	10"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure, advanced decay, deadwood
7742	11"	<i>Quercus virginiana</i> - Live Oak	Poor - high canopy, significant lean, no lateral branching, deadwood
7747	8"/8"/9" /12"	<i>Quercus virginiana</i> - Live Oak & <i>Quercus laurifolia</i> - Laurel Oak	Poor - cluster of Live and Laurel Oaks, canopy dieback, heavy vines, deadwood
7749	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - co-dominant structure with inclusion, one-sided canopy, deadwood, vines
7750	5"/9"	<i>Pinus elliotii</i> - Slash Pine	Fair - low co-dominant structure, one-sided canopy, deadwood, vines
7752	9"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - canopy dieback, one-sided canopy, deadwood, vines
7765	13"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in trunk, large wound in lateral branch from neighboring tree, secondary growth, deadwood
7779	15"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - large basal wound with advanced decay, hanger, deadwood, vines
7783	15"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - significant lean in canopy, heavily encroached, decay, deadwood
7784	29"	<i>Quercus virginiana</i> - Live Oak	Fair - minor dieback in canopy, low lateral branching, large deadwood, vines
7785	10"/12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure with inclusion, trunk decay, deadwood, vines
7786	10"	<i>Quercus laurifolia</i> - Laurel Oak	Bad position, did not find
7787	10"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, one-sided canopy, deadwood, vines
7789	11"/12"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - tri-dominant structure with inclusion, upright branching, minor decay, deadwood, vines
7790	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, canopy in decline, vines, poor structure
7791	17"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, girdled roots, broken branches, hangers, vines
7792	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay, one-sided canopy, lower dead branching, vines
7793	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high tri-dominant structure, decay, one-sided canopy, lower dead branching, vines, poor structure
7794	10"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, one-sided canopy, secondary growth, deadwood, vines
7795	8"/10"/ 14"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy completely encroached with vines, canopy dieback, broken branches
7796	20"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy completely encroached with vines, canopy dieback, broken branches
7797	19"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy completely encroached with vines, canopy dieback, broken branches
7801	13"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, no lateral branching, decay, deadwood, vines
7802	8"/14"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - 1/2 tree broken off, decay, broken branches, deadwood, vines
7803	10"	<i>Quercus virginiana</i> - Live Oak	Poor - no lateral branching, canopy heavily encroached and in complete decline
7804	17"	<i>Quercus virginiana</i> - Live Oak	Fair - upright branching, moss, deadwood, vines, keep together with #7805 & #7806, not good stand alone tree
7805	17"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep together with #7804 & #7806, not good stand alone tree
7806	12"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep together with #7804 & #7805, not good stand alone tree
7807	12"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep as cluster with #7809, not good stand alone tree
7808	20"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep as cluster with #7807 #7809, not good stand alone tree
7809	15"	<i>Quercus virginiana</i> - Live Oak	Fair - significant lean on trunk, canopy balanced with surrounding oaks, keep as cluster with #7807 #7808, not good stand alone tree
7812	10"	<i>Quercus virginiana</i> - Live Oak	Poor - no lateral branching, significant lean, deadwood, heavy vines
7813	25"	<i>Persea palustris</i> - Swamp Bay	Dead tree - canopy dieback, decay, heavy vines

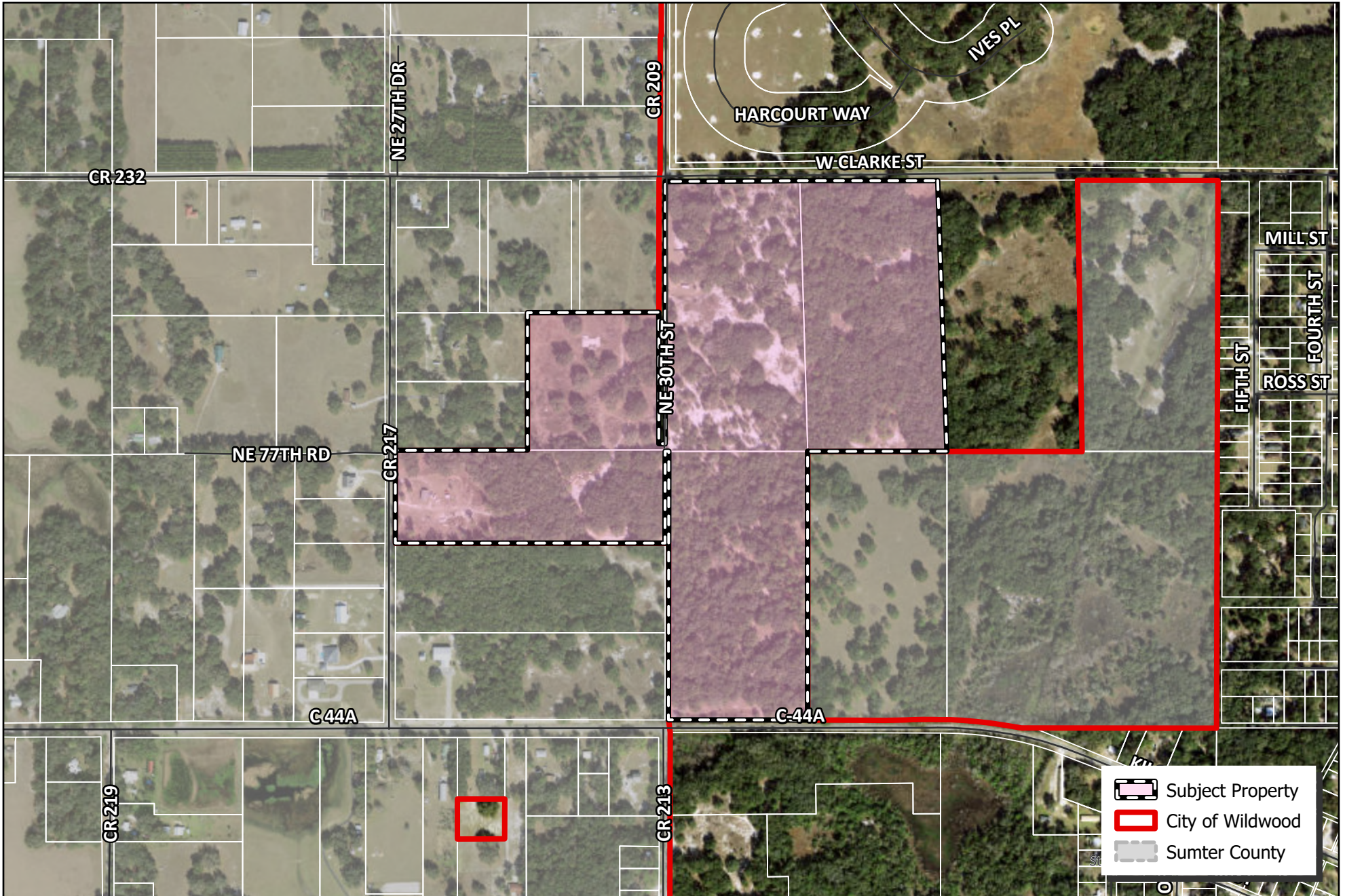
## BOULDER SQUARE

7814	7"/8"	<i>Quercus virginiana</i> - Live Oak	Poor - heavily encroached by vines, canopy dieback, deadwood
7816	14"	<i>Persea palustris</i> - Swamp Bay	Poor - canopy dieback, broken lateral branches
7817	8"/8"/1 0"	<i>Quercus virginiana</i> - Live Oak	Fair - in swale with water, full canopy, deadwood, vines
7820	16"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright branching, minor decay, deadwood, vines
7821	13"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright canopy, balanced canopy, deadwood
7822	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, decay, broken branches, secondary growth
7823	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, decay, broken branches, secondary growth
7824	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - canopy in decline, center lead dead, broken branches, hangers, deadwood
7825	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - heavily encroached canopy, no lateral branching, secondary growth, deadwood
7860	18"	<i>Quercus virginiana</i> - Live Oak	Fair - decay in smaller 6" lead, 1 dead, slight lean, deadwood, vines
7861	18"	<i>Quercus virginiana</i> - Live Oak	Fair - upright canopy, slight lean, secondary growth, large deadwood, vines
7862	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - heavily encroached canopy, one-sided canopy, slight lean, buffer tree only, not a good stand alone tree
7899	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, slight lean, deadwood
7907	10"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, slight lean, deadwood
7908	8"/9"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low tri-dominant structure with inclusion, secondary growth, deadwood, vines
7909	11"	<i>Quercus laurifolia</i> - Laurel Oak	Dead tree
7927	19"	<i>Quercus laurifolia</i> - Laurel Oak	Dead tree - fallen over
7940	30"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominate structure with inclusion, slight lean, deadwood, vines
7962	11"	<i>Quercus virginiana</i> - Live Oak	Poor - co-dominant structure, girdled into fence, canopy utility pruning
7967	11"	<i>Quercus virginiana</i> - Live Oak	Good - high co-dominant structure no inclusion, balanced canopy, deadwood
7968	24"	<i>Quercus virginiana</i> - Live Oak	Fair - balanced canopy, moss, large deadwood, vines
7969	9"/11"/ 10"	<i>Quercus virginiana</i> - Live Oak	Fair - tri-dominant structure with inclusion, upright canopy, deadwood, vines
8004	36"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, balanced canopy, deadwood, vines
8005	18"	<i>Quercus virginiana</i> - Live Oak	Good - good if kept with #8004, if not fair - significant lean, one-sided canopy, deadwood, vines
8006	23"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure with inclusion, crossing branching, deadwood, heavy vines
8007	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - encroached canopy, no lateral branching, lean in upper canopy, deadwood, vines
8008	16"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - co-dominant structure with large inclusion, canopy dieback, deadwood, heavy vines
8009	18"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in lateral branches, deadwood, vines, poor structure
8010	23"	<i>Quercus virginiana</i> - Live Oak	Fair - multiple branching, minor decay, deadwood, vines
8011	17"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure, trunk girdled into barbed wire fence, deadwood, vines
8052	22"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, keep with #8053 as a cluster, deadwood, vines
8053	13"/18"/ /22"	<i>Quercus virginiana</i> - Live Oak	Fair - tri-dominant structure with inclusion, minor decay, keep with #8052, not a good stand alone cluster, deadwood, vines
8054	21"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, one-sided canopy, keep with #8055, not a good stand alone tree
8055	27"	<i>Quercus virginiana</i> - Live Oak	Good - balanced canopy, lower branching, slight lean, deadwood
8061	18"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in upper union, broken branching, deadwood, vines
8062	27"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, minor decay, canopy over road, deadwood, vines
8060	13"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure, slight lean, deadwood, heavy vines
8037	18"/18"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - low co-dominant structure no inclusion, hangers in canopy, deadwood, vines
8038	14"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure with inclusion, advanced decay, canopy dieback, vines
8096	6"/9"/1 1"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - tri-dominant structure with inclusion, 6" lead dead, canopy dieback, hangers, deadwood
8097	10"/10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - low co-dominant structure, canopy dieback, advanced decay, deadwood, vines
8098	16"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, advanced decay, broken branches, deadwood, vines
8101	34"	<i>Quercus virginiana</i> - Live Oak	Poor - 1/2 tree dead, advanced decay, large dead branching, deadwood, vines
8102	28"	<i>Quercus virginiana</i> - Live Oak	Poor - 1/2 tree dead, advanced decay, large dead branching, deadwood, vines
8103	12"	<i>Quercus laurifolia</i> - Laurel Oak	Good - upright, and balanced canopy, deadwood, vines
8104	22"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay in lateral branching, broken branches, large deadwood, vines
8105	18"	<i>Quercus virginiana</i> - Live Oak	Poor - 1/2 tree canopy dead, advanced decay, broken branches, vines
8106	20"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright branching, balanced, minor decay, deadwood, vines
8087	21"	<i>Quercus virginiana</i> - Live Oak	Good - balanced canopy, deadwood, good structure
8088	14"	<i>Quercus virginiana</i> - Live Oak	Good - balanced canopy, deadwood, good structure
8175	23"	<i>Quercus virginiana</i> - Live Oak	Good - co-dominant structure, balanced canopy, deadwood, good structure
8179	12"	<i>Quercus virginiana</i> - Live Oak	Fair - broken canopy, young balanced tree, girdled into barbed wire fencing, deadwood
8238	24"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep as a cluster

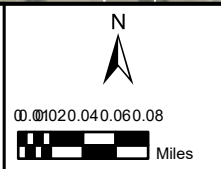
BOULDER SQUARE

8239	16"/18" /20"	<i>Quercus virginiana</i> - Live Oak	Fair - multiple branching, deadwood, vines, keep as a cluster, only this cluster of tree is a good stand alone group
8240	33"	<i>Quercus virginiana</i> - Live Oak	Fair - broken branches, deadwood, vines, keep as a cluster
8241	20"	<i>Quercus virginiana</i> - Live Oak	Fair - one-sided canopy, deadwood, vines, keep as a cluster
8242	17"	<i>Quercus virginiana</i> - Live Oak	Poor - center trunk broken and topped with decay, deadwood, vines, keep as a cluster
8243	22"	<i>Quercus virginiana</i> - Live Oak	Fair - minor decay, deadwood, vines, keep with #8244
8244	17"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, deadwood, vines, keep with #8243
8245	25"	<i>Quercus virginiana</i> - Live Oak	Fair - broken branches, large deadwood, vines, keep with other 4 Live Oaks
8246	21"	<i>Quercus virginiana</i> - Live Oak	Fair - minor decay, upright branching, deadwood, vines
8242	19"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, 75% dead, large deadwood, vines
8248	10"	<i>Quercus virginiana</i> - Live Oak	Fair - upright structure, deadwood, vines, keep as a pair with #8249
8249	10"/13"	<i>Quercus virginiana</i> - Live Oak	Fair - upright structure, deadwood, vines, keep as a pair with #8248
8250	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure, damage canopy, deadwood, vines, poor structure
8251	26"	<i>Quercus virginiana</i> - Live Oak	Fair - co-dominant structure, some canopy damage from fallen neighboring tree, deadwood, vines
8252	15"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure, damage in canopy, deadwood, vines, poor structure
8253	17"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure, multiple branching, no lateral branching, deadwood, vines, poor structure
8254	31"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean on canopy, minor decay, deadwood, vines
8255	15"	<i>Quercus laurifolia</i> - Laurel Oak	Dead - fallen tree
8363	27"	<i>Quercus virginiana</i> - Live Oak	Fair - tri-dominant structure, broken branches, large deadwood, vines
8364	16"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay, broken canopy, vines, poor structure
8365	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - significant lean, no lateral branching, canopy fully engulfed with vines, deadwood
8366	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - significant lean, no lateral branching, canopy fully engulfed with vines, deadwood
8367	18"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, lower broken branches, hangers, vines
8372	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high canopy, no lateral branching, broken upper branching, poor structure
8375	20"/30"	<i>Quercus virginiana</i> - Live Oak	Fair - decay in lateral branches, no lateral branching, large deadwood, vines
8399	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, narrow limited branches, deadwood, keep together with #8399
8400	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, narrow limited branches, deadwood, keep together with #8400
8401	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - high co-dominant structure, high canopy, no lateral branching, lean in canopy, deadwood
8402	6"/7"/8"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in 6" limb, canopy dieback, multiple low branching, deadwood, poor structure
8403	13"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - narrow high canopy, canopy dieback, no lateral branching, poor structure
8410	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, lean, deadwood, poor structure
8411	14"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - low co-dominant structure with inclusion, high inclusion, canopy dieback, deadwood, secondary growth, poor structure, buffer tree only
8412	10"/14"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - broken lateral branching, minor canopy tip dieback, secondary growth, deadwood, buffer tree only
8413	11"/12" /12"/12" "/6"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - multiple branching with inclusions, canopy tip dieback, deadwood, vines, buffer trees only
8518	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay, no lateral branching, deadwood, vines, poor structure
8519	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - decay, no lateral branching, deadwood, vines, poor structure
8520	15"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - advanced decay in upper canopy, deadwood, vines, poor structure
8521	42"	<i>Quercus virginiana</i> - Live Oak	Fair - low branching, large deadwood, and large vines
8522	22"	<i>Quercus virginiana</i> - Live Oak	Poor - advanced decay, slight lean, large deadwood, vines
8523	32"	<i>Quercus virginiana</i> - Live Oak	Poor - canopy dieback with little reaction wood, large deadwood, heavy vines
8524	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - no lateral branching, secondary growth, vines, poor structure
8525	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - no lateral branching, secondary growth, vines, poor structure
8526	10"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - no lateral branching, secondary growth, vines, poor structure
8528	11"	<i>Quercus virginiana</i> - Live Oak	Poor - high canopy, no lateral branching, deadwood, vines, poor structure
8529	15"	<i>Quercus virginiana</i> - Live Oak	Poor - high co-dominant structure, no lateral branching deadwood, vines, poor structure
8533	11"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - no lateral branching, secondary growth, deadwood, vines
8534	12"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - high canopy, upper lateral branching, secondary growth
8720	32"	<i>Quercus virginiana</i> - Live Oak	Good - minor decay, large deadwood, vines, good structure
8723	22"	<i>Quercus virginiana</i> - Live Oak	Fair - upright branching, deadwood vines, keep together as a pair with # 8724
8724	23"	<i>Quercus virginiana</i> - Live Oak	Fair - slight lean, deadwood, vines, keep together as a pair with #8723
8727	11"	<i>Quercus laurifolia</i> - Laurel Oak	Fair - upright canopy, high lateral branching, secondary growth, deadwood
8728	12"	<i>Quercus laurifolia</i> - Laurel Oak	Poor - one-sided canopy, slight lean, secondary growth, deadwood
8736	14"	<i>Quercus virginiana</i> - Live Oak	Poor - significant lean, deadwood, vines, poor structure
8737	18"	<i>Quercus virginiana</i> - Live Oak	Fair - upright canopy, slight lean, high canopy, deadwood
8877	19"	<i>Quercus virginiana</i> - Live Oak	Fair - high co-dominant structure with inclusion, upper lateral branching, deadwood, vines





**CITY OF WILDWOOD**  
 100 North Main Street  
 Wildwood, FL 34785  
 Phone: (352) 330-1330  
[www.wildwood-fl.gov](http://www.wildwood-fl.gov)



PLAT 2410-004  
**BOULDER SQUARE IMPROVEMENT PLAN**  
 PARCELS F01A008, F01-101, G06-185, G06-186 & G06-187

**MAP 1B**  
**LOCATION**  
**MAP**  
**OCT 2024**

# SUBDIVISION-IMPROVEMENT PLANS

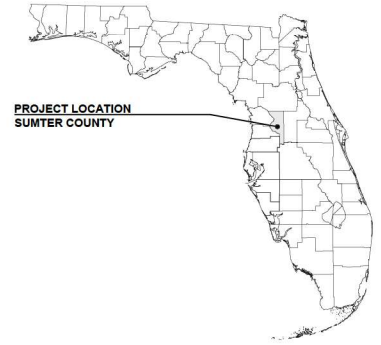
FOR:

# BOULDER SQUARE

CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA 34785

SECTION 01, TOWNSHIP 19, RANGE 22  
SECTION 06, TOWNSHIP 19, RANGE 23

**OCTOBER 2024**



**PARCEL ID**

PARCEL 06-19-23-006-180-R-1  
PARCEL 06-19-23-006-180-R-1  
PARCEL 06-19-23-006-187-R-1  
PARCEL 01-19-23-010-ADDER-R-1  
PARCEL 01-19-23-010-101-R-1

**LEGAL DESCRIPTION**

(PARCEL 006-187 AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY - COMMITMENT NUMBER: W19698A1, DATED AUGUST 29, 2023)

COMMENCE AT THE NORTHWEST CORNER OF THE S 1/2 OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, THENCE S 89°59'41" E ALONG THE NORTH LINE OF SAID S 1/2 OF THE NW 1/4, DISTANCE OF 16.59 FEET, TO THE POINT OF BEGINNING, THENCE CONTINUE S 89°59'41" E ALONG SAID NORTH LINE A DISTANCE OF 667.20 FEET, THENCE S 00°01'12" W A DISTANCE OF 1326.62 FEET, TO THE SOUTH LINE OF SAID NW 1/4, THENCE N 89°59'41" W ALONG SAID SOUTH LINE A DISTANCE OF 666.89 FEET, THENCE N 00°01'12" E A DISTANCE OF 1326.64 FEET, TO THE POINT OF BEGINNING, SUBJECT TO A ROAD EASEMENT DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE S 1/2 OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, THENCE S 89°59'41" E ALONG THE NORTH LINE OF SAID S 1/2 OF THE NW 1/4, A DISTANCE OF 16.59 FEET, THENCE CONTINUE S 89°59'41" E ALONG SAID NORTH LINE A DISTANCE OF 667.00 FEET, THENCE S 00°01'12" W A DISTANCE OF 1326.64 FEET, TO THE SOUTH LINE OF SAID NW 1/4, THENCE N 89°59'41" W ALONG SAID SOUTH LINE A DISTANCE OF 666.89 FEET, THENCE N 00°01'12" E A DISTANCE OF 1326.64 FEET, THENCE N 89°59'41" E A DISTANCE OF 16.59 FEET TO THE POINT OF BEGINNING, SUBJECT TO A WATER, SEWER, AND GREY WATER EASEMENT DESCRIBED IN OFFICIAL RECORD BOOK 480, PAGE 502, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, LESS ROAD RIGHT-OF-WAY.

(PARCELS F01A008 & F01-101 AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY - COMMITMENT NUMBER: 143387, DATED JULY 28, 2023)

**PARCEL 1**

LOT 1, OF AN UNRECORDED SUBDIVISION IN SECTION 1, TOWNSHIP 19 SOUTH, RANGE 22 EAST AND SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, FURTHER DESCRIBED AS: BEGIN AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 19 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA, THENCE NORTH 89°49'48" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4, A DISTANCE OF 1330.30 FEET, TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4, SAID CORNER ALSO BEING THE NORTHWEST CORNER OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE SOUTH 89°59'41" EAST A DISTANCE OF 16.59 FEET, THENCE SOUTH 00°01'12" WEST A DISTANCE OF 430.00 FEET, THENCE SOUTH 89°42'00" WEST A DISTANCE OF 1345.34 FEET TO THE WEST LINE OF THE SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4, THENCE NORTH 89°49'48" EAST ALONG SAID WEST LINE A DISTANCE OF 430.00 FEET, TO THE POINT OF BEGINNING.

**PARCEL 2**

THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY, TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE EAST 20 FEET OF LOTS 24, 25, 27, 29 AND 30 AND THE EAST 30 FEET OF WASHINGTON STREET AND PEMPINGTON STREET, A MOBILE HOME SUBDIVISION, AS A PERMIT THEREOF RECORDED IN PLAT BOOK 2, PAGE 20, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA,

(PARCEL 006-186 AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY - COMMITMENT NUMBER: 143396, DATED AUGUST 4, 2023)

LOT 4 DESCRIBED AS FOLLOWS: BEGIN AT THE NW CORNER OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, THENCE N89°59'59" E ALONG THE NORTH LINE OF SAID NW 1/4, A DISTANCE OF 644.11 FEET, THENCE S01°14'11" W ALONG SAID NORTH LINE A DISTANCE OF 1327.20 FEET, TO THE SOUTH LINE OF THE NW 1/2 OF SAID NW 1/4, THENCE N89°59'41" W ALONG SAID SOUTH LINE A DISTANCE OF 665.89 TO THE SW CORNER OF SAID N 1/2 OF THE NW 1/4, THENCE N00°00'34" E ALONG THE WEST LINE OF SAID NW 1/4 A DISTANCE OF 1326.56 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A ROAD EASEMENT DESCRIBED AS FOLLOWS: BEGIN AT THE NW CORNER OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE N89°59'59" E ALONG SAID NORTH LINE A DISTANCE OF 644.11 FEET, THENCE S01°14'11" W A DISTANCE OF 1327.20 FEET, THENCE S89°46'29" W A DISTANCE OF 645.00 FEET TO THE WEST LINE OF SAID NW 1/4, THENCE N00°00'34" E ALONG SAID WEST LINE A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

(PARCEL 008-185 AS FURNISHED BY STEWART TITLE GUARANTY COMPANY - COMMITMENT NUMBER: 200002024, DATED AUGUST 9, 2023)

**LOT 5**

COMMENCE AT THE NORTHWEST CORNER OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, THENCE N 89° 59' 59" E ALONG THE NORTH LINE OF SAID NW 1/4, A DISTANCE OF 644.11 FEET, TO THE POINT OF BEGINNING, THENCE CONTINUE N 89° 59' 59" E ALONG SAID NORTH LINE A DISTANCE OF 667.68 FEET, THENCE S 02° 07' 51" E A DISTANCE OF 1327.60 FEET, TO THE SOUTH LINE OF THE NW 1/2 OF SAID NW 1/4, THENCE N 89° 41' 41" W ALONG SAID SOUTH LINE A DISTANCE OF 666.80 FEET, THENCE N 01° 41' 43" W A DISTANCE OF 1327.20 FEET, TO THE POINT OF BEGINNING.

SUBJECT TO A ROAD EASEMENT DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE NW 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE N 89° 59' 59" E ALONG THE NORTH LINE OF SAID NW 1/4 A DISTANCE OF 644.11 FEET, TO THE POINT OF BEGINNING, THENCE CONTINUE N 89° 59' 59" E ALONG SAID NORTH LINE A DISTANCE OF 667.68 FEET, THENCE S 02° 07' 51" E A DISTANCE OF 1327.60 FEET, THENCE N 89° 41' 41" W ALONG SAID SOUTH LINE A DISTANCE OF 666.80 FEET, THENCE N 01° 41' 43" W A DISTANCE OF 1327.20 FEET, TO THE POINT OF BEGINNING.

**ZONING**

R1 LOW DENSITY RESIDENTIAL

**FUTURE LAND USE**

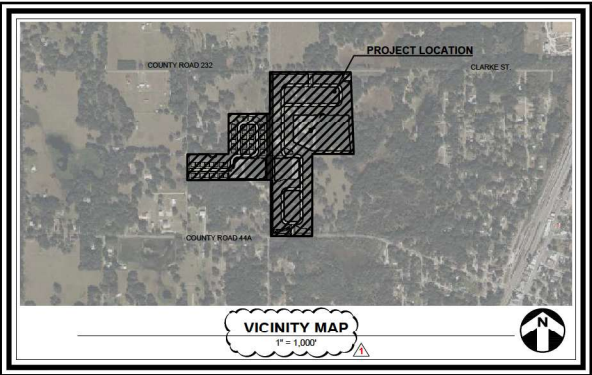
RESIDENTIAL - SINGLE FAMILY

**AGENCIES TO BE NOTIFIED / UTILITY PROVIDERS**

**CITY OF WILDWOOD PLANNING DEPT** DUKE ENERGY  
100 N MAIN STREET 8 NORTH HIGHLAND STREET  
WILDWOOD, FL 34785 WINTER GARDEN, FL 32787  
P: (352) 330-1334 P: (888) 900-8744

**CITY OF WILDWOOD UTILITIES** TECO ENERGY  
100 N MAIN STREET 600 WEST RICHMOND STREET  
WILDWOOD, FL 34785 ORLANDO, FL 32801  
P: (352) 330-1336 P: (407)-420-6663

**SWFWMD - BARTOW SERVICE OFFICE** VERIZON FLORIDA, INC  
170 CENTURY BOULEVARD, TAMPA, FL 33618  
BARTOW, FL 33830-7700 P: (813) 627-8343  
P: (863) 534-1448 P: (813) 627-8343



431 E. Horatio Avenue, Suite 260  
Maitland, Florida 32751  
(407) 629-8330  
CA# 0007723

**ENGINEER**  
MADDEN, MOORHEAD & STOKES, LLC  
ATTN: DAVID A. STOKES, PE  
431 E HORATIO AVE, STE 260  
(407) 629-8330 X 130  
DStokes@Madden-eng.com

**SURVEYOR**  
ALLEN & COMPANY  
ATTN: JAMES L. RICKMAN  
16 EAST PLANT ST  
WINTER GARDEN, FLORIDA 34787  
P: (407) 654-5355  
JIM@ALLEN-COMPANY.COM

**PFD TWISTED SISTERS LLC**

**CONSTRUCTION PLANS**

**OWNER/DEVELOPER**  
PFD TWISTED SISTERS LLC  
ATTN: DWIGHT SAATHOFF  
7575 DR. PHILLIPS BLVD., STE 265  
ORLANDO, FLORIDA 32819  
P:(407) 730-9916  
DWIGHT@PFDLLC.NET

ATTN: BAILEY RONNIE LAVON JR & STEPHANIE LASHAY  
705 CR 217, WILDWOOD, FL 34785  
(352) 536-3065  
RONNIE.BAILEYJR@YAHOO.COM

ATTN: PUMPHREY PAUL & SANDRA  
PO BOX 1228 WILDWOOD, FL 34785-1228  
(352) 748-1182  
ROBBY@OXFORDLAND.COM

ATTN: BAILEY RONNIE LAVON SR & RONNIE JR  
445 AUSTIN STREET LAKE WALES, FL 33853  
(352) 536-3065  
RONNIE.BAILEYJR@YAHOO.COM

**LANDSCAPE ARCHITECT**  
DALY DESIGN GROUP INC.  
ATTN: BILL MAKI  
913 N. PENNSYLVANIA AVE.  
WINTER PARK, FLORIDA 32789  
P:(407) 740-7373  
BMAKI@DALYDESIGN.COM

SHEET NUMBER	SHEET TITLE
0001	COVER SHEET
0002	GENERAL NOTES
0003-0004	DEMOLITION AND EROSION CONTROL PLAN
0005	DEMOLITION AND EROSION CONTROL DETAILS
0100	MASTER SITE PLAN
0101-0106	UTILITIES PLAN
0107	UTILITY PLAN
0200	OVERALL IMPROVEMENT PLAN
0201	OVERALL IMPROVEMENT PLAN
0202	OVERALL IMPROVEMENT PLAN
0203	OVERALL IMPROVEMENT PLAN
0204	OVERALL IMPROVEMENT PLAN
0301-0314	GRADING PLAN
0315	ROADWAY PLAN AND PROFILES
0316-0318	PAYMENT MARKING AND SIGNAGE PLAN
0319	GENERAL CONTRACTOR MANUAL
0320	OFF-FUNCTIONAL PLAN
0321	CITY OF WILDWOOD
0322	CITY OF WILDWOOD
0323	CITY OF WILDWOOD
0324	CITY OF WILDWOOD
0325	CITY OF WILDWOOD
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0400	CITY OF WILDWOOD

**MAINTENANCE & OPERATION DATA:**

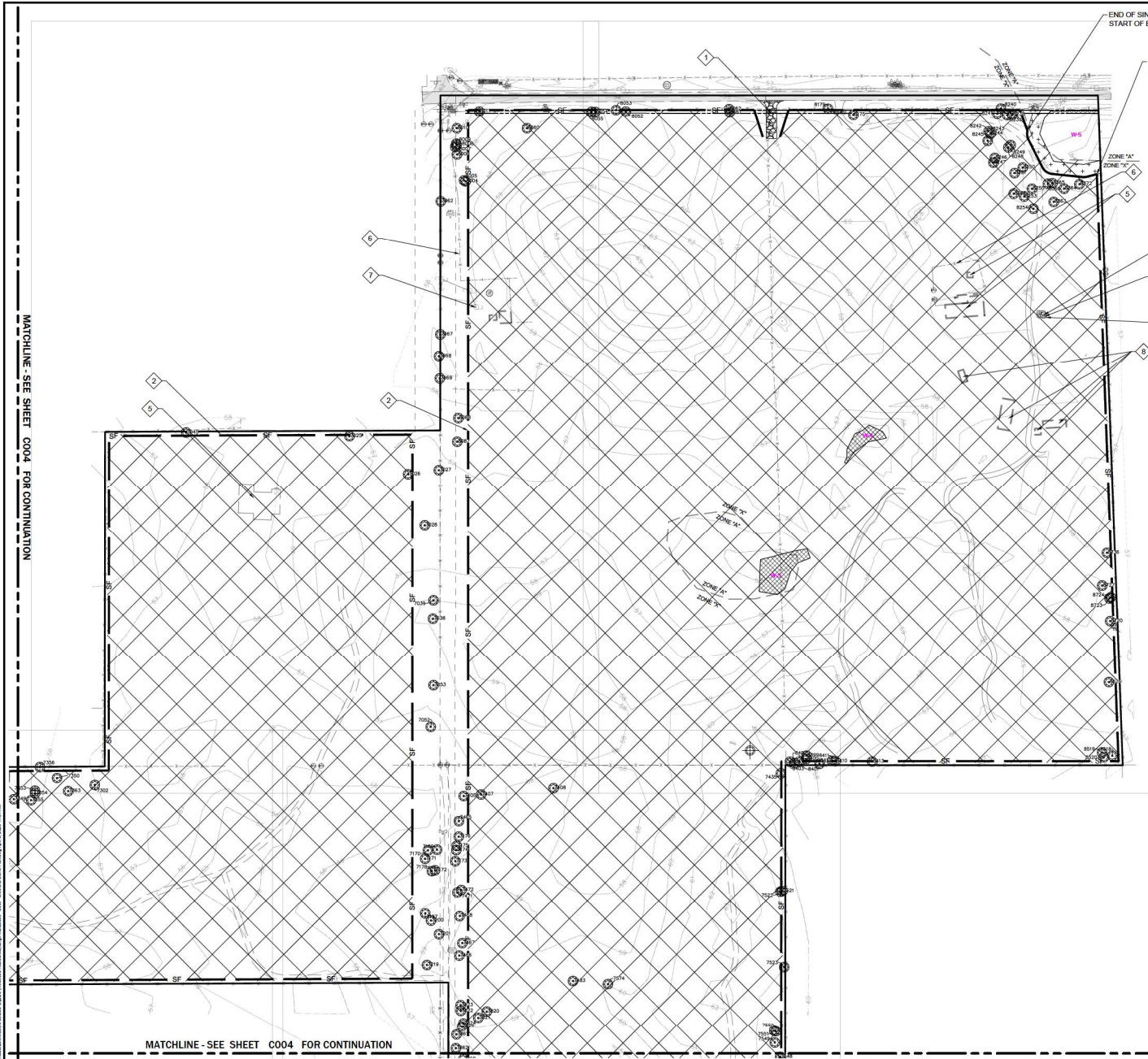
PROPOSED FACILITY IMPROVEMENT	OWNERSHIP & MAINTENANCE
ON-SITE ROADS	CITY OF WILDWOOD
WATER MAIN	CITY OF WILDWOOD
REC AM MAIN	CITY OF WILDWOOD
STORMWATER	HOME OWNERS ASSOCIATION
SANITARY SEWER	CITY OF WILDWOOD
FORCE MAIN	CITY OF WILDWOOD



Digitally signed by David A Stokes  
Date: 2025.04.24 15:25:42 -04'00'

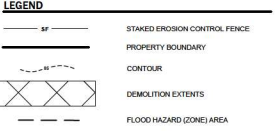
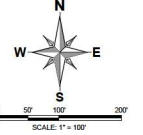
SUBMITTAL LOG		DATE	SUBMITTAL	BY
		10/23/2024	SUBDIVISION IMPROVEMENTS PLANS TO CITY	
		01/15/2025	SUBDIVISION IMPROVEMENT PLANS TO CITY	





END OF SINGLE ROW SILT FENCE  
START OF BSRF PRIORITY 2

START OF SINGLE ROW SILT FENCE  
END OF BSRF PRIORITY 2



- DEMOLITION NOTES**
1. TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL ON THIS SHEET)
  2. SINGLE STAKED SILT FENCE.
  3. WETLAND TO BE IMPACTED.
  4. WELL TO BE REMOVED.
  5. BUILDING & CONCRETE PADS TO BE DEMOLISHED.
  6. REMOVE FENCE.
  7. POWER POLES TO BE REMOVED.
  8. SHED & JUNK: (1) TO BE DEMOLISHED.
  9. TRANSFORMER TO BE REMOVED.
  10. REMOVE LIGHT.

- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
  2. THE TOP OF STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  3. ALL EXISTING INLETS LOCATED ON EXISTING ROAD TO HAVE INLET PROTECTION DURING CONSTRUCTION.
  4. ALL UNSPECIFIED SILT FENCE INSTALLED TO BE FOOT TYPE III BELTED SILT RETENTION FENCE PRIORITY 2 TO BE USED AROUND WETLAND AREAS.
  5. WATER TRUCK SHALL BE ONSITE DURING CONSTRUCTION TO KEEP DUST LEVEL AT A MINIMUM. (OR USE OTHER METHODOLOGY FOR DUST ABATEMENT/CONTROL APPROVED BY COUNTY)

MATCHLINE - SEE SHEET C004 FOR CONTINUATION

MATCHLINE - SEE SHEET C004 FOR CONTINUATION



**MADDEN ROADHEAD & STOKES, L.L.C.**  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 929-8830  
 C#E 0007723

**EROSION & DEMOLITION PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WEDDWOOD

**PF2 TWISTED SISTERS, LLC.**  
 780 SW PHILADELPHIA BLVD., SUITE 200  
 GAINESVILLE, FL 32609  
 (352) 734-9898

NO.	REVISIONS	DATE



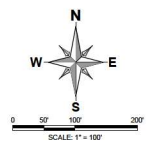
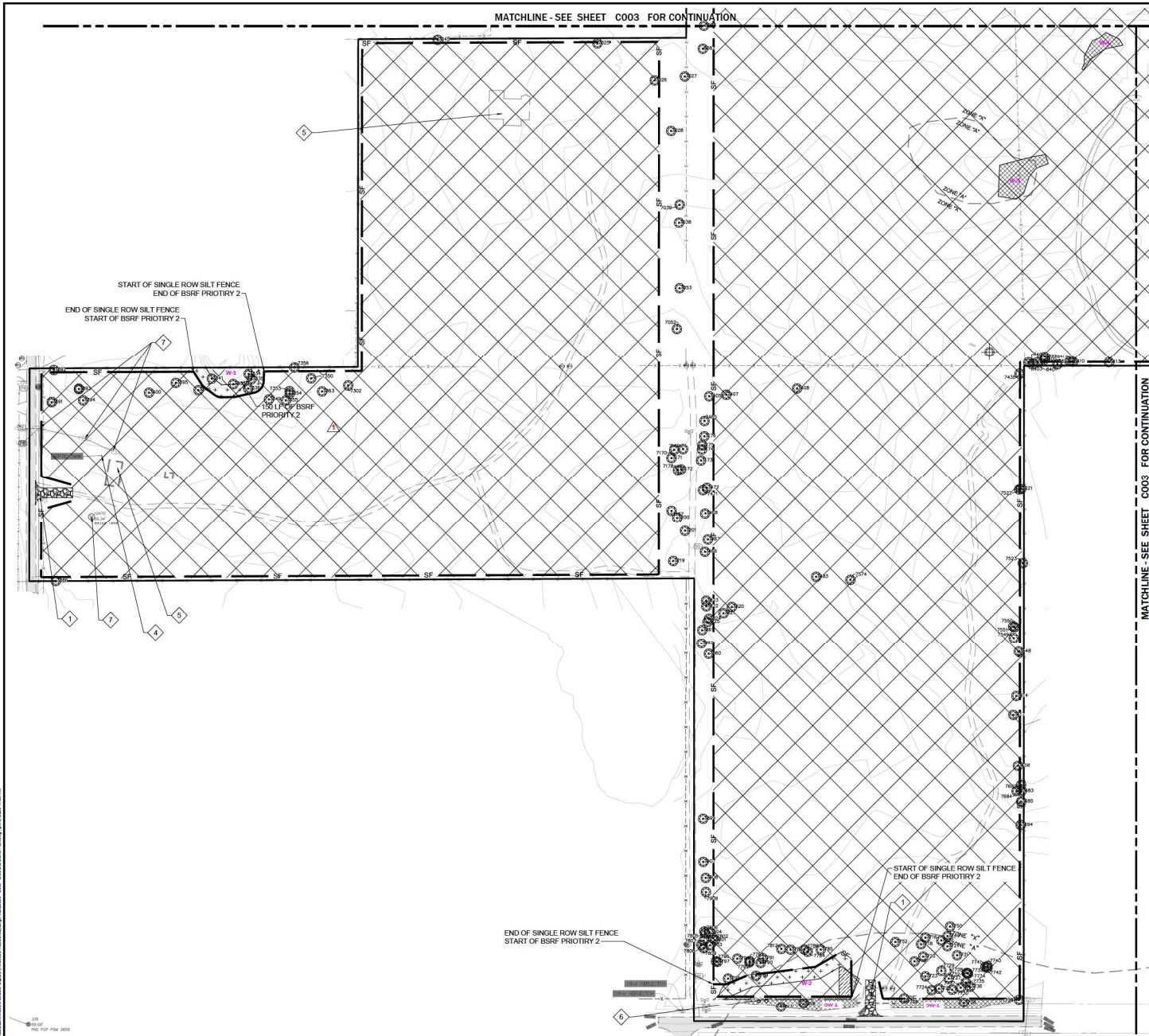
This plan has been prepared, drawn, and sealed by David Ashley Stokes, P.E. on the date adjacent to this seal.

Printed copies of this document are not authorized except as noted and the signature must be verified on any electronic copies.

Expiration of Record:

JOB # 230883  
 DATE: 10/18/24  
 DRAWN BY: NAVD/BB  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C003**



- LEGEND**
- STAKED EROSION CONTROL FENCE
  - PROPERTY BOUNDARY
  - CONTOUR
  - DEMOLITION EXTENTS
  - FLOOD HAZARD (ZONE) AREA

- DEMOLITION NOTES**
1. TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL ON THIS SHEET)
  2. SINGLE STAKED SILT FENCE.
  3. WETLAND TO BE IMPACTED.
  4. WELL/SEPTIC TANK TO BE REMOVED.
  5. BUILDING & CONCRETE PADS TO BE DEMOLISHED.
  6. REMOVE FENCE.
  7. POWER POLES TO BE REMOVED.
  8. SHELF & JUNK: 1:1 TO BE DEMOLISHED.
  9. TRANSFORMER TO BE REMOVED.
  10. REMOVE LIGHT.

- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
  2. THE TOP OF STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  3. ALL EXISTING INLETS LOCATED ON EXISTING ROAD TO HAVE INLET PROTECTION DURING CONSTRUCTION.
  4. ALL UNSPECIFIED SILT FENCE INSTALLED TO BE FOOT TYPE III, BELTED SILT RETENTION FENCE PRIORITY 2 TO BE USED AROUND WETLAND AREAS.
  5. WATER TRUCK SHALL BE ONSITE DURING CONSTRUCTION TO KEEP DUST LEVEL AT A MINIMUM. (OR USE OTHER METHODOLOGY FOR DUST ABATEMENT/CONTROL APPROVED BY COUNTY)

MATCHLINE - SEE SHEET C003 FOR CONTINUATION

**MADDEN**  
 ROADHEAD & STOKES, L.L.C.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 520-6530  
 CA# 0007723

**EROSION & DEMOLITION PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELWOOD

**PFD TWISTED SISTERS, LLC.**  
 785 SW PHILADELPHIA BLVD., SUITE 205  
 GAINESVILLE, FL 32609  
 (352) 734-2696

NO.	DATE	REVISIONS

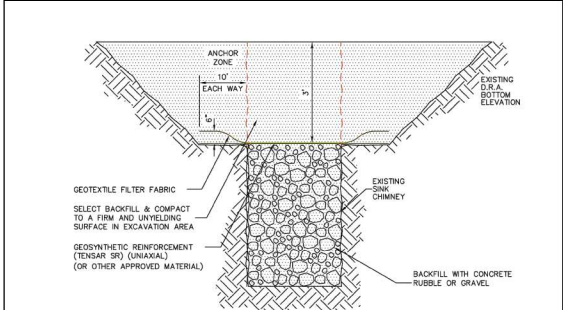


This plan has been digitally signed and sealed by David Ashley Stokes, PE in the state adjacent to this line.  
 Period copies of this document are not recommended signed and sealed and the signature must be verified on any electronic copies.  
 Date of Seal: 10/18/24

JOB #	23083
DATE:	10/18/24
DRAWN BY:	NAVD/BB
DESIGNED BY:	PR
DRAWN BY:	PR
APPROVED BY:	DAS

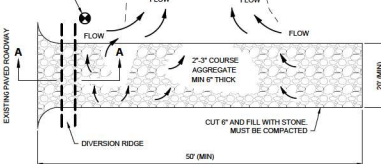
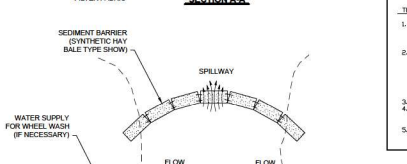
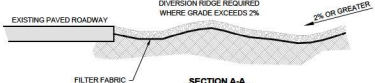
**C004**

C:\Users\DAshley\OneDrive\Documents\Projects\23083 - Boulder Square\Drawings\23083 - Boulder Square\23083 - Boulder Square.dwg 10/18/24 10:18 AM



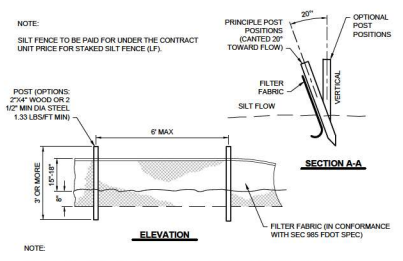
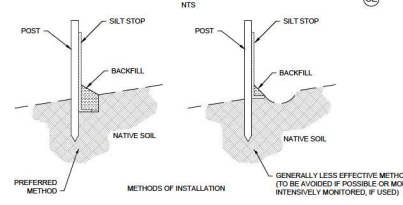
- NOTES:**
- IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
  - THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
  - THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF SINKHOLES OR SOLUTION PIPES.

**TYPICAL SINK CHIMNEY REPAIR DETAIL**  
N.T.S.

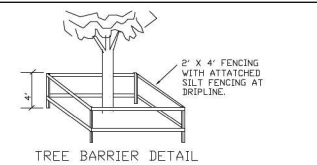


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STORM WATER SYSTEMS. THEY MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE INTO THE PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

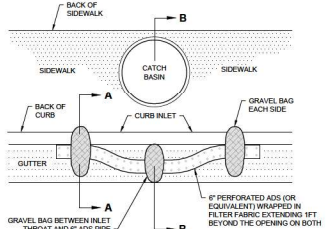
**TEMPORARY CONSTRUCTION ENTRANCE**  
N.T.S.



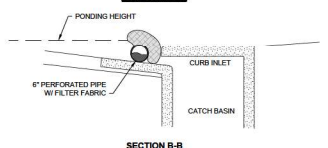
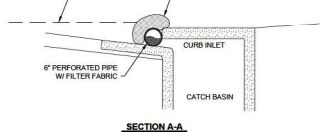
**STAKED EROSION CONTROL (SILT FENCE)**  
N.T.S.



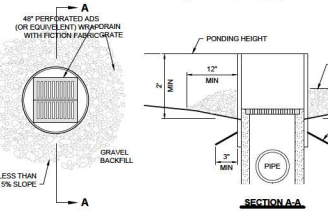
- TREE PROTECTION NOTES**
- DURING CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED BY THE SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTIVE BARRIERS SHALL BE ORIENTED PRIOR TO CONSTRUCTION OF ANY WORK.
  - BARRIERS SHALL CONSIST OF PROTECTIVE POSTS 1/4\"/>



**CURB INLET SEDIMENT BARRIER (INLET PROTECTION)**  
N.T.S.



**CURB INLET SEDIMENT BARRIER (INLET PROTECTION)**  
N.T.S.



- NOTES:**
- USE PIPE AND GRAVEL TYPE SEDIMENT BARRIER WHEN CURB INLET IS LOCATED IN SEPARATE GULLY/STREET SEGMENT, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SETTLE PRIOR TO RUNOFF.
  - BARRIER SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
  - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELLED WAY IMMEDIATELY.

**DROP INLET SEDIMENT BARRIER (INLET PROTECTION)**  
N.T.S.

- NOTES:**
- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
  - THE TOP OF STRUCTURE (PONDIING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT FLOWOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  - ALL EXISTING INLETS LOCATED ON EXISTING ROAD TO HAVE INLET PROTECTION DURING CONSTRUCTION.
  - ALL SILT FENCE INSTALLED (SINGLE OR DOUBLE) TO BE FOOT TYPE III.
  - WATER TRUCK SHALL BE ONSITE DURING CONSTRUCTION TO KEEP DUST LEVEL AT A MINIMUM (OR USE OTHER METHODOLOGY FOR DUST ABATEMENT/CONTROL APPROVED BY COUNTY).
  - IF CONTRACTOR PERFORMS ANY WORK 100 FT OF THE EXISTING WETLAND DOUBLE ROW SILT FENCE TO BE INSTALLED.

**FODS TRACKOUT CONTROL SYSTEM INSTALLATION GUIDE**

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A PAVED LANE AREA UNTO A PAVED SURFACE. THIS MANUAL IS A PLAIN LANGUAGE GUIDE TO HOW TO DESIGN A FODS TRACKOUT CONTROL SYSTEM. THIS IS NOT A ONE SIZE FITS ALL GUIDE. THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

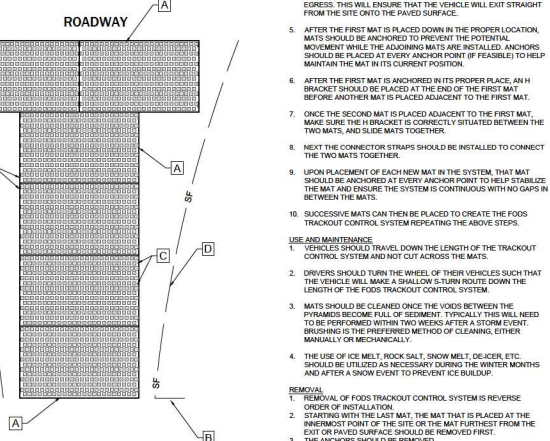
- INSTALLATION**
- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
  - CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
  - ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELLED OUT OR REMOVED SUCH AS LARGE ROCKS. LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
  - THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
  - AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
  - AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
  - ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
  - NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
  - UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN MATS.
  - SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

**USE AND MAINTENANCE**

- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
- DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
- MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
- THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DEICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

**REMOVAL**

- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
- STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE FURTHEST FRONT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
- THE ANCHORS SHOULD BE REMOVED.
- THE CONNECTOR STRAPS SHOULD BE UNBROKEN AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
- STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORK LIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.



**TYPICAL FODS TRACKOUT CONTROL SYSTEM LAYOUT**  
N.T.S.



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CAD 007723

EROSION & DEMOLITION DETAILS  
FOR  
**BOULDER SQUARE**  
CITY OF WELDWOOD

PDF TWISTED SISTERS, LLC  
750 0th PHILADELPHIA, PA 19106  
(480) 736-8976

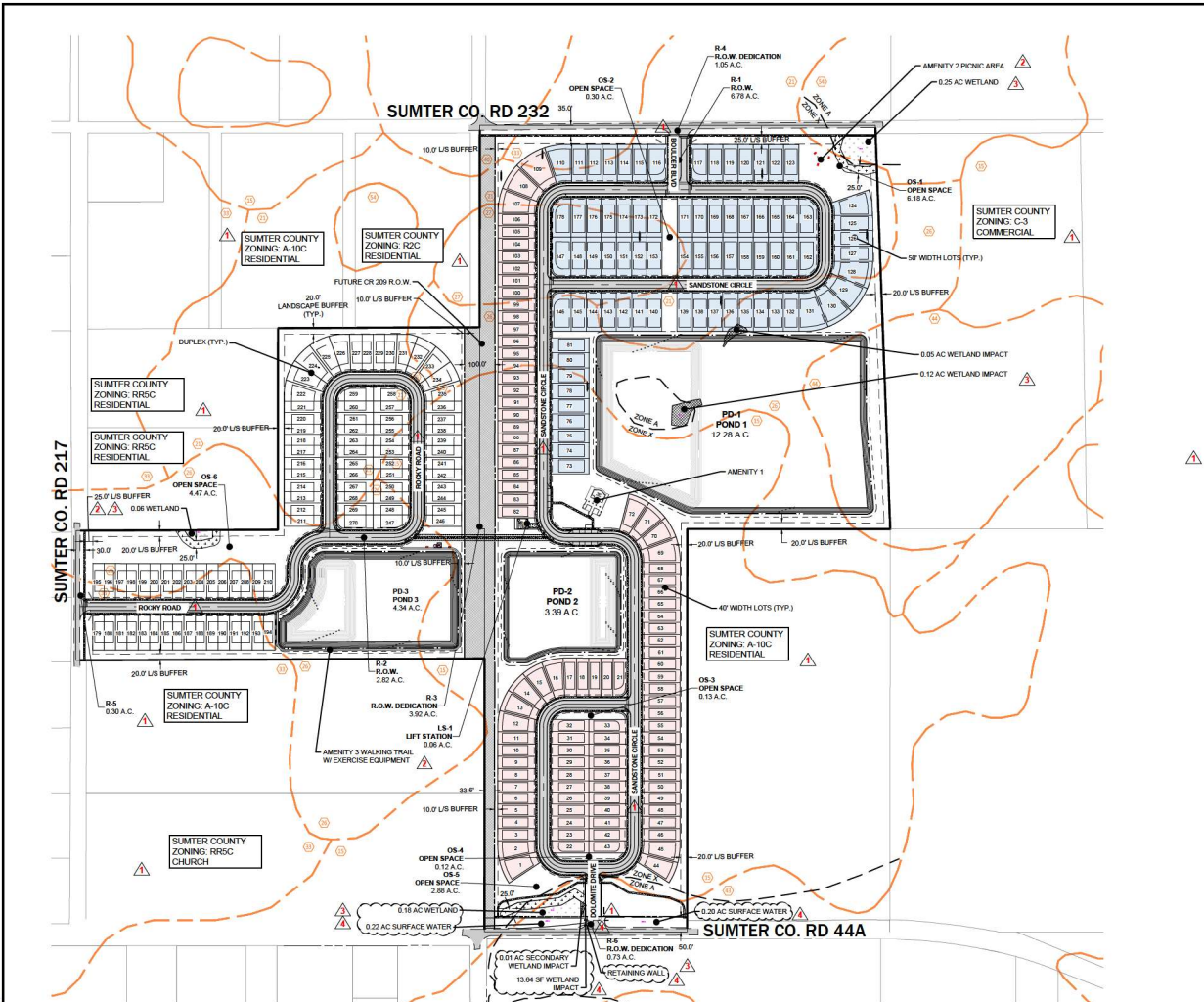
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JOB # 230983  
DATE: 10/18/24  
CATYAM: NADVO 88  
DESIGNED BY: PR  
DRAWN BY: DAS  
APPROVED BY: DAS

**C005**



LOT COUNT

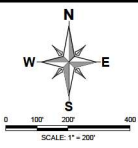
40'	= 100
50'	= 78
DUPLEX	= 52
TOTAL	= 270

SOILS LEGEND

SOL NUMBER	SOIL NAME
15	ADAMVILLE FINE SAND, BOULDERS SUBSURFACE
21	BAUGALLE FINE SAND, BOULDERS SUBSURFACE
26	VERO FINE SAND, BOULDERS SUBSURFACE
27	SANTERVILLE FINE SAND, BOULDERS SUBSURFACE, 04 PERCENT SLOPES
33	SPARR FINE SAND, BOULDERS SUBSURFACE, 04 PERCENT SLOPES
40	MELHOPPER SAND, BOULDERS SUBSURFACE, 04 PERCENT SLOPES
43	BAINGER FINE SAND, DEPRESSIONAL, 04 PERCENT SLOPES
44	OLDSMAR FINE SAND, BOULDERS SUBSURFACE
54	MONTECOHA FINE SAND, DEPRESSIONAL

SOURCE: USGS SOIL CONSERVATION SERVICE (SCS) & SUMTER COUNTY SOIL SURVEY REPORT

- SITE DATA**
- TOTAL PROJECT AREA:** 84.10 AC.
  - PROPOSED USE:** RESIDENTIAL - SINGLE FAMILY 270 DU 84.10 AC = 3.21 DU/AC
  - EXISTING USE:** RESIDENTIAL - SINGLE FAMILY PARCEL 06-19-23-G06-185: R-1 - VACANT PARCEL 06-19-23-G06-186: R-1 - VACANT PARCEL 06-19-23-G06-187: R-1 - VACANT PARCEL 01-19-22-F01A008: R-1 - VACANT PARCEL 01-19-22-F01-101: R-1 - VACANT
  - ZONING/FUTURE LAND USE:** R-1 LOW DENSITY RESIDENTIAL
  - BUILDING AREAS:** MINIMUM LIVING AREA = 750 SQ. FT.
  - MAX BUILDING HEIGHT:** 35' (2 STORIES)
  - LANDSCAPE BUFFERS:** ADJACENT TO CONSERVATION ADJACENT TO AGRICULTURE ADJACENT TO EX R.O.W. ADJACENT TO RESIDENTIAL  
 \*15' SIDEWALK REQUIRED WITHIN LS BUFFER
  - SETBACKS:** SINGLE FAMILY DETACHED FRONT 25' BACK 15' SIDE 5' MINIMUM LOT DEPTH 125' SINGLE FAMILY ATTACHED FRONT 25' BACK 25' MINIMUM BLDG SEPARATION 15' MINIMUM LOT DEPTH 125'
  - ACCORDING TO FIRM MAP PANEL NO. 12119C0131D DATED 09/27/2013, THIS PROPERTY CONTAINS PORTIONS OF A FLOOD ZONE 'A'. WHEREIN PORTIONS OF THE SITE ARE LOCATED WITHIN THE 100 YEAR FLOOD HAZARD AREA.
  - WATER & SEWER INCLUDING THE SANITARY LIFT STATION AND FORCE MAIN WILL BE DEDICATED TO CITY OF WILDOOD.
  - STORM RUNOFF GENERATED ON SITE SHALL BE FULLY RETAINED USING AN ON-SITE STORMWATER RETENTION SYSTEM.
  - ALL CONSTRUCTION MATERIALS AND OTHER PROPOSED IMPROVEMENTS SHALL MEET THE APPLICABLE CODES OF THE CITY OF WILDOOD.
  - A MANDATORY HOA SHALL BE CREATED TO PROVIDE FOR THE MANAGEMENT OF COMMON AREA AND FACILITIES.



**MADDEN**  
 ARCHITECTS & ENGINEERS, LLC  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 928-8330  
 CMA# 0007723

**SITE PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WILDOOD

**TRACT TABLE**

TRACT	USAGE	OWNERSHIP	AREA (AC.)	PERCENTAGE
R-1	RIGHT-OF-WAY	CITY OF WILDOOD	6.79	8.07%
R-2	RIGHT-OF-WAY	CITY OF WILDOOD	2.82	3.35%
R-3	RIGHT-OF-WAY DEDICATION	CITY OF WILDOOD	3.92	4.66%
R-4	RIGHT-OF-WAY DEDICATION	CITY OF WILDOOD	1.05	1.24%
R-5	RIGHT-OF-WAY DEDICATION	COUNTY	0.30	0.35%
R-6	RIGHT-OF-WAY DEDICATION	COUNTY	0.73	0.86%
PD-1	STORMWATER MANAGEMENT/OPEN SPACE	H.O.A.	12.26	14.60%
PD-2	STORMWATER MANAGEMENT/OPEN SPACE	H.O.A.	3.30	4.03%
PD-3	STORMWATER MANAGEMENT/OPEN SPACE	H.O.A.	4.34	5.16%
OS-1	OPEN SPACE	H.O.A.	6.18	7.35%
OS-2	OPEN SPACE	H.O.A.	0.30	0.35%
OS-3	OPEN SPACE	H.O.A.	0.13	0.15%
OS-4	OPEN SPACE	H.O.A.	0.12	0.14%
OS-5	OPEN SPACE	H.O.A.	2.88	3.42%
OS-6	OPEN SPACE	H.O.A.	4.47	5.31%
LS-1	LIFT STATION	CITY OF WILDOOD	0.07	0.08%
LOT AREA			34.35	40.85%
TOTAL SITE AREA			84.10	100.00%

**PFD TWISTED SISTERS, LLC.**  
 785 DR. PHILLIPS BLVD. SUITE 205  
 AUSTIN, TEXAS 78748

**DATE** \_\_\_\_\_  
**REVISIONS**

NO.	DATE	DESCRIPTION

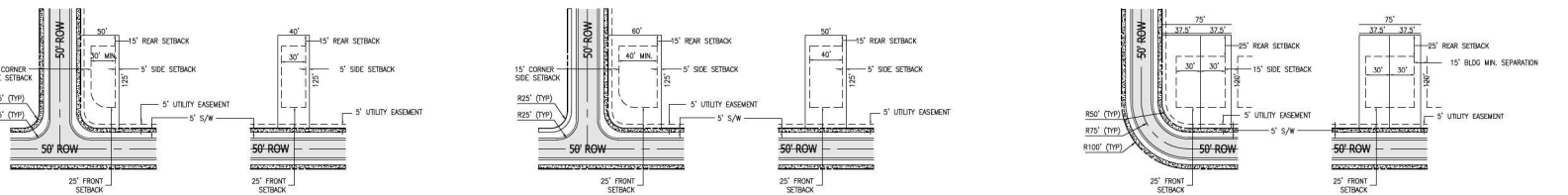
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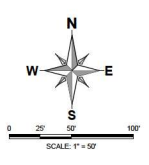
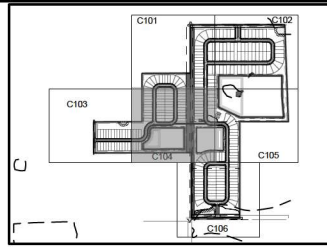
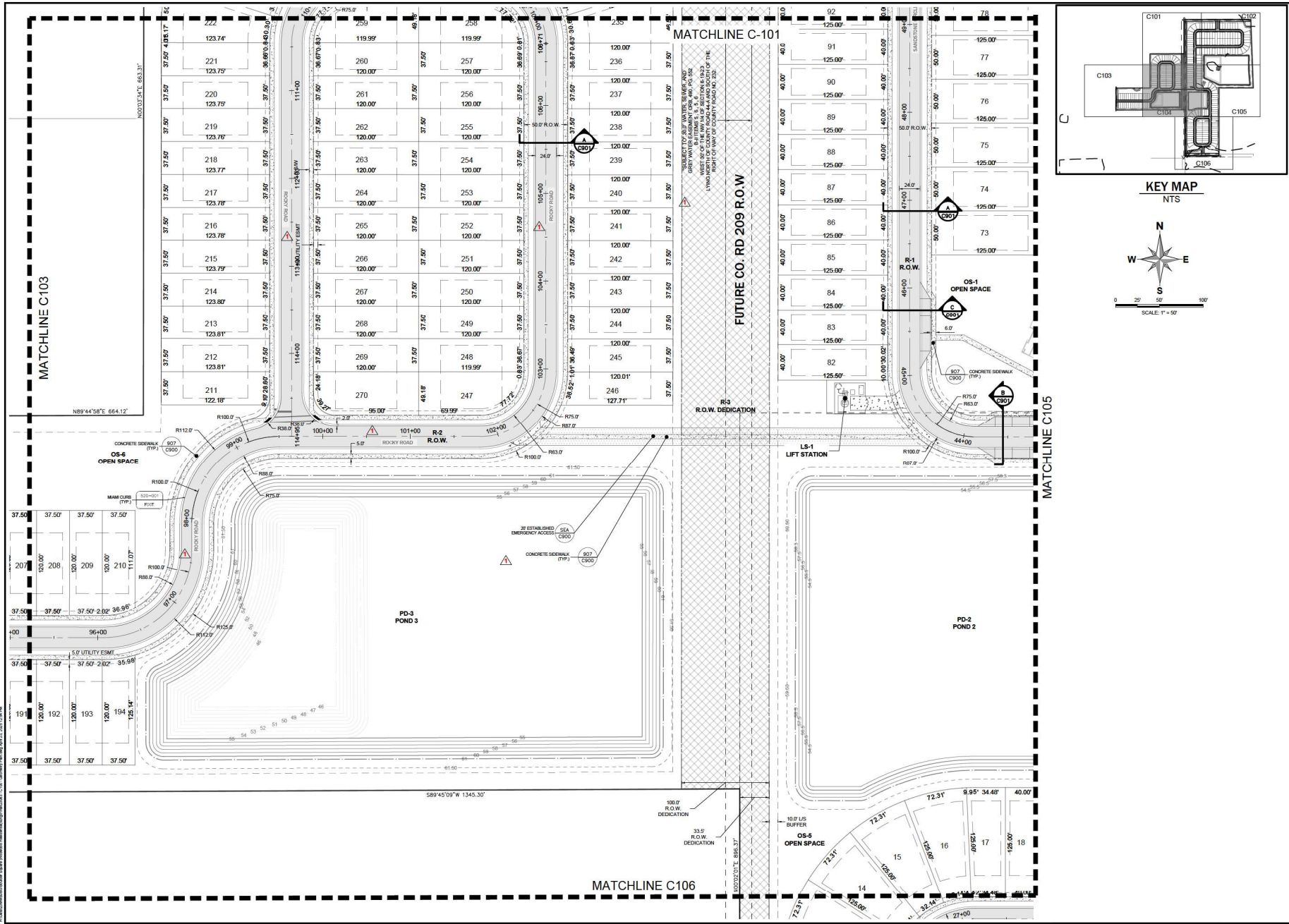


TYPICAL CORNER 40' LOT DIAGRAM  
 TYPICAL 40' LOT DIAGRAM  
 TYPICAL CORNER 50' LOT DIAGRAM  
 TYPICAL 50' LOT DIAGRAM  
 TYPICAL CORNER 75' LOT DUPLEX DIAGRAM  
 TYPICAL 75' LOT DUPLEX DIAGRAM









**MADDEN**  
 ROBERTSON & STOKES, L.L.C.  
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**GEOMETRY PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD, FLORIDA

**PFD TWISTED SISTERS, LLC.**  
 785 PHILADELPHIA BLVD., SUITE 200  
 ORLANDO, FLORIDA 32809  
 (407) 734-9898

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**C104**

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23083	10/18/24	PR	PR	DAS



MATCHLINE C-104

MATCHLINE C-105

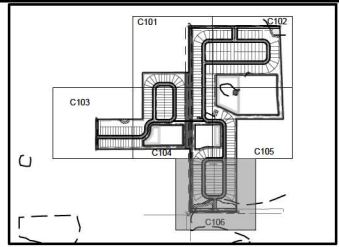
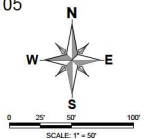
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SUMTER CO. RD 44A

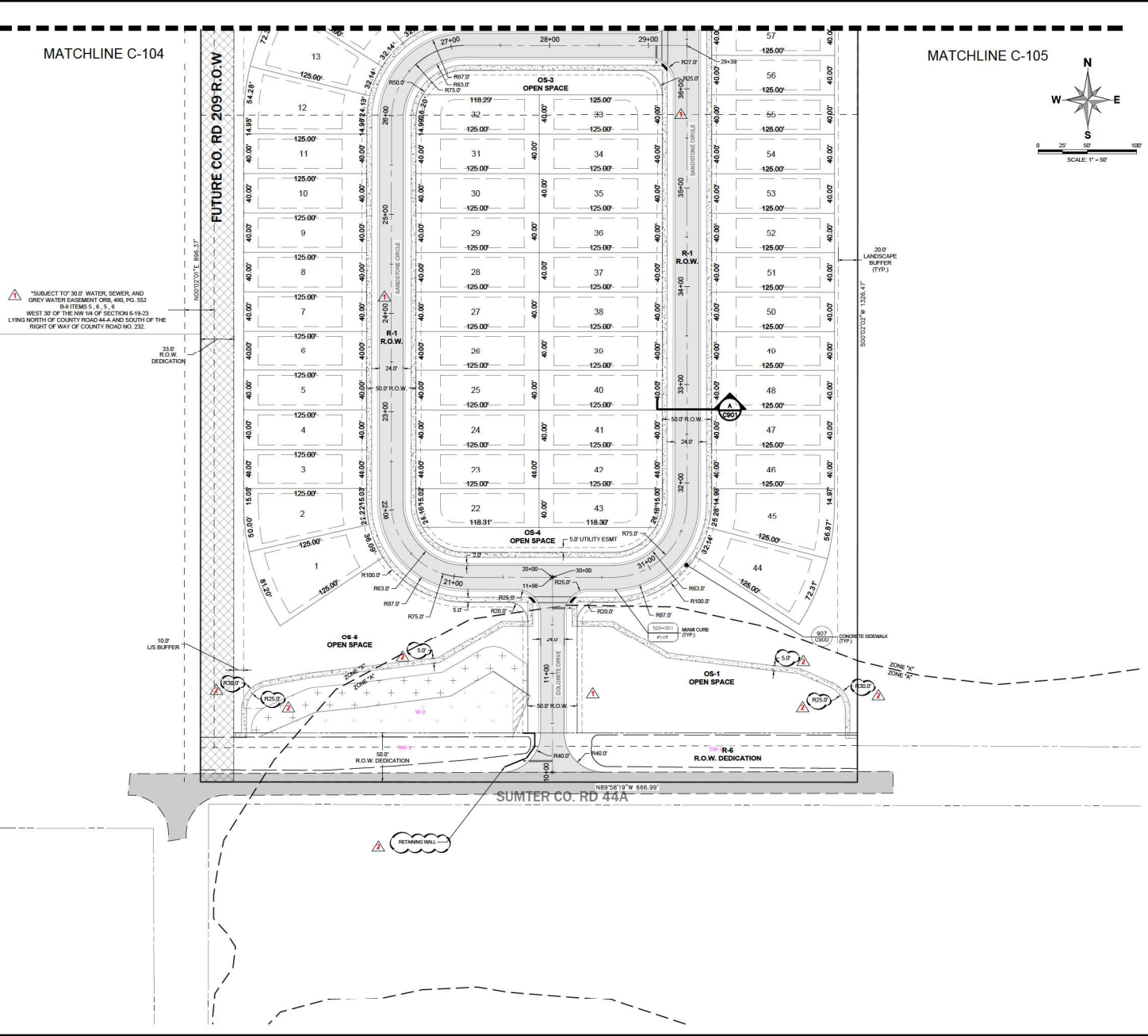
INDUSTRIAL E. 895.37'

10.0' US BUFFER

33.0' R.O.W. DEDICATION



KEY MAP  
NTS



**MADDEN**  
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431 E. Horatio Avenue  
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(407) 520-6130  
CA# 0007723

GEOMETRY PLAN  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
785 SW PHILADELPHIA BLVD. SUITE 205  
DADE COUNTY, FL 33149  
(407) 734-9498

NO.	DESCRIPTION OF ALL AMENDMENTS AND REVISIONS	DATE	REVISIONS

PROFESSIONAL SEAL OF  
**DENNIS J. ASHLEY, P.E.**  
NO. 66527  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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JOB # 23083  
DATE: 10/18/24  
DRAWN BY: NAVD/BB  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C106**



MASTER UTILITY PLAN FOR BOULDER SQUARE CITY OF WELWOOD

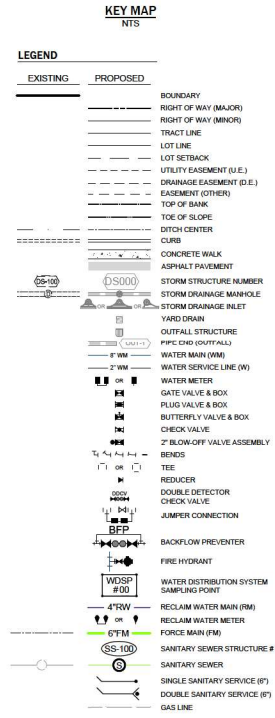
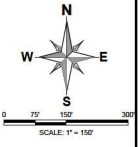
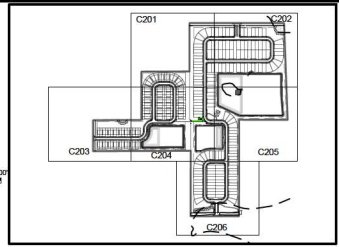
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Revision table with columns for NO., DATE, and REVISIONS



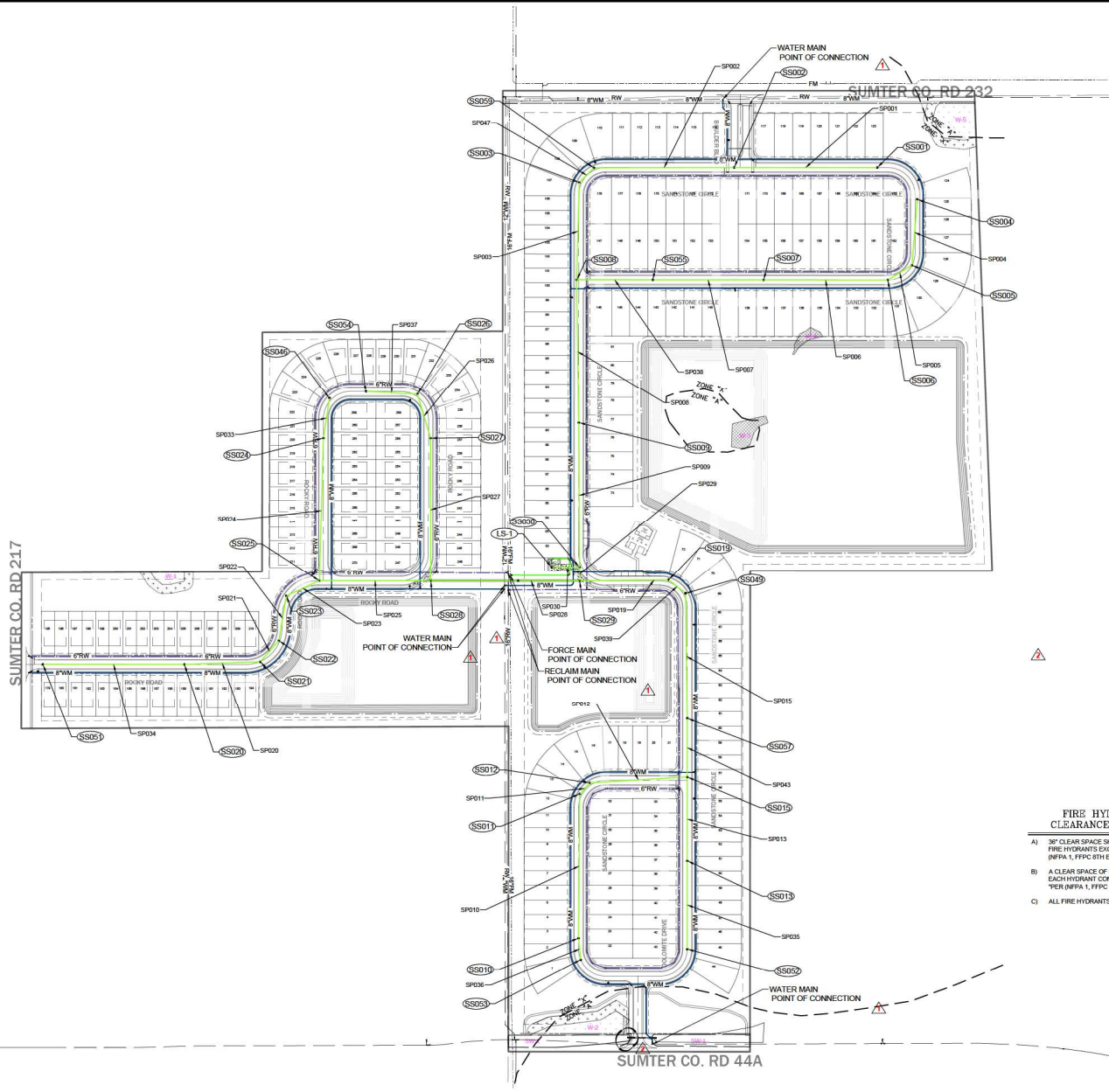
PROJECT # 230083 DATE: 10/18/24 DWTM: NAVD 88 DESIGNED BY: PR DRAWN BY: PR APPROVED BY: DAS

C200



FIRE HYDRANT CLEARANCE DETAIL
A) 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT AS OTHERWISE ACQUIRED OR APPROVED.
B) A CLEAR SPACE OF NOT LESS THAN 60" SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2.5".
C) ALL FIRE HYDRANTS TO BE OUT OF ALL SIDEWALKS

Table with columns: HAZARD, HORIZONTAL SEPARATION, VERTICAL SEPARATION (WATER ABOVE, WATER BELOW), JOINT SPACING



SUMTER CO. RD 217

SUMTER CO. RD 44A

Vertical text on the left margin







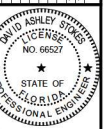


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**UTILITY PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD, FLORIDA

**PF2 TWISTED SISTERS, LLC.**  
 780 PHILIP BLVD. SUITE 200  
 ORLANDO, FLORIDA 32809  
 (407) 734-9999

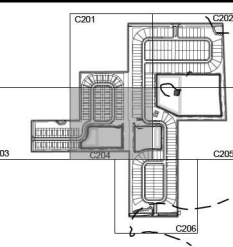
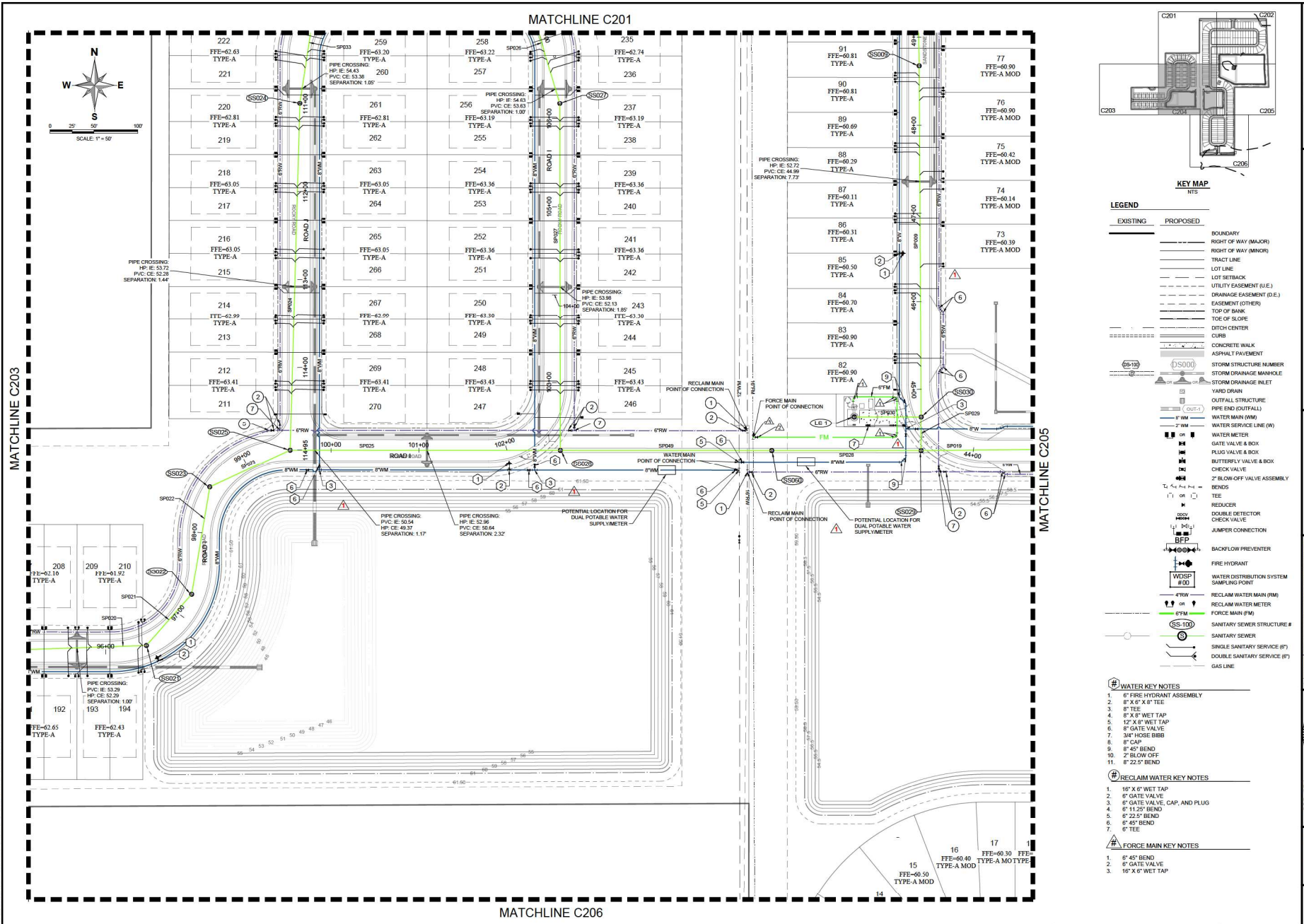
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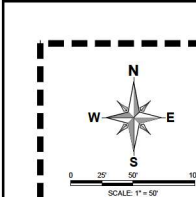
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 DATE: 10/18/24  
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 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

C204



EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	TOP OF BANK
---	---	TOE OF SLOPE
---	---	DITCH CENTER
---	---	CURB
---	---	CONCRETE WALK
---	---	ASPHALT PAVEMENT
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	WATER MAIN (WM)
---	---	WATER SERVICE LINE (W)
---	---	WATER METER
---	---	GATE VALVE & BOX
---	---	PLUG VALVE & BOX
---	---	BUTTERFLY VALVE & BOX
---	---	CHECK VALVE
---	---	2" BLOW-OFF VALVE ASSEMBLY
---	---	BENDS
---	---	TEE
---	---	REDUCER
---	---	DOUBLE DETECTOR
---	---	CHECK VALVE
---	---	JUMPER CONNECTION
---	---	BFP
---	---	BACKFLOW PREVENTER
---	---	FIRE HYDRANT
---	---	WATER DISTRIBUTION SYSTEM SAMPLING POINT
---	---	RECLAIM WATER MAIN (RM)
---	---	RECLAIM WATER METER
---	---	FORCE MAIN (FM)
---	---	SANITARY SEWER STRUCTURE #
---	---	SANITARY SEWER
---	---	SINGLE SANITARY SERVICE (S)
---	---	DOUBLE SANITARY SERVICE (D)
---	---	GAS LINE

- WATER KEY NOTES**
1. 6" FIRE HYDRANT ASSEMBLY
  2. 8" X 8" X 8" TEE
  3. 8" TEE
  4. 8" X 8" WET TAP
  5. 12" X 8" WET TAP
  6. 8" GATE VALVE
  7. 3/4" HOSE BIBB
  8. 8" CAP
  9. 8" 45° BEND
  10. 2" BLOW OFF
  11. 8" 22.5° BEND
- RECLAIM WATER KEY NOTES**
1. 16" X 6" WET TAP
  2. 6" GATE VALVE
  3. 6" GATE VALVE, CAP, AND PLUG
  4. 6" 11.25° BEND
  5. 6" 22.5° BEND
  6. 6" 45° BEND
  7. 6" TEE
- FORCE MAIN KEY NOTES**
1. 8" 45° BEND
  2. 6" GATE VALVE
  3. 16" X 6" WET TAP



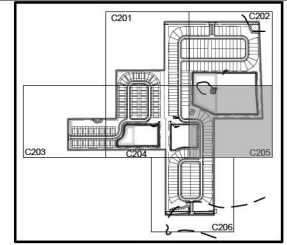
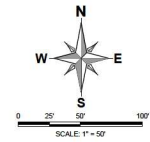
MATCHLINE C203

MATCHLINE C205

MATCHLINE C201

MATCHLINE C206

MATCHLINE C202

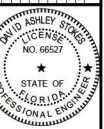


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Suite 200  
Maitland, Florida 32751  
(407) 820-8330  
CA# 0007723

UTILITY PLAN  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

PFD TWISTED SISTERS, LLC  
781 SW PHILADELPHIA BLVD. SUITE 200  
ORLANDO, FLORIDA 32839  
(407) 734-0898

NO.	DATE	REVISIONS



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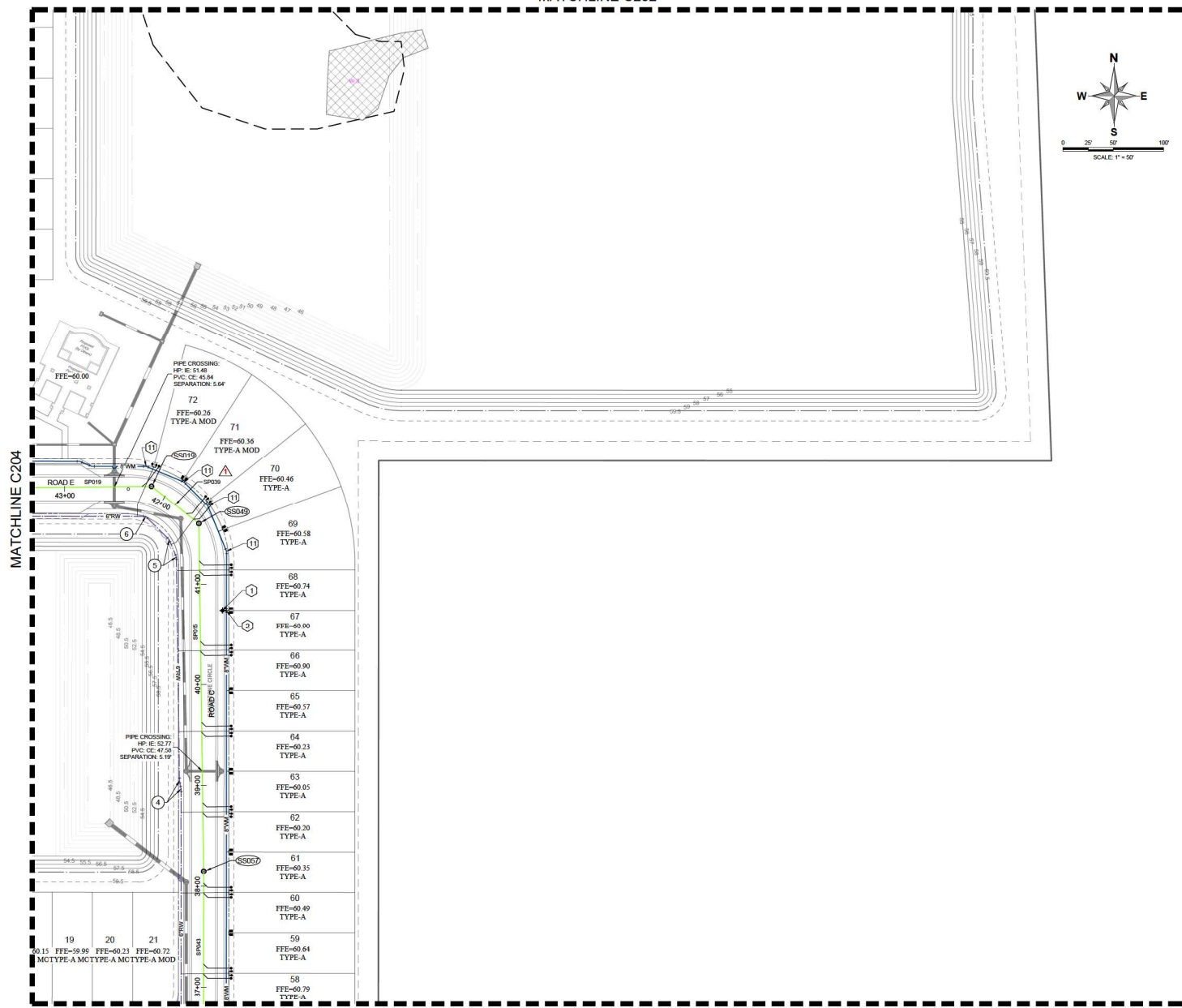
JOB # 23083  
DATE 10/18/24  
DRAWN BY NAVD/BB  
DESIGNED BY PR  
DRAWN BY PR  
APPROVED BY DAS

C205

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	TOP OF BANK
---	---	TIE OF SLOPE
---	---	DITCH CENTER
---	---	CURB
---	---	CONCRETE WALK
---	---	ASPHALT PAVEMENT
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	WATER MAIN (WM)
---	---	WATER SERVICE LINE (W)
---	---	WATER METER
---	---	GATE VALVE & BOX
---	---	PLUG VALVE & BOX
---	---	BUTTERFLY VALVE & BOX
---	---	CHECK VALVE
---	---	2" FLOW-OFF VALVE ASSEMBLY
---	---	BENDS
---	---	TEE
---	---	REDUCER
---	---	DOUBLE DETECTOR
---	---	CHECK VALVE
---	---	JUMPER CONNECTION
---	---	BACKFLOW PREVENTER
---	---	FIRE HYDRANT
---	---	WATER DISTRIBUTION SYSTEM SAMPLING POINT
---	---	RECLAIM WATER METER (RM)
---	---	RECLAIM WATER METER FORCE MAIN (FM)
---	---	6" FM
---	---	SANITARY SEWER STRUCTURE #
---	---	SANITARY SEWER
---	---	SINGLE SANITARY SERVICE (S)
---	---	DOUBLE SANITARY SERVICE (D)
---	---	GAS LINE

- WATER KEY NOTES**
- 6" FIRE HYDRANT ASSEMBLY
  - 8" X 8" X 8" TEE
  - 8" TEE
  - 8" X 8" WET TAP
  - 12" X 8" WET TAP
  - 8" GATE VALVE
  - 3/4" HOSE BIBB
  - 8" CAP
  - 8" 45° BEND
  - 2" BLOW OFF
  - 8" 22.5° BEND
- RECLAIM WATER KEY NOTES**
- 16" X 6" WET TAP
  - 6" GATE VALVE
  - 6" GATE VALVE, CAP, AND PLUG
  - 6" 11.25° BEND
  - 6" 22.5° BEND
  - 6" 45° BEND
  - 6" TEE
- FORCE MAIN KEY NOTES**
- 8" 45° BEND
  - 6" GATE VALVE
  - 16" X 6" WET TAP

MATCHLINE C204

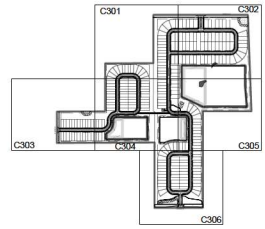
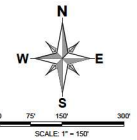
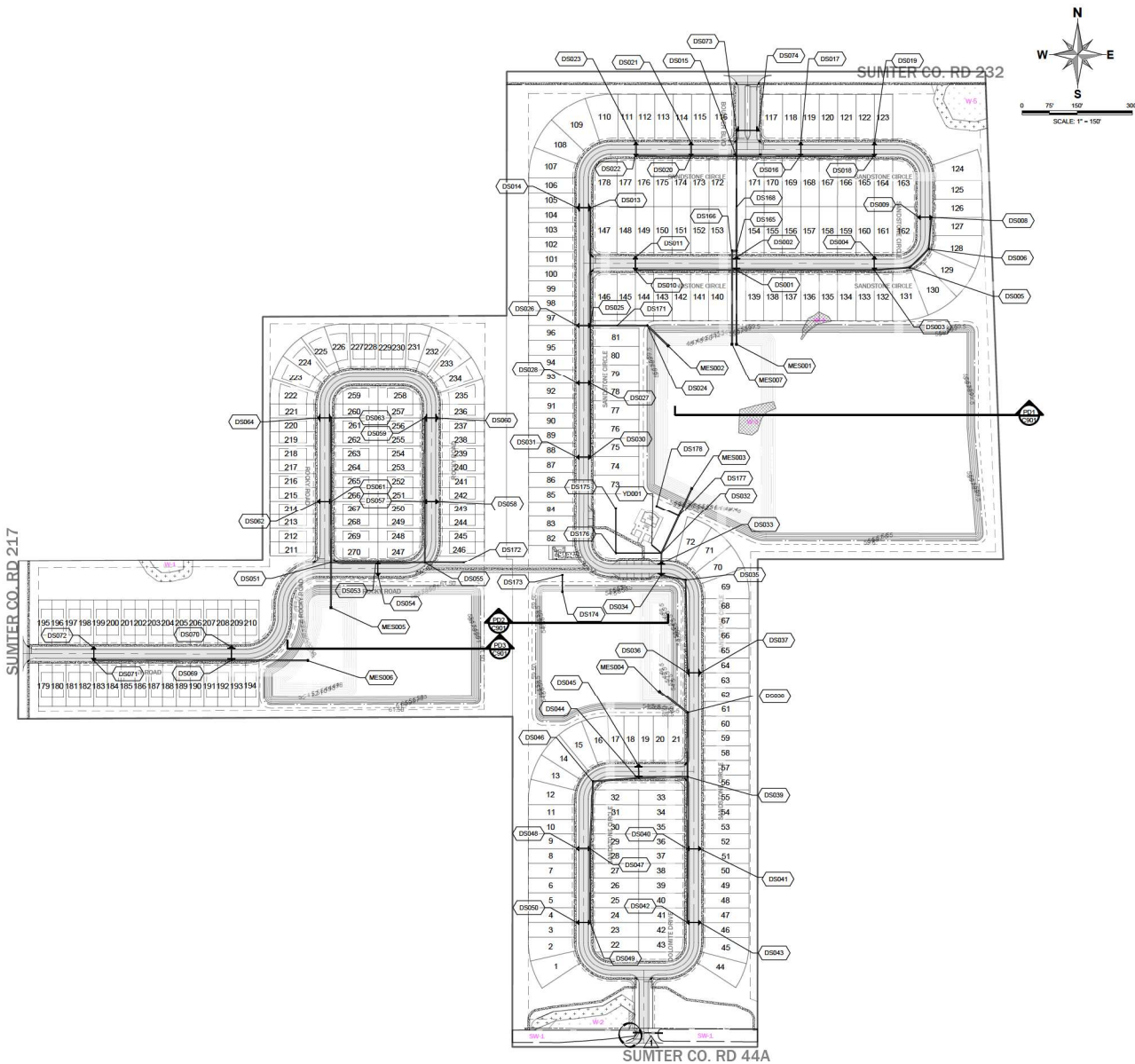


MATCHLINE C206

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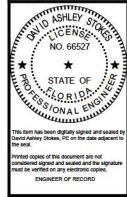
- KEY MAP**  
NTS
- | EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| ---      | ---      | BOUNDARY                  |
| ---      | ---      | RIGHT OF WAY (MAJOR)      |
| ---      | ---      | RIGHT OF WAY (MINOR)      |
| ---      | ---      | TRACT LINE                |
| ---      | ---      | LOT LINE                  |
| ---      | ---      | LOT SETBACK               |
| ---      | ---      | UTILITY EASEMENT (U.E.)   |
| ---      | ---      | DRAINAGE EASEMENT (D.E.)  |
| ---      | ---      | EASEMENT (OTHER)          |
| ---      | ---      | CURB                      |
| ---      | ---      | CURBS AND GUTTER          |
| ---      | ---      | MAJOR CURB                |
| ---      | ---      | CONCRETE WALK             |
| ---      | ---      | SPOT ELEVATION            |
| ---      | ---      | ROAD ELEVATION            |
| ---      | ---      | CONTOUR (MAJOR)           |
| ---      | ---      | CONTOUR (MINOR)           |
| ---      | ---      | DIRECTION OF SURFACE FLOW |
| ---      | ---      | NORMAL WATER LEVEL        |
| ---      | ---      | SEASON HIGH WATER LEVEL   |
| ---      | ---      | POND MAINTENANCE BERM     |
| ---      | ---      | STORM STRUCTURE NUMBER    |
| ---      | ---      | STORM DRAINAGE MANHOLE    |
| ---      | ---      | STORM DRAINAGE INLET      |
| ---      | ---      | OUTFALL STRUCTURE         |
| ---      | ---      | PIPE END (OUTFALL)        |

**MADDEN**  
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CA# 0007723

**MASTER DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

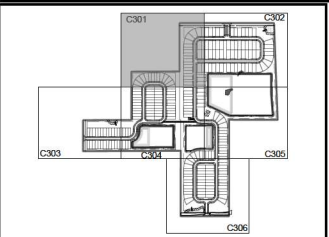
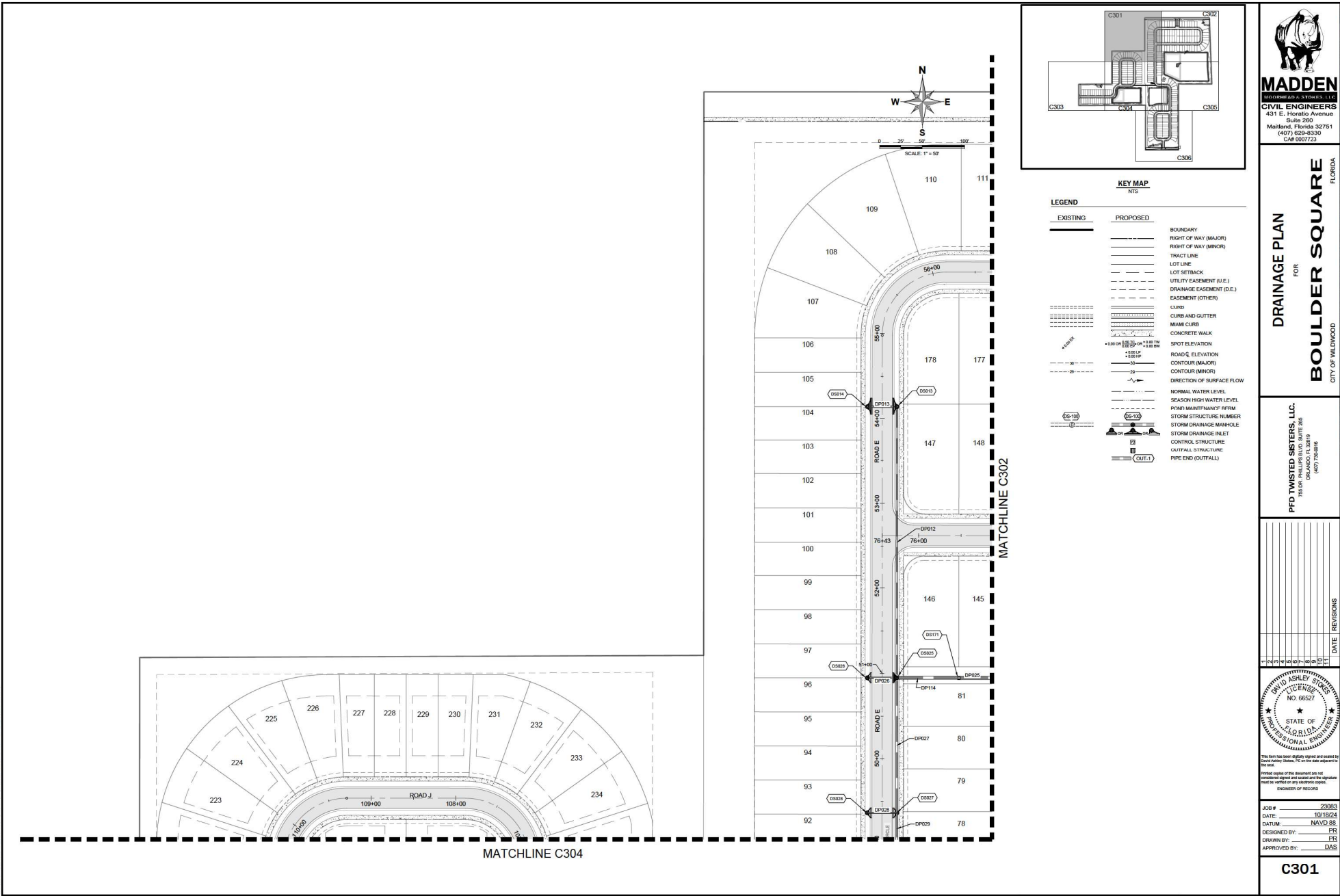
**PF D TWISTED SISTERS, LLC**  
CIVIL ENGINEERS  
785 SW PHILLIPS BLVD., SUITE 205  
DADE CITY, FL 34608  
(407) 734-9898

NO.	REVISIONS	DATE



Job # 23083  
DATE: 10/18/24  
DWTM: NAVD88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C300**



EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	BOUNDARY
(Symbol)	(Symbol)	RIGHT OF WAY (MAJOR)
(Symbol)	(Symbol)	RIGHT OF WAY (MINOR)
(Symbol)	(Symbol)	TRACT LINE
(Symbol)	(Symbol)	LOT LINE
(Symbol)	(Symbol)	LOT SETBACK
(Symbol)	(Symbol)	UTILITY EASEMENT (U.E.)
(Symbol)	(Symbol)	DRAINAGE EASEMENT (D.E.)
(Symbol)	(Symbol)	EASEMENT (OTHER)
(Symbol)	(Symbol)	CURBS
(Symbol)	(Symbol)	CURBS AND GUTTER
(Symbol)	(Symbol)	MAMI CURB
(Symbol)	(Symbol)	CONCRETE WALK
(Symbol)	(Symbol)	SPOT ELEVATION
(Symbol)	(Symbol)	ROAD ELEVATION
(Symbol)	(Symbol)	CONTOUR (MAJOR)
(Symbol)	(Symbol)	CONTOUR (MINOR)
(Symbol)	(Symbol)	DIRECTION OF SURFACE FLOW
(Symbol)	(Symbol)	NORMAL WATER LEVEL
(Symbol)	(Symbol)	SEASON HIGH WATER LEVEL
(Symbol)	(Symbol)	POPE'S MAIN/FAN/PT RIP/RM
(Symbol)	(Symbol)	STORM STRUCTURE NUMBER
(Symbol)	(Symbol)	STORM DRAINAGE MANHOLE
(Symbol)	(Symbol)	STORM DRAINAGE INLET
(Symbol)	(Symbol)	CONTROL STRUCTURE
(Symbol)	(Symbol)	OUTFALL STRUCTURE
(Symbol)	(Symbol)	PIPE END (OUTFALL)

**MADDEN**  
ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 528-8330  
CA# 0007723

**DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
780 PHILIPS BLVD. SUITE 205  
ORLANDO, FLORIDA 32838  
(407) 734-0808

NO.	DATE	REVISIONS

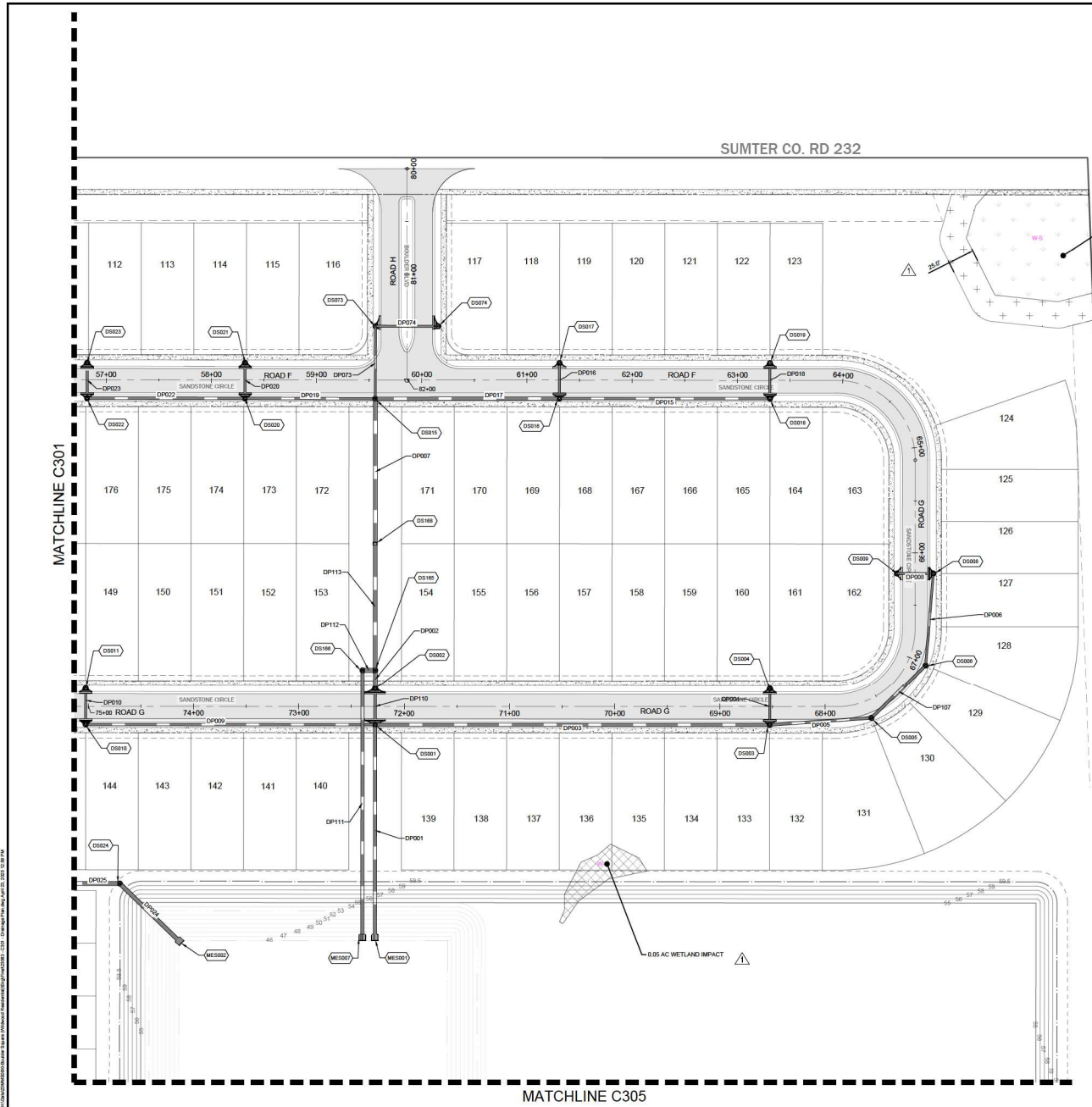
ASHLEY S. STOKES  
NO. 66527  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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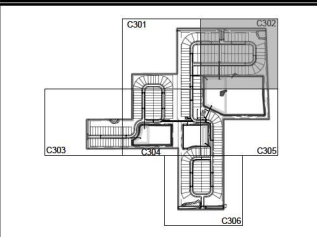
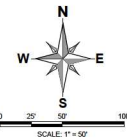
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JOB #	230883
DATE:	10/18/24
DRAWN BY:	NAVD/BB
DESIGNED BY:	PR
CHECKED BY:	PR
APPROVED BY:	DAS

**C301**



SUMTER CO. RD 232



**KEY MAP**  
NTS

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURBS
---	---	CURBS AND GUTTER
---	---	MAIUM CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POPE'S MAINFRANK RIFPM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)

**MADDEN & STOKES, L.L.C.**  
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(407) 920-8330  
CA# 0007723

**DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELWOOD

**PFD TWISTED SISTERS, LLC.**  
780 SW PHILADELPHIA BLVD., SUITE 200  
DADE COUNTY, FLORIDA 33136  
(407) 734-9818

NO.	DATE	REVISIONS

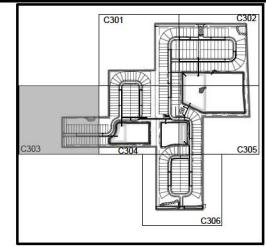
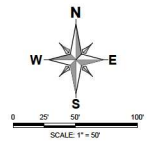
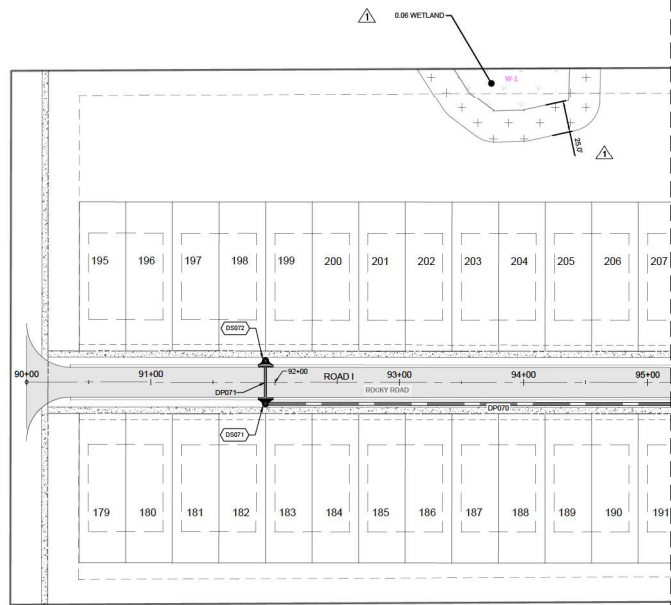
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JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C302**

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SUMTER CO. RD 217



**KEY MAP**  
NTS

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MIAMI CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POH# MAINT/MANHOLE RIFPM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)

**MADDEN**  
KOBARHEAD & STOKES, L.L.C.  
CIVIL ENGINEERS  
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Suite 200  
Maitland, Florida 32751  
(407) 920-8630  
CAF 0007723

**DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WILDWOOD

**PFD TWISTED SISTERS, LLC.**  
785 SW PHILADELPHIA BLVD. SUITE 200  
ORLANDO, FLORIDA 32809  
(407) 734-9898

NO.	REVISIONS	DATE



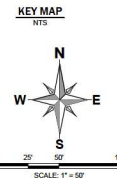
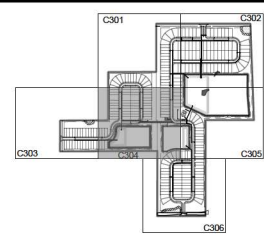
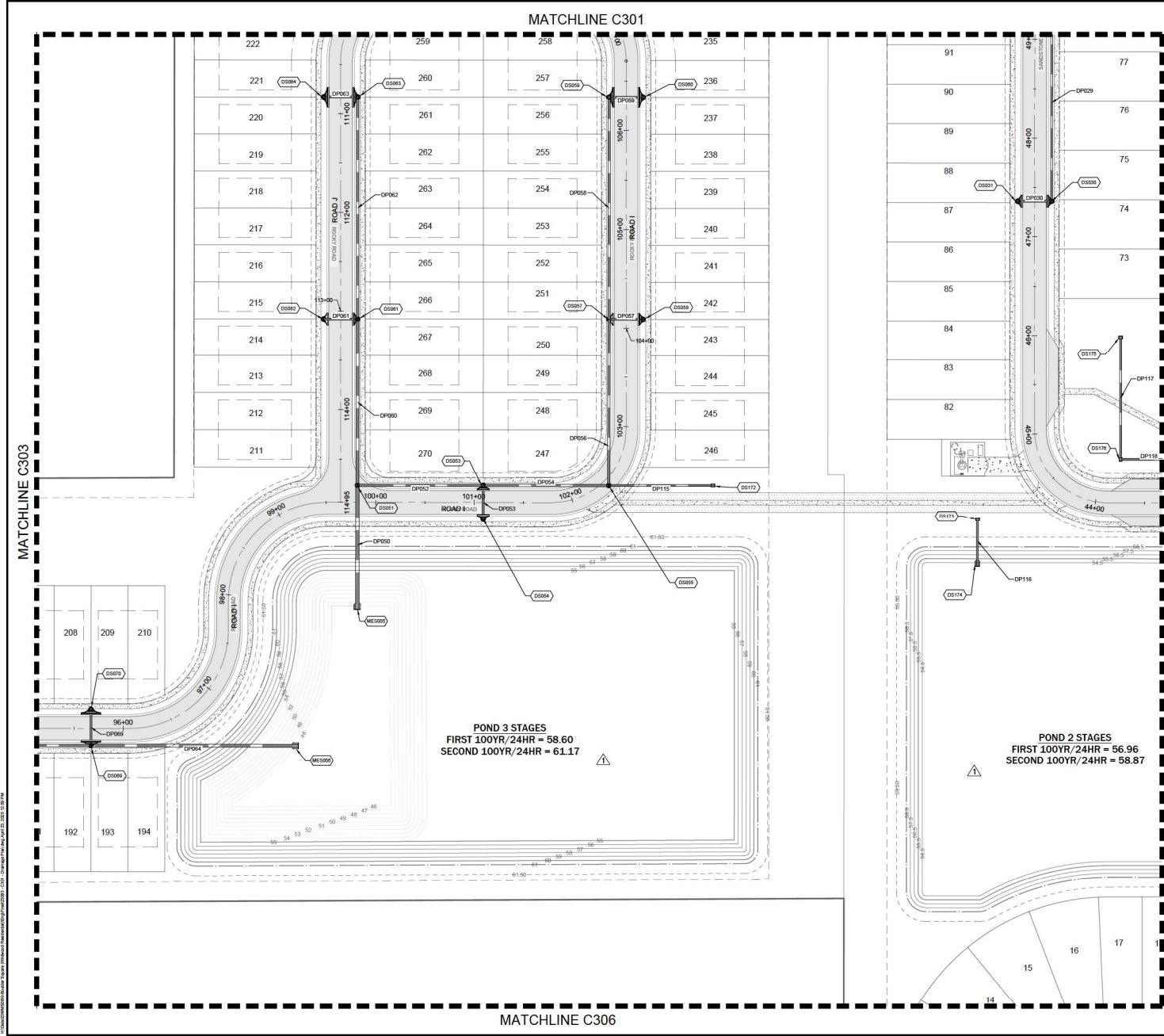
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JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD 88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C303**



- LEGEND**
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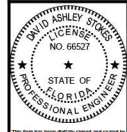


**MADDEN**  
ENGINEERS & SURVEYS, L.L.C.  
**CIVIL ENGINEERS**  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 520-6530  
CFL 0007723

**DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD, FLORIDA

**PF2 TWISTED SISTERS, LLC.**  
780 SW PHILADELPHIA BLVD. SUITE 205  
DADE COUNTY, FLORIDA 33136  
(407) 734-0909

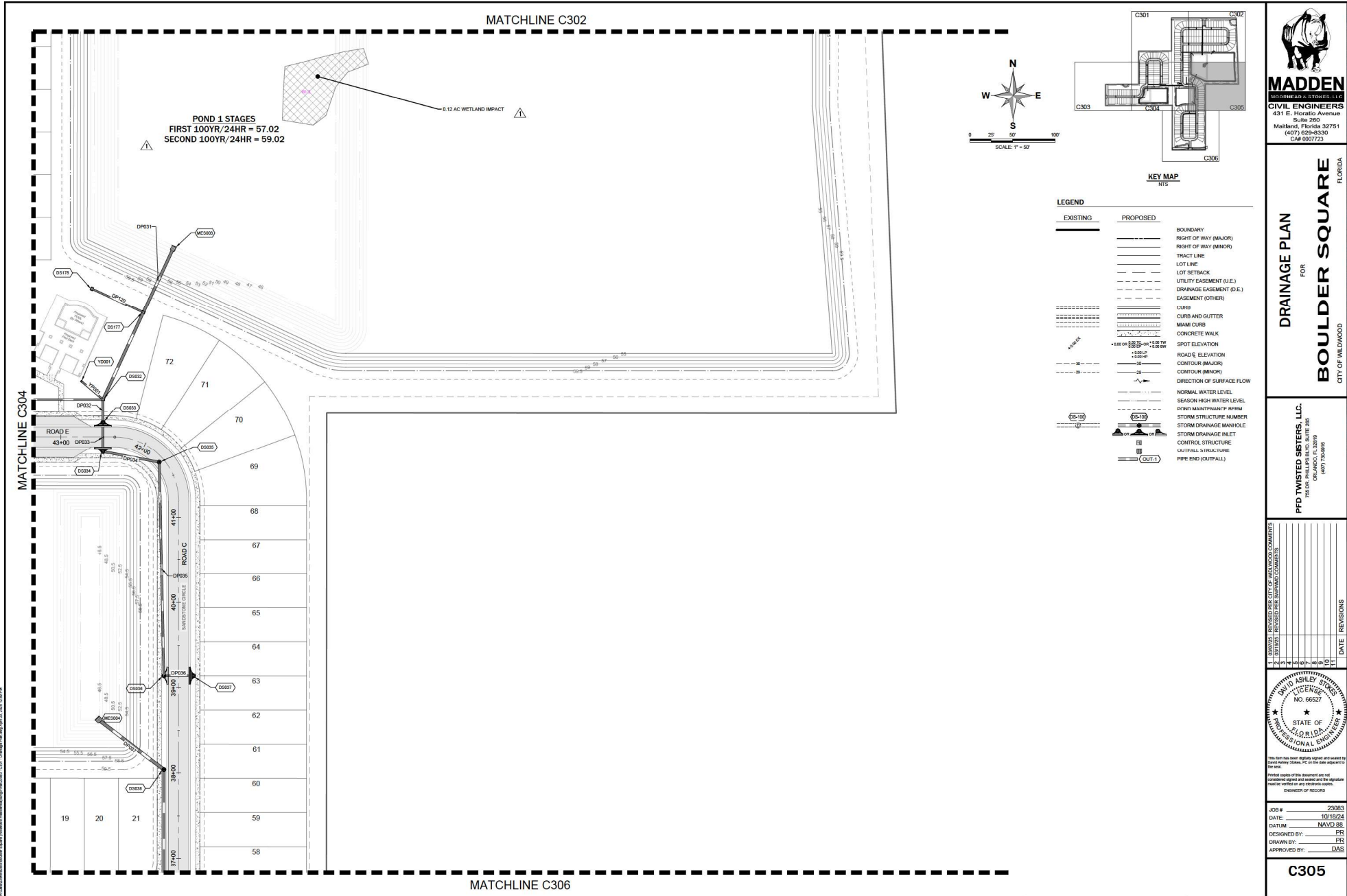
NO.	DATE	REVISIONS



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JOB # 23083  
DATE: 10/18/24  
DRAWN BY: NAVD/BB  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C304**



**MADDEN**  
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CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 920-8830  
CA# 0007723

**DRAINAGE PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WILDWOOD

**PFD TWISTED SISTERS, LLC.**  
780 SW PHILADELPHIA BLVD. SUITE 200  
DADE COUNTY, FL 33136  
(407) 734-0918

NO.	DATE	REVISIONS
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EXPIRES ON 10/31/25

JOB #	DATE	DESIGNED BY	DRAWN BY	APPROVED BY
230883	10/18/24	NAVJ/SB	PR	DAS

**C305**





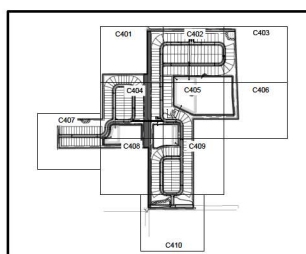
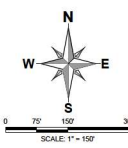
NO.	DATE	REVISIONS
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DAVID TWISTED SISTERS  
 NO. 66527  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

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 Date of record:

JOB # 23083  
 DATE: 10/18/24  
 DATUM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

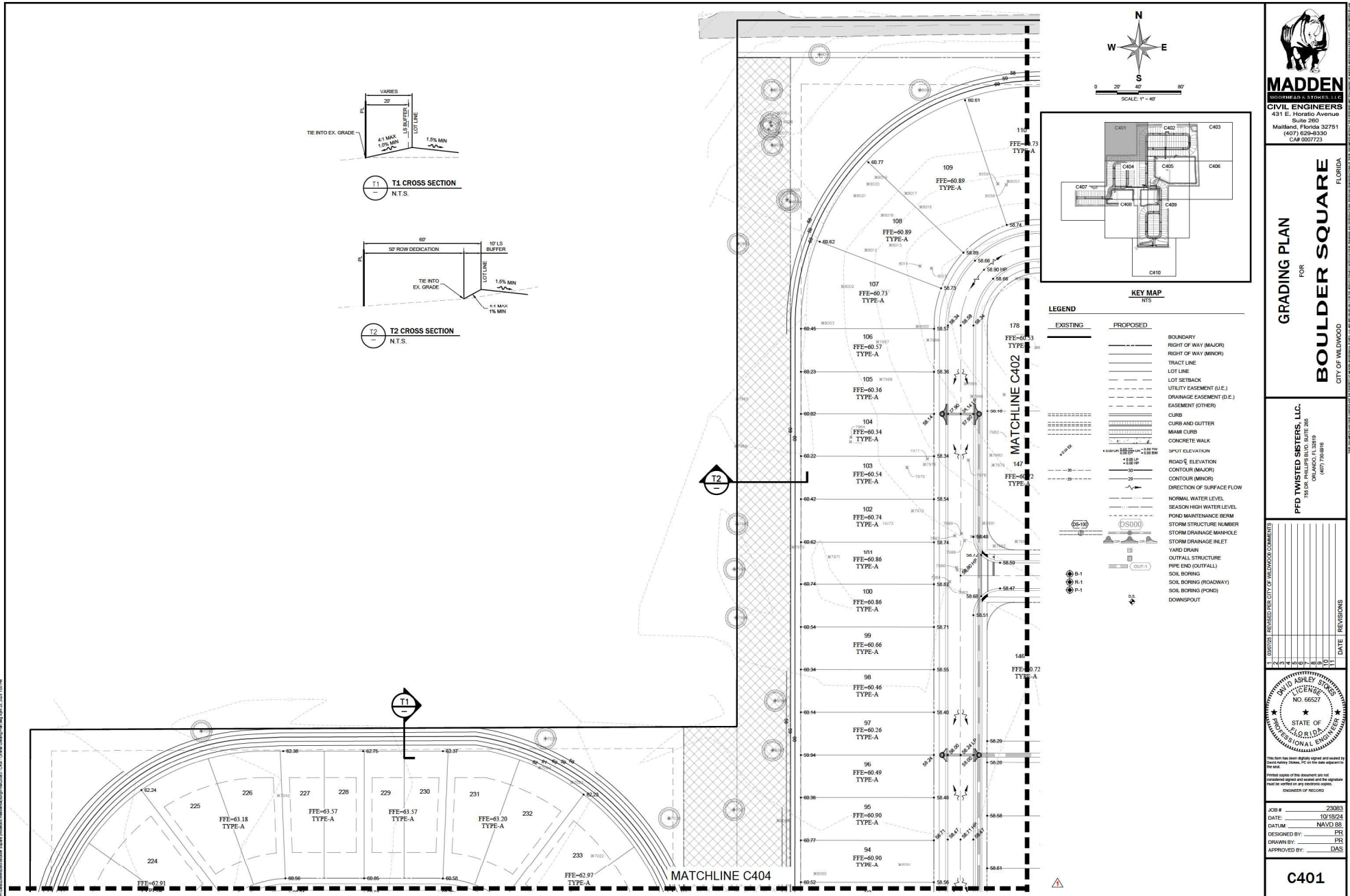
C400



KEY MAP  
 NTS

EXISTING	PROPOSED	
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MAI/M CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POND MAINTENANCE BERM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT

C:\Users\jtwisted\OneDrive\Desktop\Boulder Square\Drawings\Overall Grading Plan.dwg (10/18/24) 10/18/24

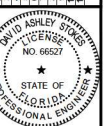


**MADDEN**  
KOBARHEAD & STOKES, L.L.C.  
**CIVIL ENGINEERS**  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 920-8330  
CAF 0007723

**GRADING PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WILDWOOD

**PFD TWISTED SISTERS, LLC.**  
785 SW PHILADELPHIA BLVD., SUITE 205  
DADE COUNTY, FLORIDA 33136  
(407) 734-0496

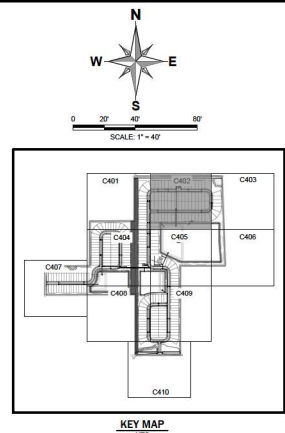
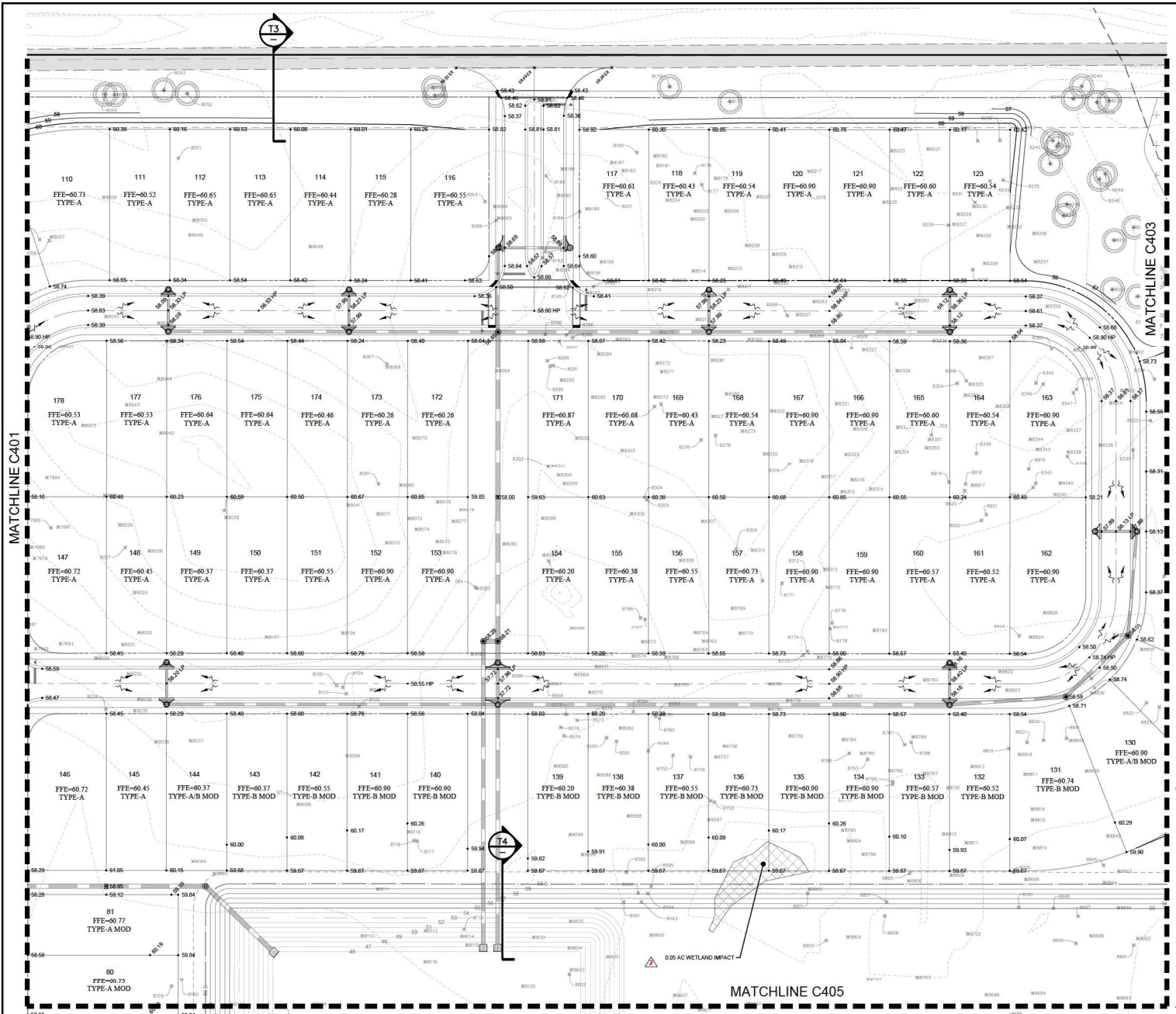
NO.	DATE	REVISIONS



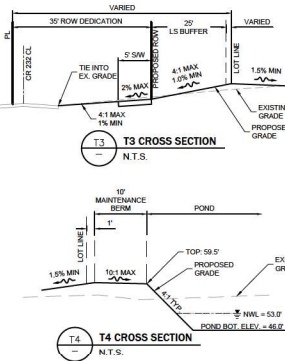
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Exception of record:

JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD 88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C401**



- LEGEND**
- | EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| ---      | ---      | BOUNDARY                  |
| ---      | ---      | RIGHT OF WAY (MAJOR)      |
| ---      | ---      | RIGHT OF WAY (MINOR)      |
| ---      | ---      | STRUCTURE                 |
| ---      | ---      | LOT LINE                  |
| ---      | ---      | LOT SETBACK               |
| ---      | ---      | UTILITY EASEMENT (U.E.)   |
| ---      | ---      | DRAINAGE EASEMENT (D.E.)  |
| ---      | ---      | EASEMENT (OTHER)          |
| ---      | ---      | CURB                      |
| ---      | ---      | CURB AND GUTTER           |
| ---      | ---      | MIAM CUTS                 |
| ---      | ---      | CONCRETE WALK             |
| ---      | ---      | SPOT ELEVATION            |
| ---      | ---      | ROAD ELEVATION            |
| ---      | ---      | CONTOUR (MAJOR)           |
| ---      | ---      | CONTOUR (MINOR)           |
| ---      | ---      | DIRECTION OF SURFACE FLOW |
| ---      | ---      | NORMAL WATER LEVEL        |
| ---      | ---      | SEASON HIGH WATER LEVEL   |
| ---      | ---      | POUND MAINTENANCE BERM    |
| ---      | ---      | STORM STRUCTURE NUMBER    |
| ---      | ---      | STORM DRAINAGE MANHOLE    |
| ---      | ---      | STORM DRAINAGE INLET      |
| ---      | ---      | VAULT DRAIN               |
| ---      | ---      | OUTFALL STRUCTURE         |
| ---      | ---      | PIPE END (OUTFALL)        |
| ---      | ---      | SOIL BORING               |
| ---      | ---      | SOIL BORING (ROADWAY)     |
| ---      | ---      | SOIL BORING (POND)        |
| ---      | ---      | DOWNSPOUT                 |



**MADDEN**  
 RODRIGUEZ & STOKES, LLC  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 820-8330  
 C#4 000723

**GRADING PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WEDWOOD

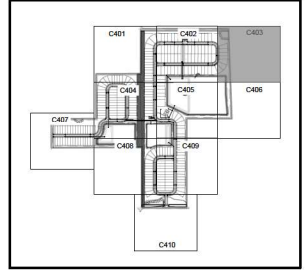
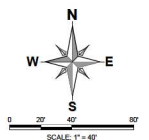
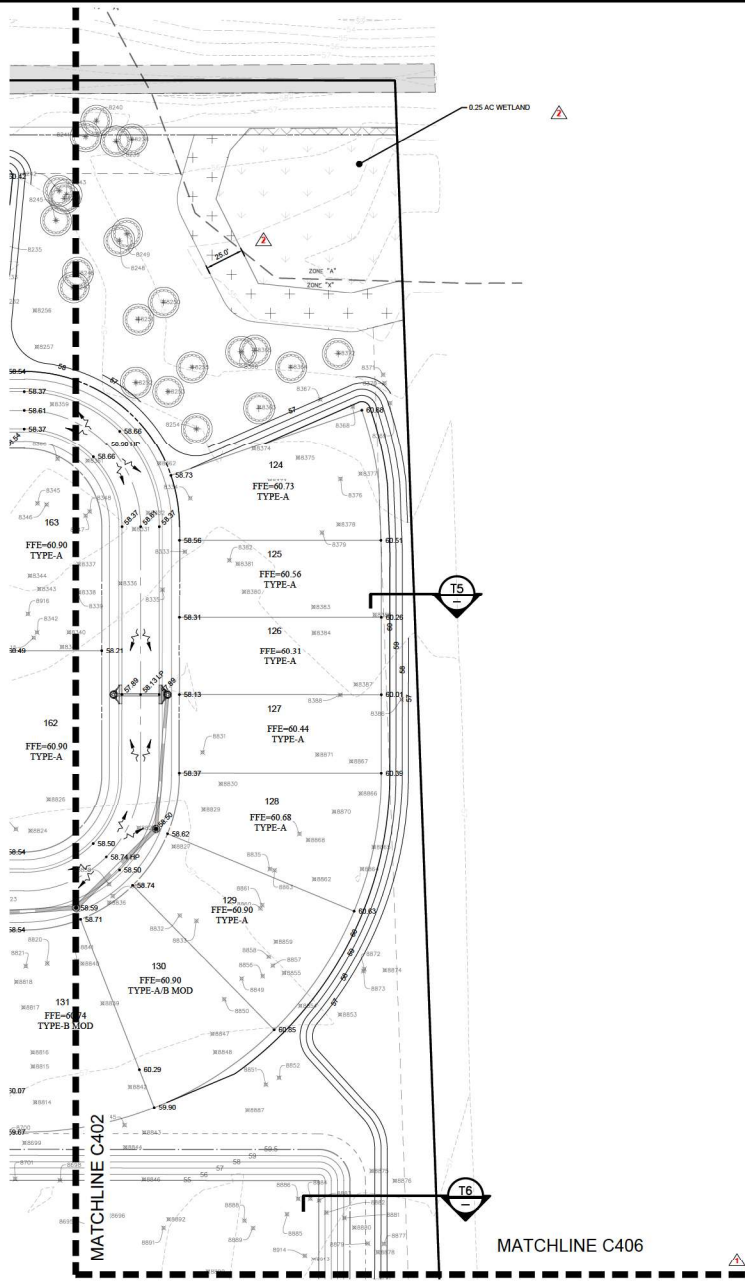
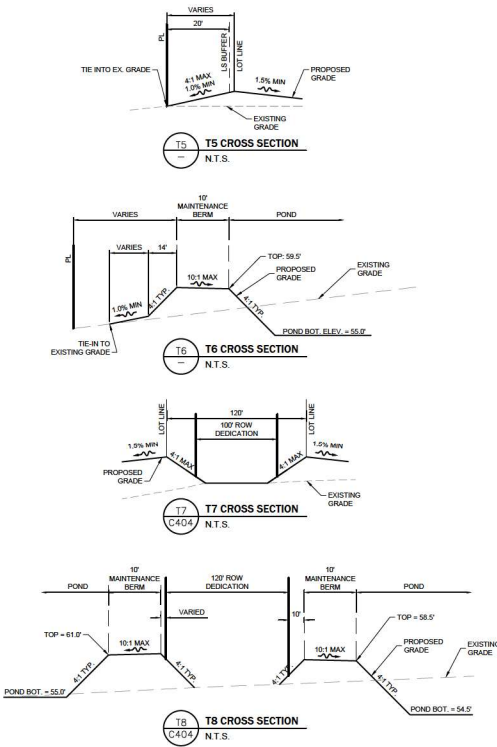
**PFD TWISTED SISTERS, LLC.**  
 788 SW PHILLIPS BLVD., SUITE 205  
 WEDDWOOD, FL 32788

NO.	DATE	REVISIONS

PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 NO. 66527

PROJECT # 23083  
 DATE: 10/18/24  
 DRAWN BY: NAVD/BB  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C402**



**KEY MAP**  
NTS

LEGEND		
EXISTING	PROPOSED	
---	- - - -	BOUNDARY
---	- - - -	RIGHT OF WAY (MAJOR)
---	- - - -	RIGHT OF WAY (MINOR)
---	- - - -	TRACT LINE
---	- - - -	LOT LINE
---	- - - -	LOT SETBACK
---	- - - -	UTILITY EASEMENT (U.E.)
---	- - - -	DRAINAGE EASEMENT (D.E.)
---	- - - -	EASEMENT (OTHER)
---	- - - -	CURB
---	- - - -	CURB AND GUTTER
---	- - - -	MIAM CURB
---	- - - -	CONCRETE WALK
---	- - - -	SPOT ELEVATION
---	- - - -	ROAD ELEVATION
---	- - - -	CONTOUR (MAJOR)
---	- - - -	CONTOUR (MINOR)
---	- - - -	DIRECTION OF SURFACE FLOW
---	- - - -	NORMAL WATER LEVEL
---	- - - -	SEASON HIGH WATER LEVEL
---	- - - -	POND MAINTENANCE BERM
---	- - - -	STORM STRUCTURE NUMBER
---	- - - -	STORM DRAINAGE MANHOLE
---	- - - -	STORM DRAINAGE INLET
---	- - - -	YARD DRAIN
---	- - - -	OUTFALL STRUCTURE
---	- - - -	PIPE END (OUTFALL)
---	- - - -	SOIL BORING (ROADWAY)
---	- - - -	SOIL BORING (POND)
---	- - - -	DOWNSPOUT

**MADDEN**  
KIDDERHEAD & STOKES, L.L.C.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 820-8630  
CAF 0007723

---

**GRADING PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

---

**PFD TWISTED SISTERS, LLC.**  
785 DR. PHILIPPS BLVD., SUITE 205  
ORLANDO, FL 32819  
(407) 734-8998

---

NO.	DESCRIPTION	DATE	REVISIONS

---

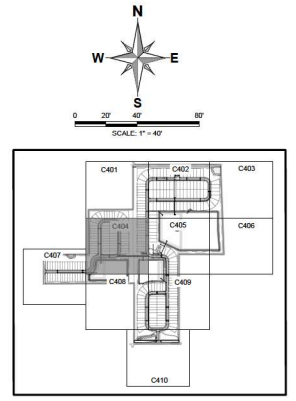
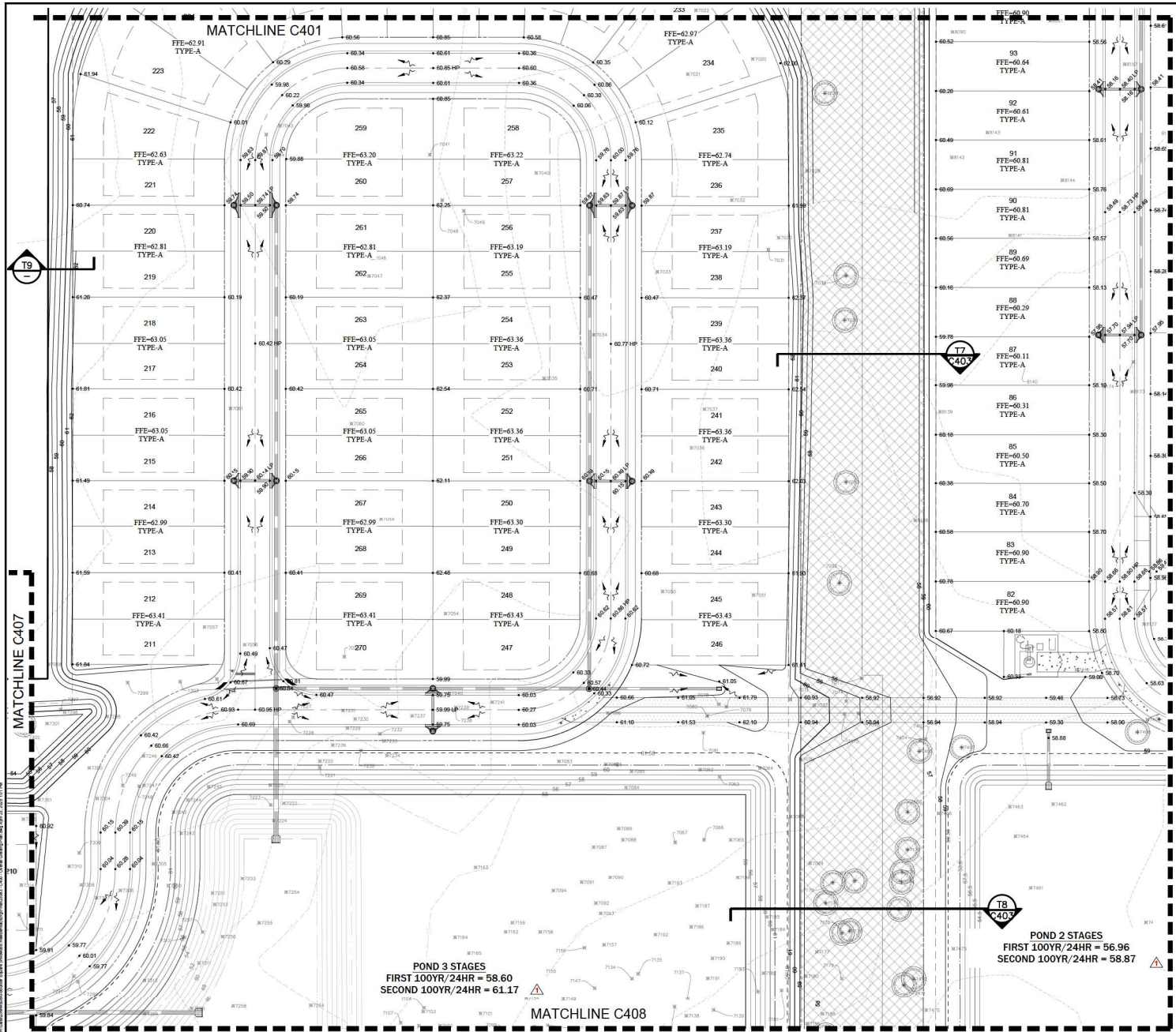
DAVID ASHLEY STOKES  
NO. 66527  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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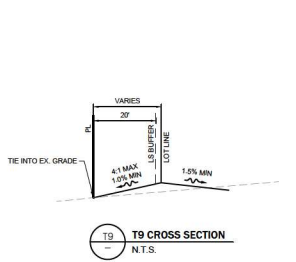
JOB # 23083  
DATE: 10/18/24  
DRAWN BY: NAVD/SB  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C403**



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MIAM CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POUD MAINTENANCE BERM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	VAULT DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT



**MADDEN**  
 CONSTRUCTION SERVICES, LLC  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 929-6530  
 CEA# 0007723

**GRADING PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WEDWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 750 SW PHILLIPS BLVD., SUITE 200  
 GAITHERSBURG, MD 20878  
 (410) 745-9494

NO.	DESCRIPTION	DATE	REVISIONS



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**JOB #** 23093  
**DATE:** 10/18/24  
**DRAWN BY:** NAVD/BB  
**DESIGNED BY:** PR  
**DRAWN BY:** PR  
**APPROVED BY:** DAS

**C404**







**MADDEN**  
 KIDARHEAD & STOKES, L.L.C.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 520-6530  
 CA# 0007723

**GRADING PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 758 SW PHILADELPHIA BLVD. SUITE 205  
 GAITHERSBURG, MD 20878  
 (410) 734-0900

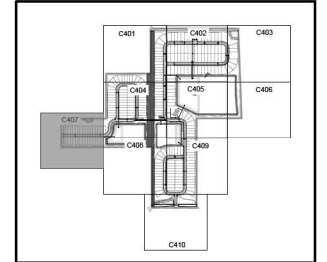
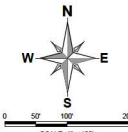
NO.	DATE	REVISIONS
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5		REVISED PER SUPPLEMENTAL COMMENTS
6		REVISED PER SUPPLEMENTAL COMMENTS
7		REVISED PER SUPPLEMENTAL COMMENTS
8		REVISED PER SUPPLEMENTAL COMMENTS
9		REVISED PER SUPPLEMENTAL COMMENTS
10		REVISED PER SUPPLEMENTAL COMMENTS



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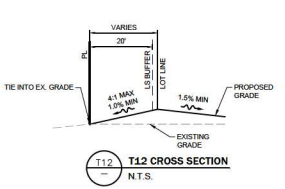
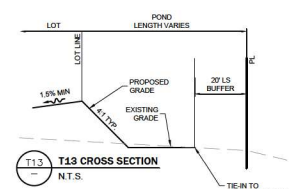
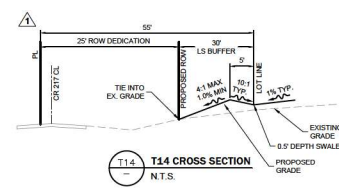
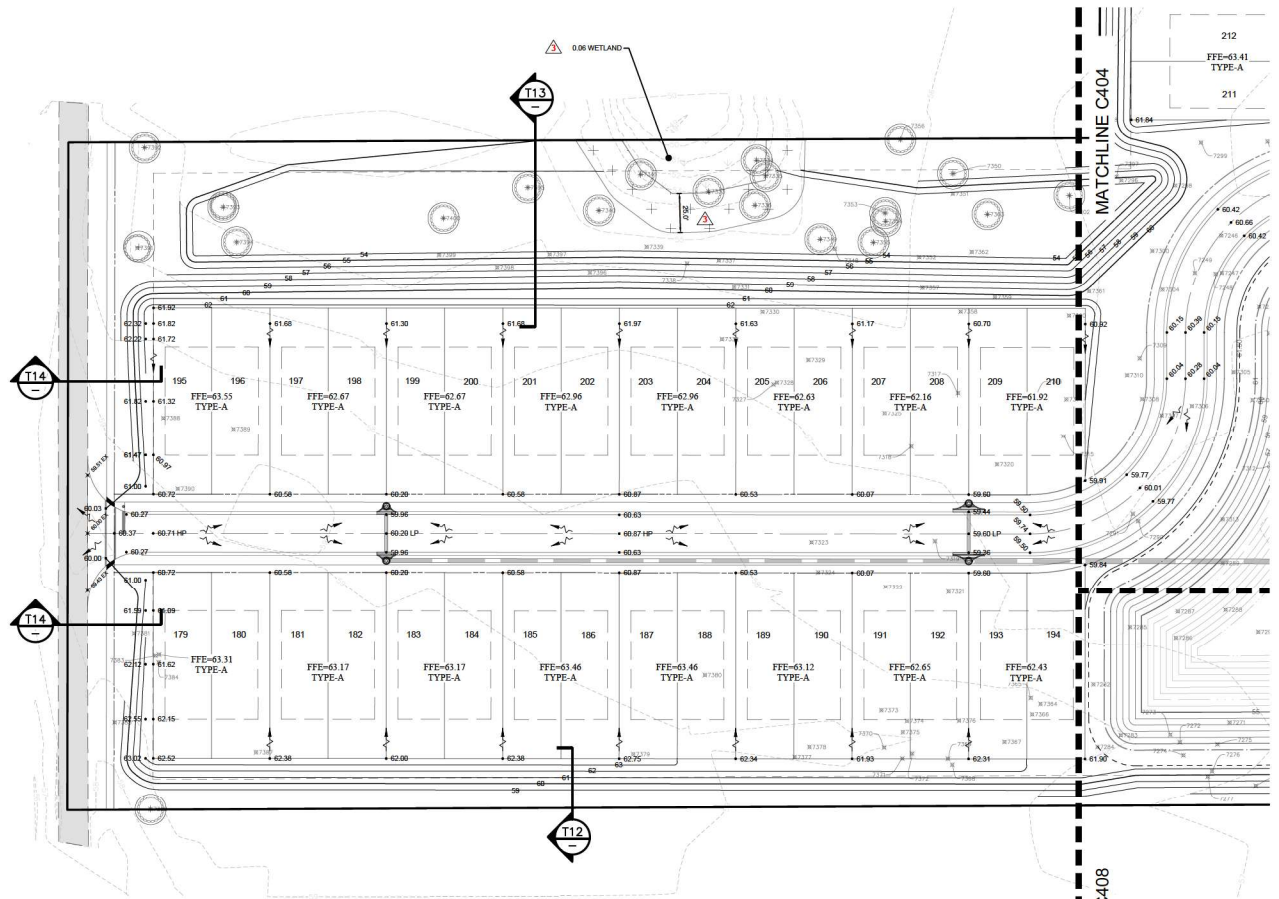
JOB # 23083  
 DATE: 10/18/24  
 DWTM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

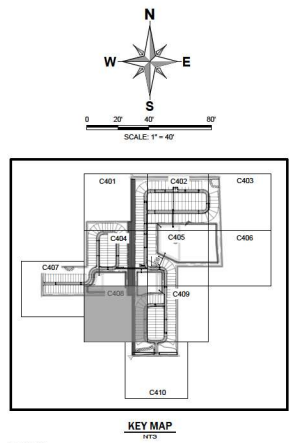
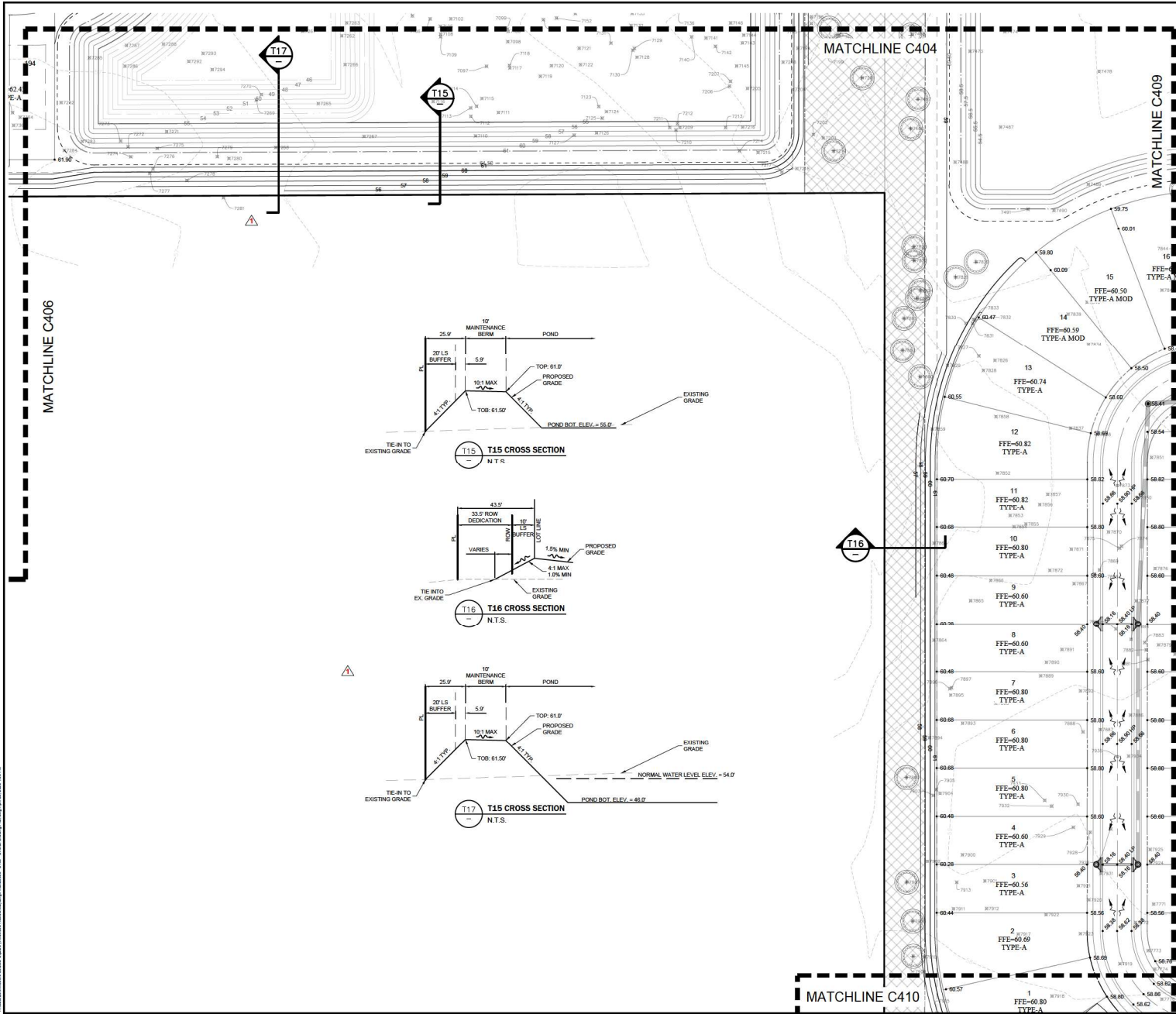
**C407**



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MIAMI CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POND MAINTENANCE BERM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	CUT/FILL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT





**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURBS AND GUTTER
---	---	MAINT. CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
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---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT

**MADDEN**  
BROADHEAD & STOKES, L.L.C.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 520-6530  
CA# 0007723

**GRADING PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
785 SW PHILLIPS BLVD., SUITE 200  
DADE COUNTY, FL 33136  
(407) 734-0898

NO.	DATE	REVISIONS

DAVID ASHLEY  
NO. 66527  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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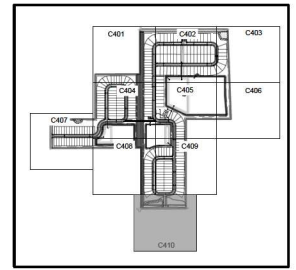
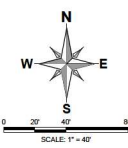
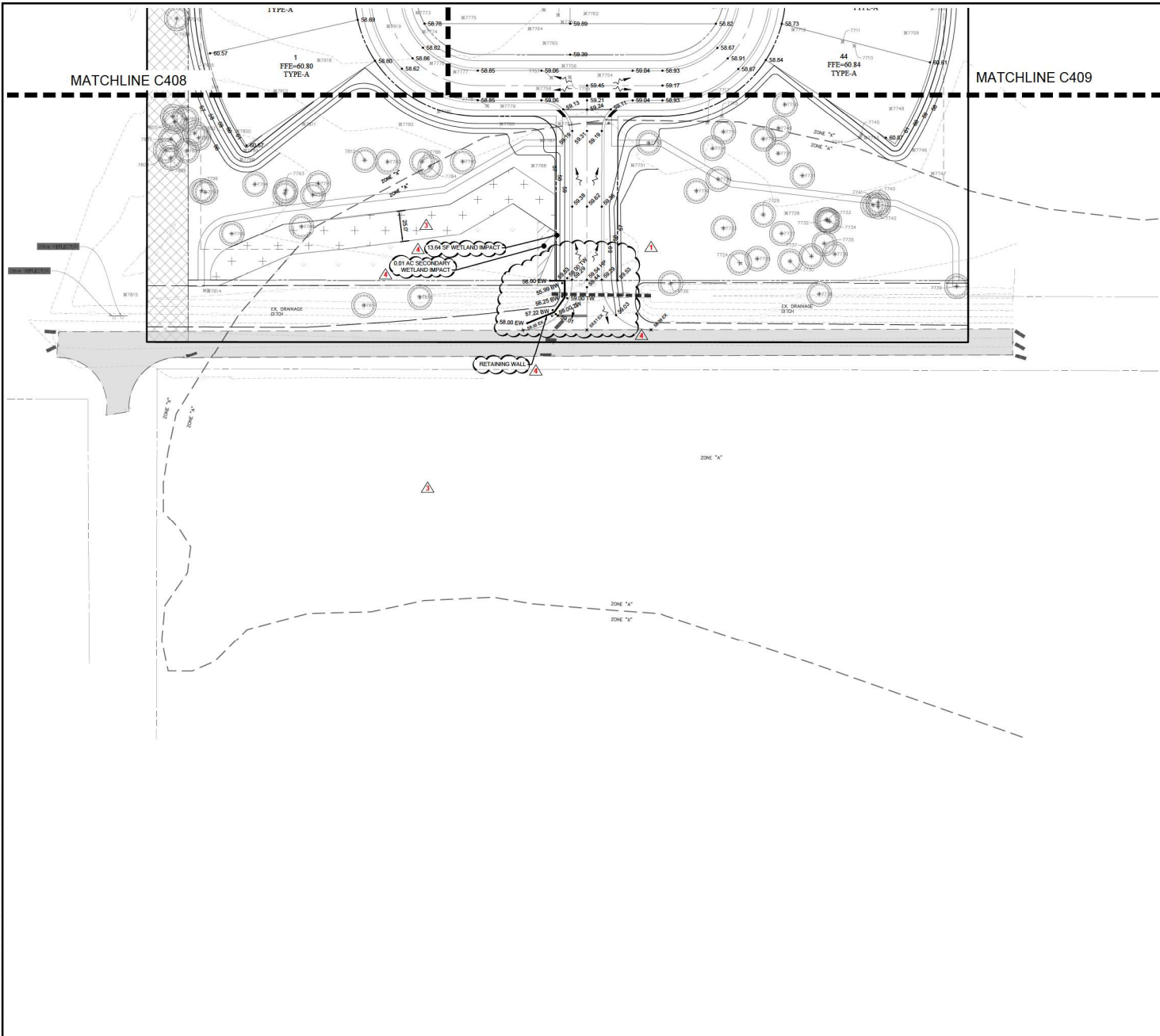
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DATE OF RECORD: \_\_\_\_\_

JOB #	DATE	DATE
23083	10/18/24	NAVD 88
DESIGNED BY:	PR	PR
DRAWN BY:	PR	PR
APPROVED BY:	DAS	DAS

**C408**





KEY MAP

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MANHOLE
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POND MAINTENANCE BERM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	YARD DRAIN
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT



**MADDEN**  
ASSOCIATES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 520-8630  
CA# 0007723

**GRADING PLAN**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
785 SW PHILIPPS BLVD. SUITE 200  
DADE COUNTY, FL 33136  
(407) 734-9898

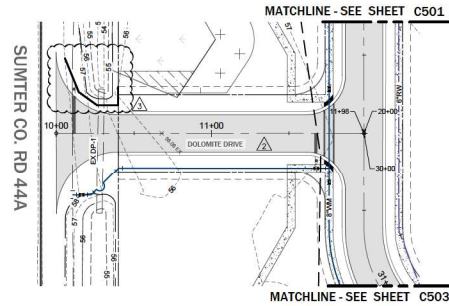
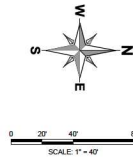
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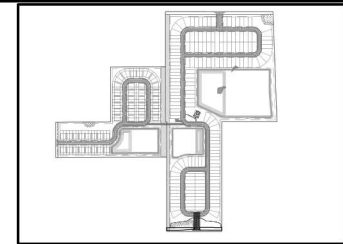
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JOB # 23083  
DATE: 10/18/24  
DRAWN BY: NAVD:BB  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C410**



▲ **DOLOMITE DRIVE**

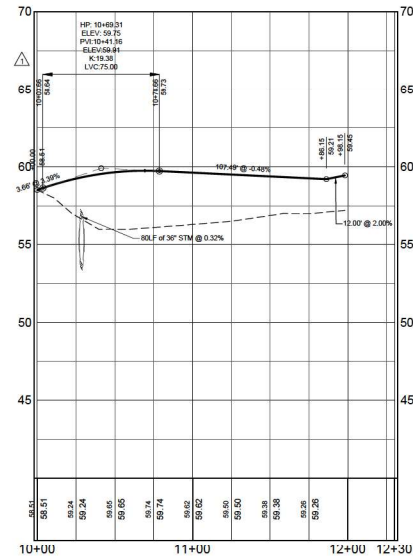


**KEY MAP**  
NTS

EXISTING	PROPOSED	
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	MAJOR CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	POND MAINTENANCE BERM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT

HORIZ. SCALE: 1" = 40'  
VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.  
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



**MADDEN**  
A. STOKES, L.L.C.  
**CIVIL ENGINEERS**  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 929-8330  
CAF 0007723

**ROADWAY PLAN & PROFILES**  
FOR  
**BOULDER SQUARE**  
CITY OF WILMINGTON, FLORIDA

**PFD TWISTED SISTERS, LLC.**  
Civil Engineer  
750 S.W. PHILADELPHIA BLVD SUITE 205  
DADE COUNTY, FLORIDA 33107  
(407) 734-9898

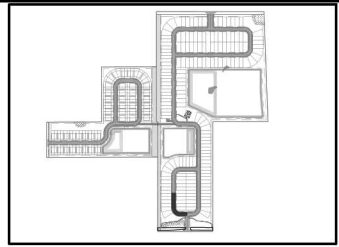
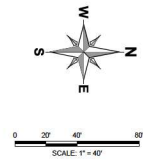
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2		REVISED PER LOCAL COMMENTS
3		REVISED PER SERVICE UPDATE
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6		
7		
8		
9		
10		
11		
12		

**DAVID A. STOKES**  
Professional Engineer  
No. 66527  
STATE OF FLORIDA  
Professional Engineer

This set has been graphically revised and issued by David A. Stokes, P.E. on the date adjacent to this line.  
Period copies of this document are not permitted to be signed and sealed and the signature must be verified on any electronic copies.  
Exception of record:

JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C500**



**MADDEN**  
 KOBARHEAD & STOKES, L.L.C.  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 520-8330  
 C#4 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

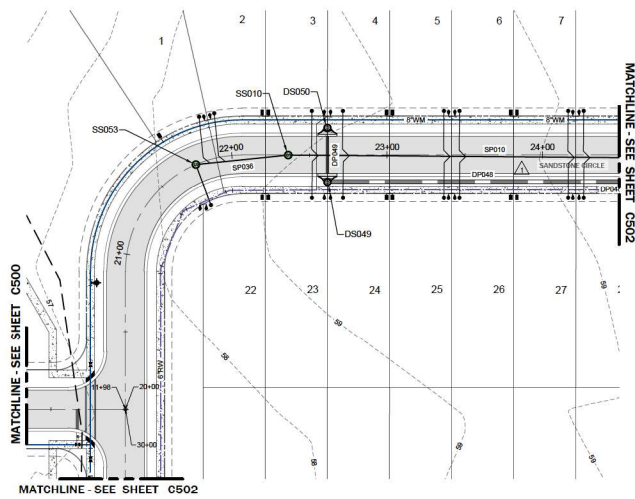
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 CIVIL ENGINEER  
 785 DR. PHILIPPS BLVD., SUITE 200  
 WELLSWOOD, FL 32785  
 (407) 734-9498

NO.	DATE	REVISIONS

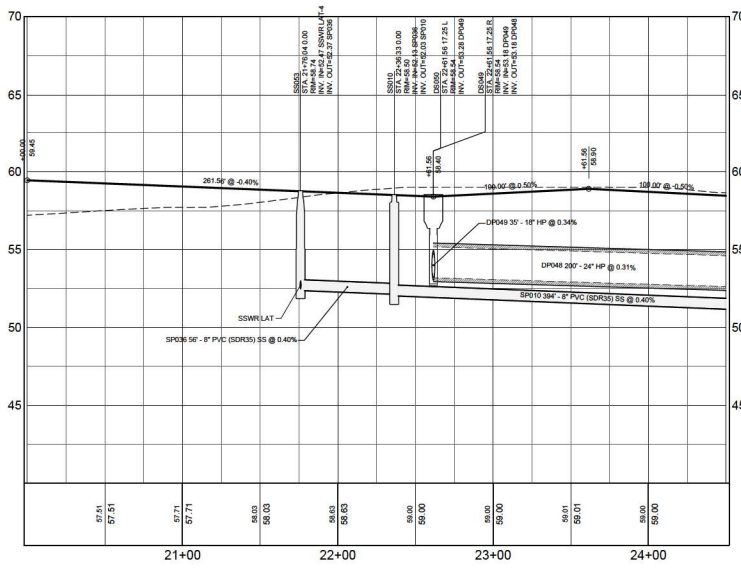
STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 NO. 66527  
 P.D. ASHLEY & STOKES  
 CIVIL ENGINEERS  
 431 E. HORATIO AVENUE  
 SUITE 200  
 MAITLAND, FLORIDA 32751  
 (407) 520-8330

JOB # 23083  
 DATE: 10/18/24  
 DATUM: NAVD83  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C501**



**△ SANDSTONE CIRCLE**



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.  
 ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'

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 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 520-6530  
 C#4 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WILDWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 785 SW PHILADELPHIA BLVD., SUITE 200  
 WILMINGTON, FL 32206  
 (407) 734-0898

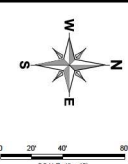
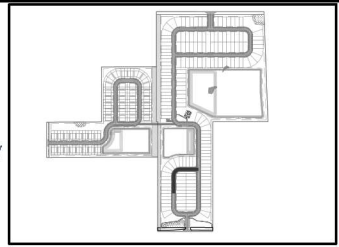
NO.	DATE	REVISIONS



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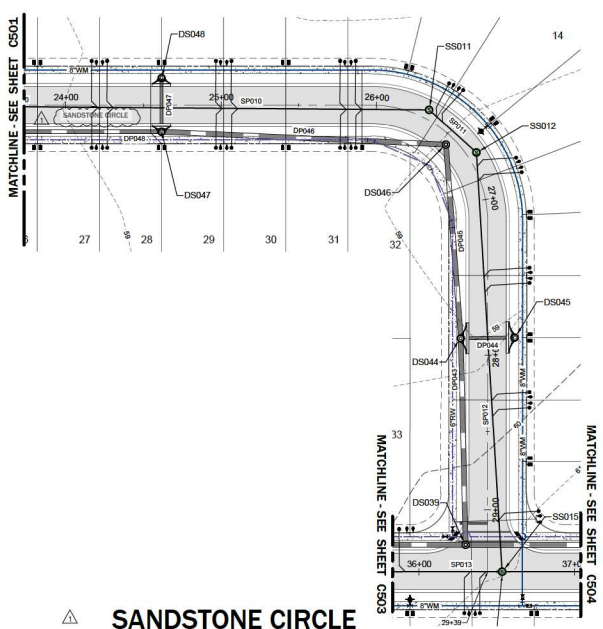
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 DWTM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C502**

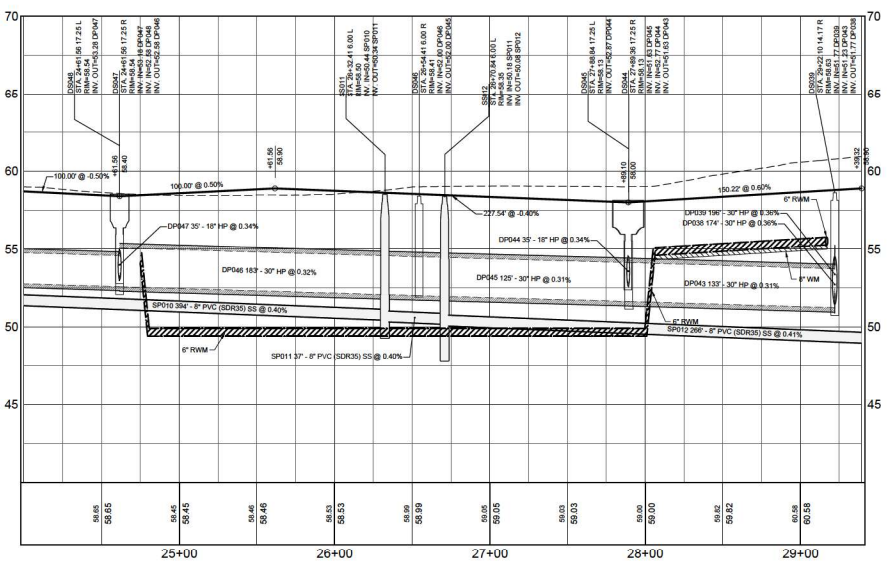


**LEGEND**

EXISTING	PROPOSED	NTS
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MAIM CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
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---	---	POND MAINTENANCE BERM
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---	---	PIPE END (OUTFALL)
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT



**△ SANDSTONE CIRCLE**



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

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**MADDEN**  
 ROADHEAD & STOKES, L.L.C.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 529-6530  
 C#4 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PF D TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 785 DR. PHILIPPS BLVD., SUITE 205  
 WELLSWOOD, FL 32785  
 (407) 734-9398

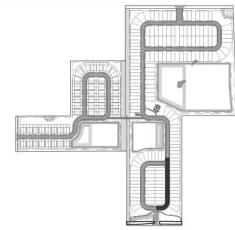
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4	11/01/24	REVISIONS FOR UTILITY CONFLICTS
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60	06/13/25	REVISIONS FOR UTILITY CONFLICTS
61	06/17/25	REVISIONS FOR UTILITY CONFLICTS
62	06/21/25	REVISIONS FOR UTILITY CONFLICTS
63	06/25/25	REVISIONS FOR UTILITY CONFLICTS
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70	07/23/25	REVISIONS FOR UTILITY CONFLICTS



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 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

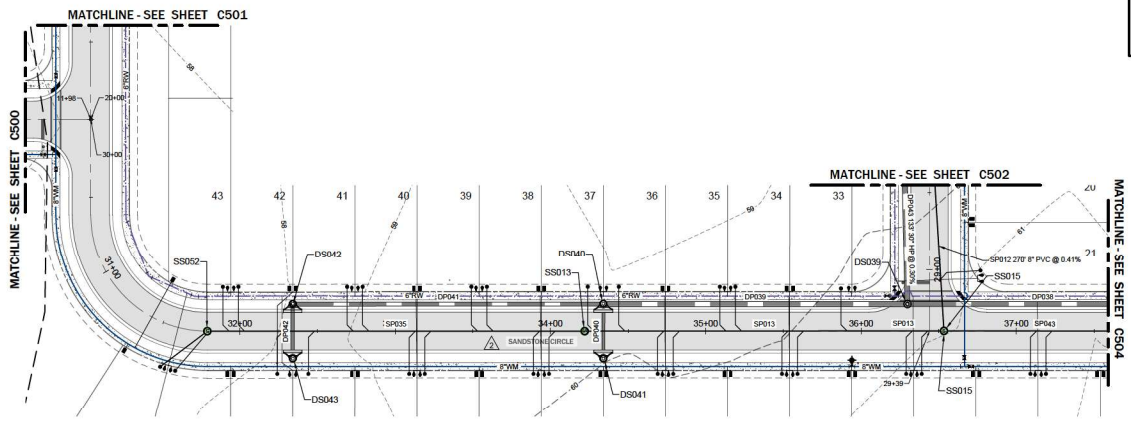
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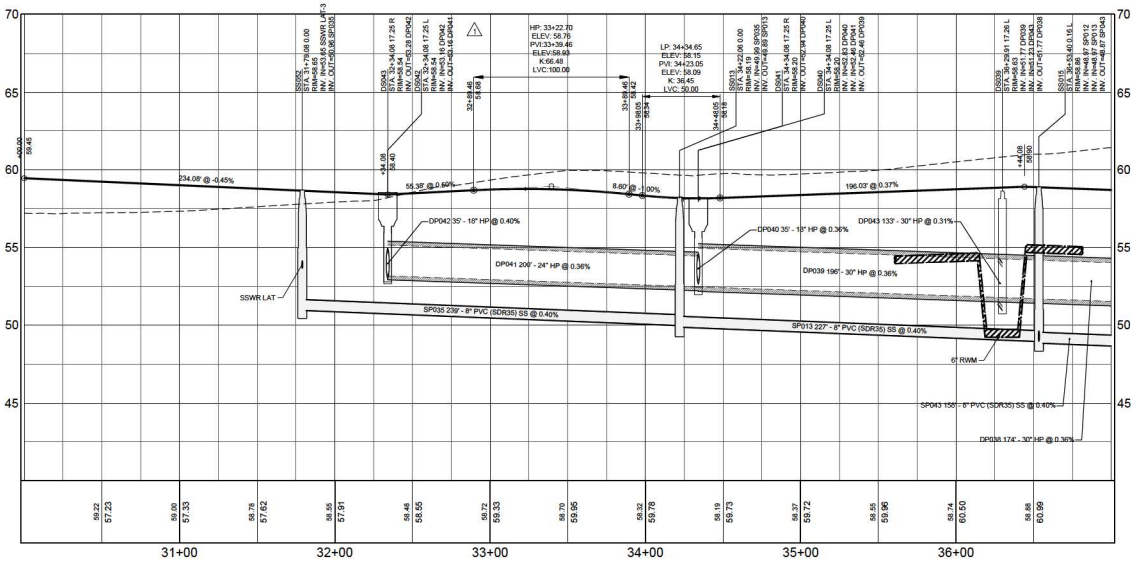
**KEY MAP**

- LEGEND**
- | EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| ---      | ---      | BOUNDARY                  |
| ---      | ---      | RIGHT OF WAY (MAJOR)      |
| ---      | ---      | RIGHT OF WAY (MINOR)      |
| ---      | ---      | TRACT LINE                |
| ---      | ---      | LOT LINE                  |
| ---      | ---      | LOT SETBACK               |
| ---      | ---      | UTILITY EASEMENT (U.E.)   |
| ---      | ---      | DRAINAGE EASEMENT (D.E.)  |
| ---      | ---      | EASEMENT (OTHER)          |
| ---      | ---      | CURB                      |
| ---      | ---      | CURB AND GUTTER           |
| ---      | ---      | MAIM CURB                 |
| ---      | ---      | CONCRETE WALK             |
| ---      | ---      | SPOT ELEVATION            |
| ---      | ---      | ROAD ELEVATION            |
| ---      | ---      | CONTOUR (MAJOR)           |
| ---      | ---      | CONTOUR (MINOR)           |
| ---      | ---      | DIRECTION OF SURFACE FLOW |
| ---      | ---      | NORMAL WATER LEVEL        |
| ---      | ---      | SEASON HIGH WATER LEVEL   |
| ---      | ---      | POND MAINTENANCE BERM     |
| ---      | ---      | STORM STRUCTURE NUMBER    |
| ---      | ---      | STORM DRAINAGE MANHOLE    |
| ---      | ---      | STORM DRAINAGE INLET      |
| ---      | ---      | CONTROL STRUCTURE         |
| ---      | ---      | OUTFALL STRUCTURE         |
| ---      | ---      | PIPE END (OUTFALL)        |
| ---      | ---      | SOIL BORING               |
| ---      | ---      | SOIL BORING (ROADWAY)     |
| ---      | ---      | SOIL BORING (POND)        |
| ---      | ---      | DOWNSPOUT                 |

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'



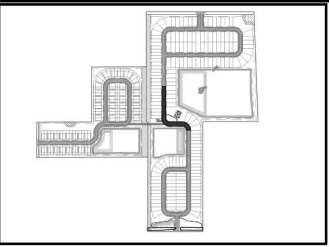
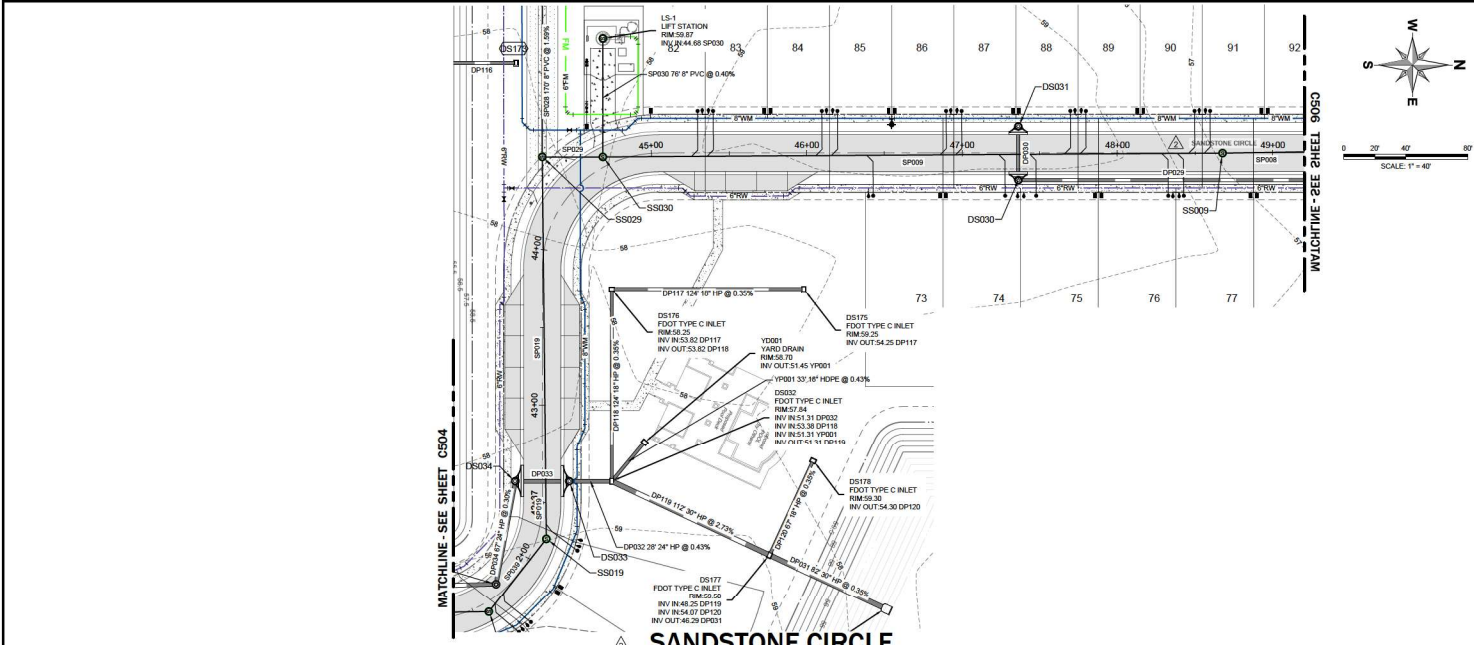
**SANDSTONE CIRCLE**



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.  
 ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

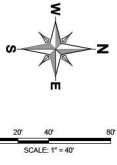
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 Units: Feet  
 Contour Interval: 2.00  
 Elevation: 10.00  
 Date: 10/18/24  
 Drawn By: PR  
 Checked By: PR  
 Approved By: DAS





**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MAIM CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
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---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPROUT



**MADDEN**  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 920-8330  
 C#4 0007723

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 780 PHILADELPHIA BLVD., SUITE 200  
 WINTER HAVEN, FL 33884  
 (888) 734-9898

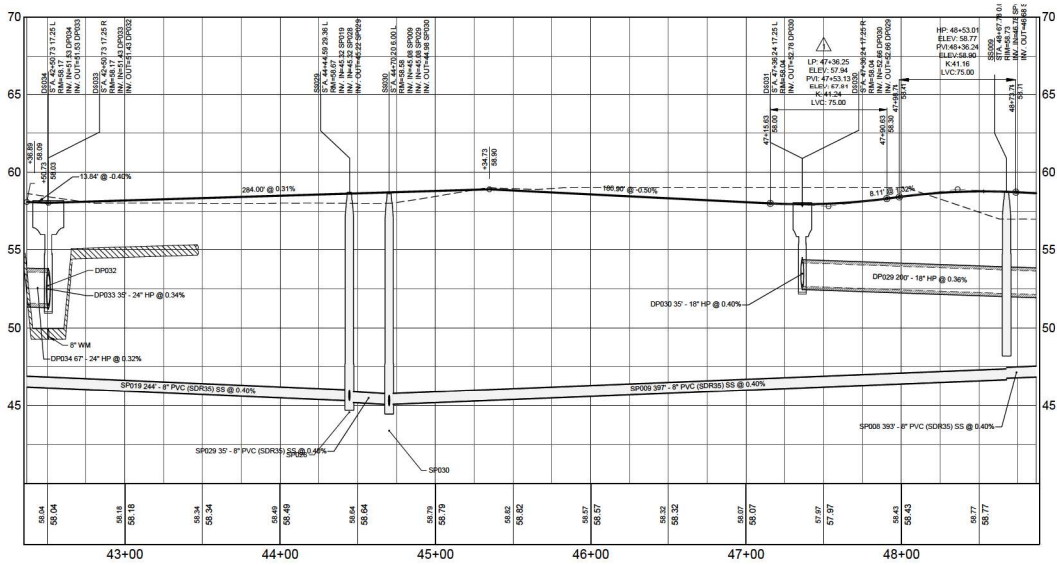
NO.	DATE	REVISIONS
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JOB # 23083  
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 DRAWN BY: PR  
 APPROVED BY: DAS

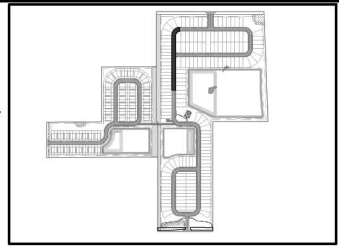
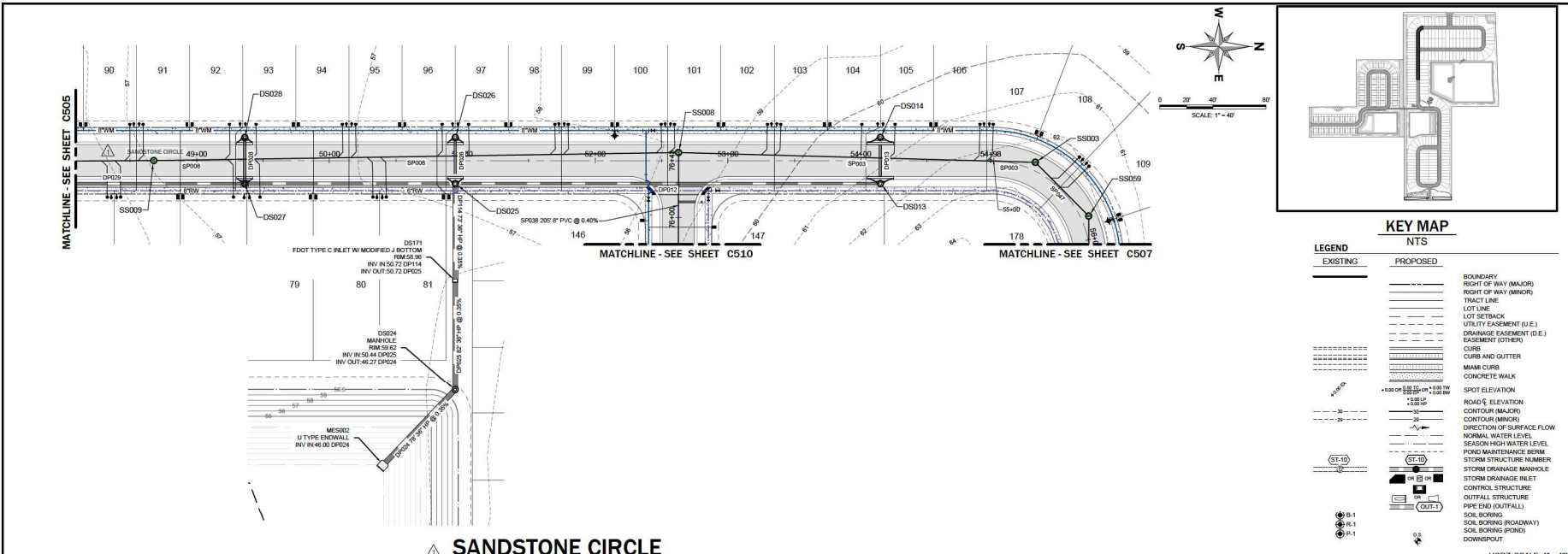
**C505**



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

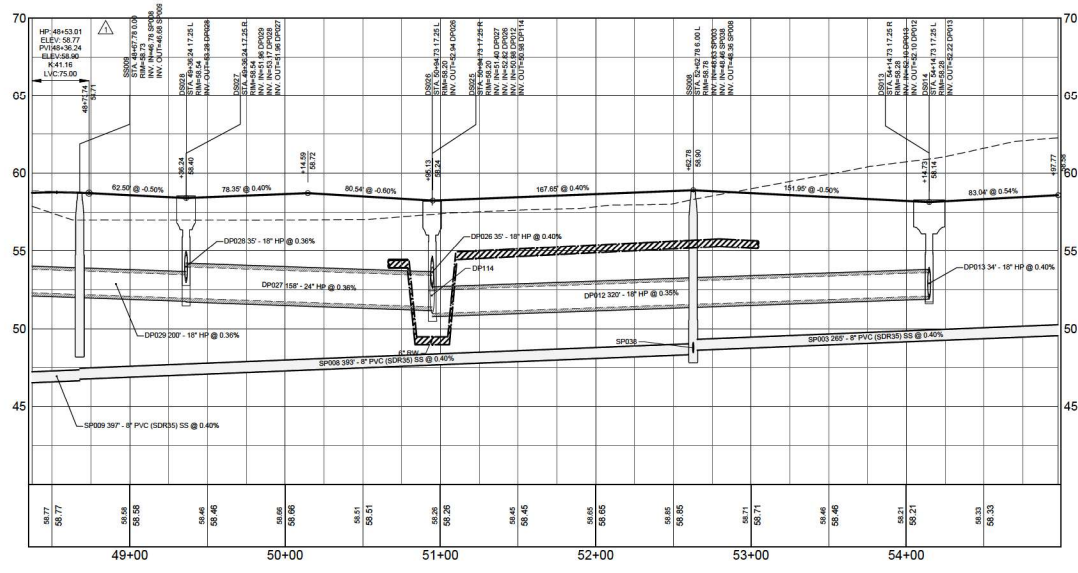
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

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LEGEND	
EXISTING	PROPOSED
(Symbol)	BOUNDARY
(Symbol)	RIGHT OF WAY (MAJOR)
(Symbol)	RIGHT OF WAY (MINOR)
(Symbol)	TRACT LINE
(Symbol)	LOT LINE
(Symbol)	LOT SETBACK
(Symbol)	UTILITY EASEMENT (U.E.)
(Symbol)	DRAINAGE EASEMENT (D.E.)
(Symbol)	EASEMENT (OTHER)
(Symbol)	CURB
(Symbol)	CURB AND GUTTER
(Symbol)	MAINT CURB
(Symbol)	CONCRETE WALK
(Symbol)	SPOT ELEVATION
(Symbol)	ROAD ELEVATION
(Symbol)	CONTOUR (MAJOR)
(Symbol)	CONTOUR (MINOR)
(Symbol)	DIRECTION OF SURFACE FLOW
(Symbol)	NORMAL WATER LEVEL
(Symbol)	SEASON HIGH WATER LEVEL
(Symbol)	POND MAINTENANCE BERM
(Symbol)	STORM STRUCTURE NUMBER
(Symbol)	STORM DRAINAGE MANHOLE
(Symbol)	STORM DRAINAGE INLET
(Symbol)	CONTROL STRUCTURE
(Symbol)	OUTFALL STRUCTURE
(Symbol)	PIPE END (OUTFALL)
(Symbol)	SOIL BORING (ROADWAY)
(Symbol)	SOIL BORING (POND)
(Symbol)	DOWNSPOUT

HORIZ. SCALE: 1" = 40'  
VERT. SCALE: 1" = 4'



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

**MADDEN**  
KOBACH & STORCK, L.L.C.  
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Suite 200  
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(407) 828-8630  
CAF 0007723

**ROADWAY PLAN & PROFILES**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC**  
780 PHILIPS BLVD., SUITE 205  
MAITLAND, FL 32751  
(407) 734-9898

NO.	DATE	REVISIONS
1		
2		
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Professional Engineer Seal for David W. Ashley, No. 66527, State of Florida.

JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD83  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C506**



**MADDEN**  
 KROGHHEAD & STOKES, L.L.C.  
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 (407) 520-6530  
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**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 780 PHILIPPS BLVD., SUITE 200  
 WELLSWOOD, FL 32785  
 (407) 724-9249

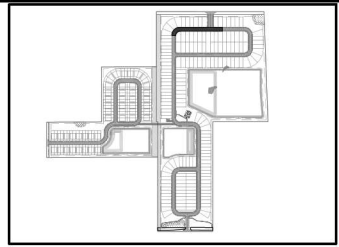
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1	10/18/24	ISSUED FOR PERMIT
2	10/18/24	REVISED PER CIVIL ENGINEER COMMENTS
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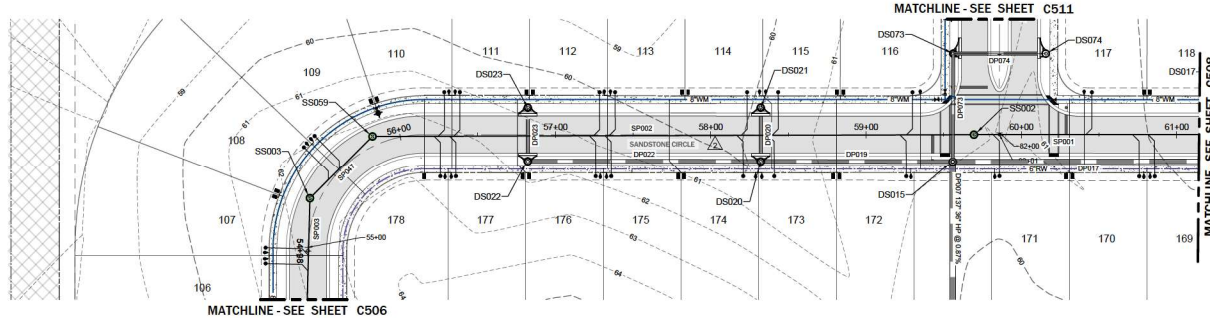
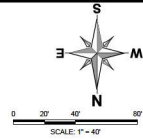
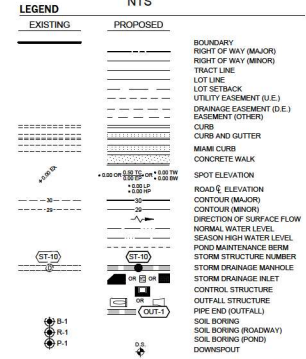
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JOB # 23083  
 DATE: 10/18/24  
 DWTM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C507**

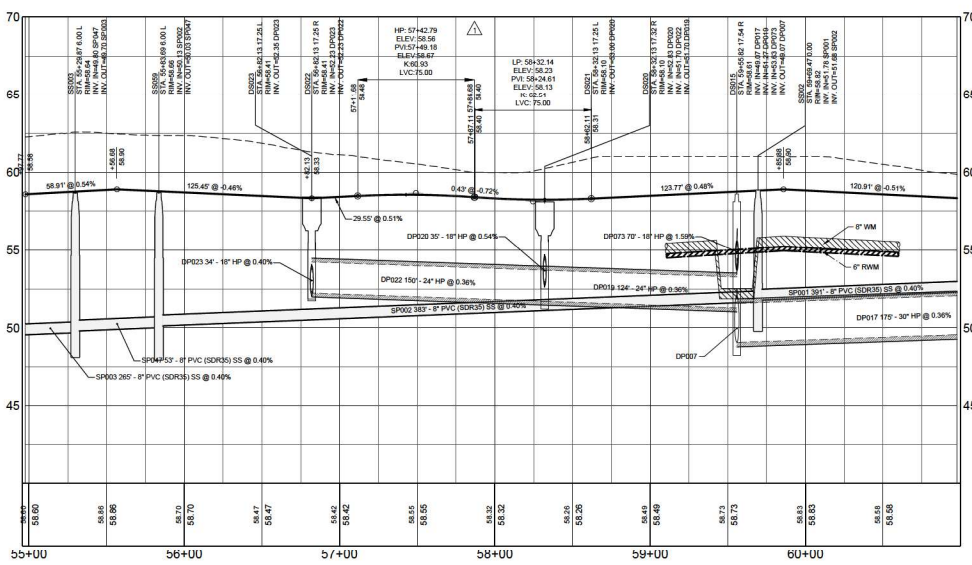


**KEY MAP**



**SANDSTONE CIRCLE**

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 30" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

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 (407) 520-8330  
 C#E 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC**  
 CIVIL ENGINEER  
 755 DR. PHILIPPS BLVD. SUITE 205  
 MAITLAND, FL 32751  
 (407) 734-9498

NO.	DATE	REVISIONS
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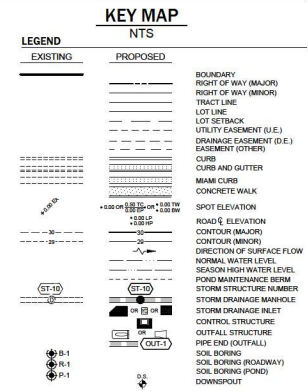
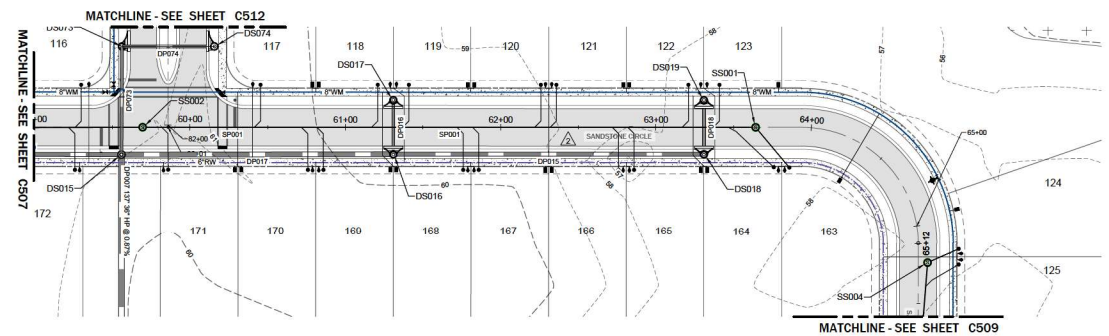
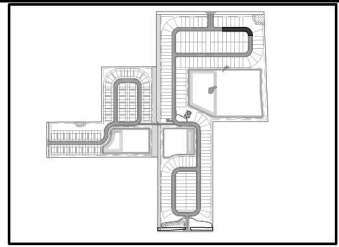
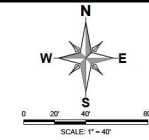


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JOB # 23083  
 DATE: 10/18/24  
 DATUM: NAVD 83  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C508**

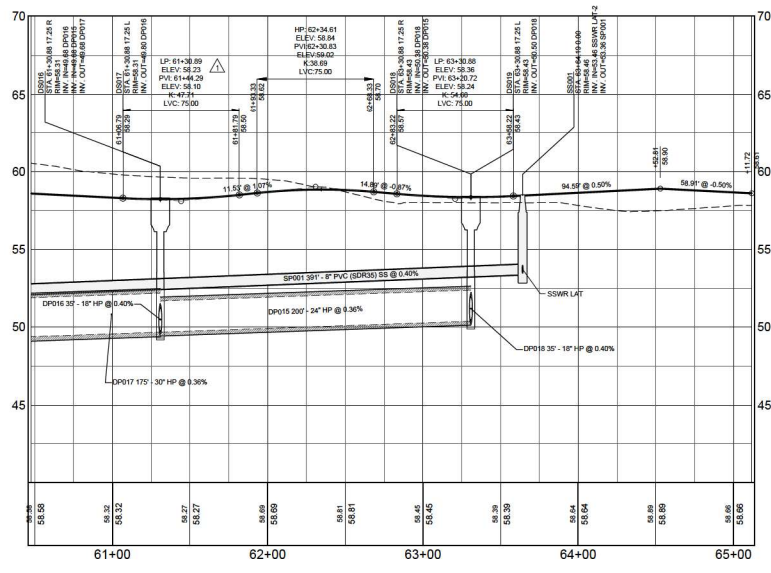


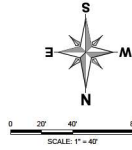
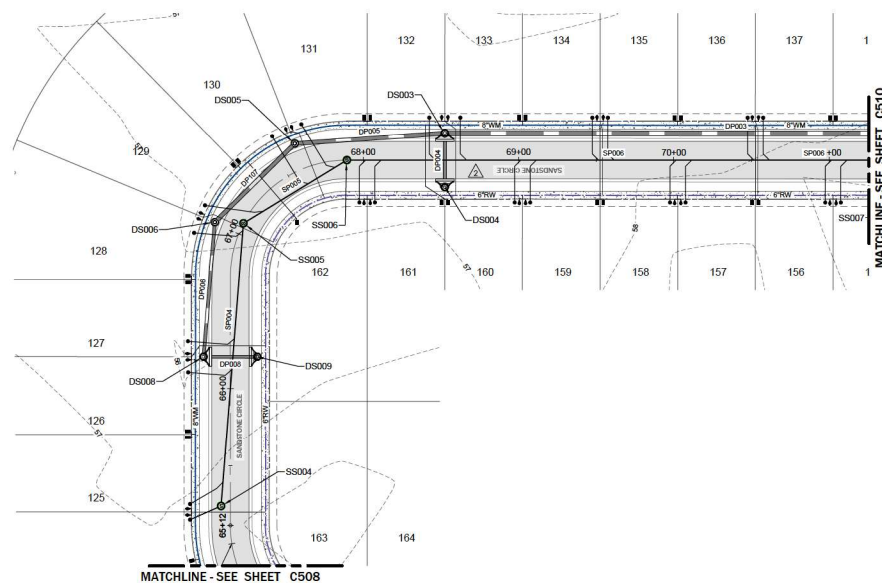
△ SANDSTONE CIRCLE

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



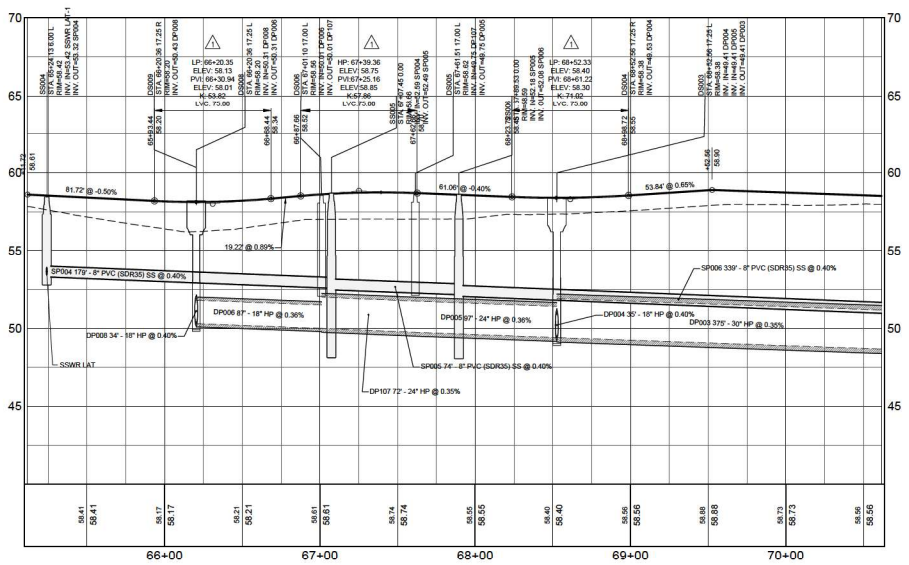


### KEY MAP

EXISTING		PROPOSED	
[Symbol]	BOUNDARY	[Symbol]	ROADWAY
[Symbol]	RIGHT OF WAY (MAJOR)	[Symbol]	CONTOUR (MAJOR)
[Symbol]	TRACT LINE	[Symbol]	CONTOUR (MINOR)
[Symbol]	LOT LINE	[Symbol]	DIRECTION OF SURFACE FLOW
[Symbol]	LOT SETBACK	[Symbol]	NORMAL WATER LEVEL
[Symbol]	UTILITY EASEMENT (U.E.)	[Symbol]	SEASON HIGH WATER LEVEL
[Symbol]	DRAINAGE EASEMENT (D.E.)	[Symbol]	POND MAINTENANCE BERM
[Symbol]	EASEMENT (OTHER)	[Symbol]	STORM STRUCTURE NUMBER
[Symbol]	CURB	[Symbol]	STORM DRAINAGE MANHOLE
[Symbol]	CURB AND GUTTER	[Symbol]	STORM DRAINAGE INLET
[Symbol]	MAJOR CURB	[Symbol]	CONTROL STRUCTURE
[Symbol]	CONCRETE WALK	[Symbol]	OUTFALL STRUCTURE
[Symbol]	SPOT ELEVATION	[Symbol]	PIPE END (OUTFALL)
[Symbol]	ROADWAY ELEVATION	[Symbol]	SOIL BORING
[Symbol]	CONTOUR (MINOR)	[Symbol]	SOIL BORING (ROADWAY)
[Symbol]	[Symbol]	[Symbol]	SOIL BORING (POND)
[Symbol]	[Symbol]	[Symbol]	DOWNSPOUT

**SANDSTONE CIRCLE**

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'



WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 30" GROUND COVER.

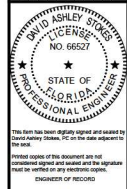
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



**MADDEN ASSOCIATES, INC.**  
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 Maitland, Florida 32751  
 (407) 520-6630  
 FAX 0007723

**PF D TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 758 DR. PHILIPS BLVD., SUITE 205  
 WINTER PARK, FL 32789  
 (407) 734-9494

NO.	DATE	REVISIONS
1	10/18/24	ISSUED FOR PERMIT
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JOB # 23083  
 DATE: 10/18/24  
 DRAWN BY: PR  
 DESIGNED BY: PR  
 APPROVED BY: DAS

**C509**

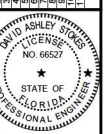


**MADDEN**  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 520-6330  
 C#4 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC**  
 780 PHILIPS BLVD. SUITE 200  
 (407) 734-9898

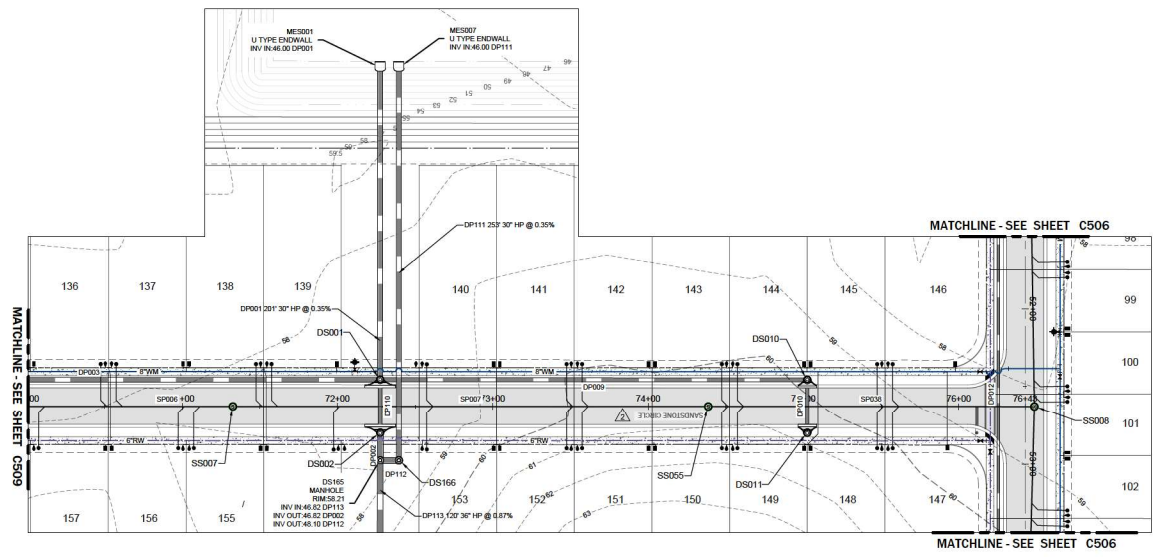
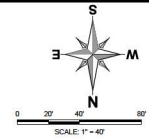
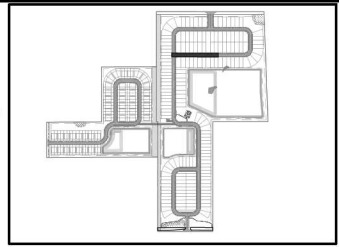
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JOB # 23083  
 DATE: 10/18/24  
 DWTM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C510**



**SANDSTONE CIRCLE**

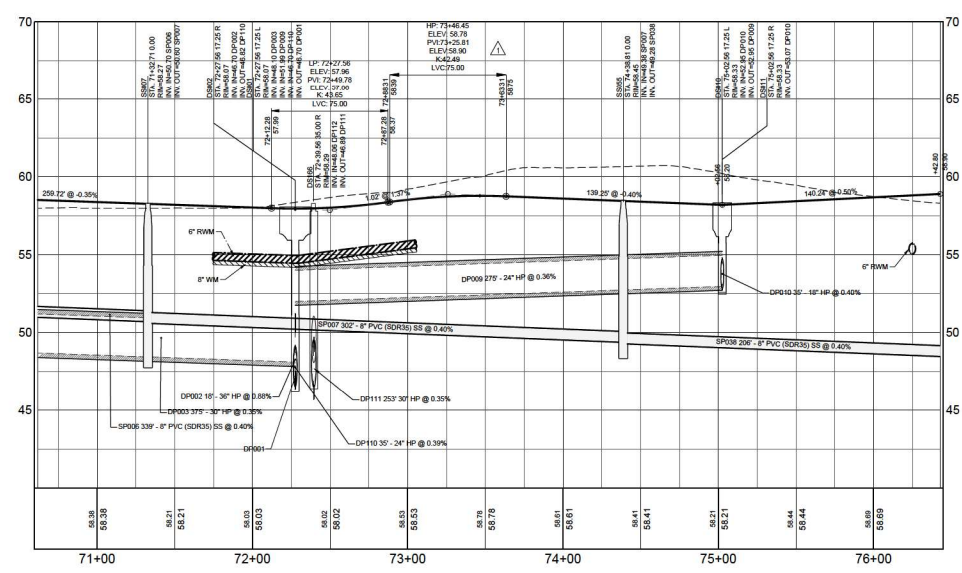
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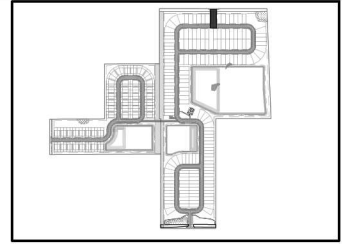
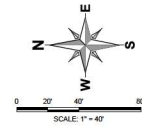
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[Symbol]	[Symbol]	RIGHT OF WAY (MINOR)
[Symbol]	[Symbol]	TRACT LINE
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	LOT SETBACK
[Symbol]	[Symbol]	UTILITY EASEMENT (U.E.)
[Symbol]	[Symbol]	DRAINAGE EASEMENT (D.E.)
[Symbol]	[Symbol]	EASEMENT (OTHER)
[Symbol]	[Symbol]	CURB
[Symbol]	[Symbol]	CURB AND GUTTER
[Symbol]	[Symbol]	MASS CURB
[Symbol]	[Symbol]	CONCRETE WALK
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	ROAD ELEVATION
[Symbol]	[Symbol]	ROAD ELEVATION
[Symbol]	[Symbol]	CONTOUR (MAJOR)
[Symbol]	[Symbol]	CONTOUR (MINOR)
[Symbol]	[Symbol]	DIRECTION OF SURFACE FLOW
[Symbol]	[Symbol]	NORMAL WATER LEVEL
[Symbol]	[Symbol]	SEASON HIGH WATER LEVEL
[Symbol]	[Symbol]	FLOOD MAINTENANCE BEAM
[Symbol]	[Symbol]	STORM STRUCTURE NUMBER
[Symbol]	[Symbol]	STORM DRAINAGE MANHOLE
[Symbol]	[Symbol]	STORM DRAINAGE INLET
[Symbol]	[Symbol]	CONTROL STRUCTURE
[Symbol]	[Symbol]	OUTFALL STRUCTURE
[Symbol]	[Symbol]	PIPE END (OUTFALL)
[Symbol]	[Symbol]	SOIL BORING
[Symbol]	[Symbol]	SOIL BORING (ROADWAY)
[Symbol]	[Symbol]	SOIL BORING (POND)
[Symbol]	[Symbol]	DOWNSPOUT

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.

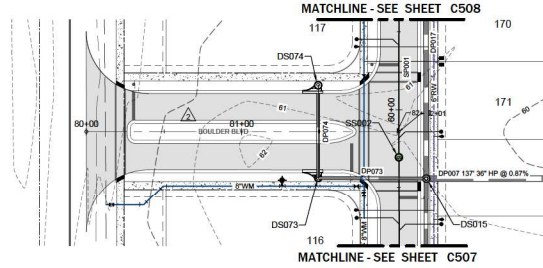




**MADDEN**  
ROADHEAD & STOKES, L.L.C.  
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Suite 200  
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(407) 520-8630  
CAF 0007723

**ROADWAY PLAN & PROFILES**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
785 DR. PHILIP BLVD., SUITE 200  
LAKE WORTH, FL 33464  
(407) 734-9898

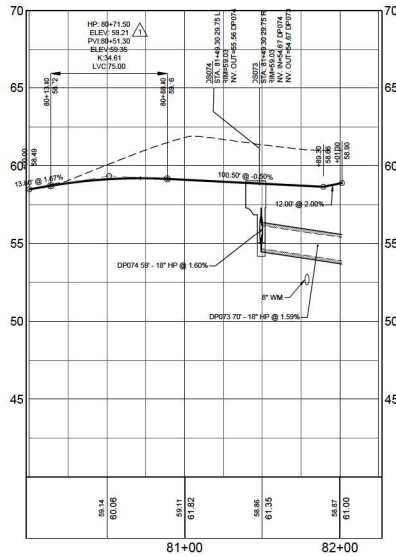


**BOULDER BLVD**

LEGEND		KEY MAP	
EXISTING	PROPOSED	NTS	
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(Symbol)	(Symbol)	(Symbol)	RIGHT OF WAY (MAJOR)
(Symbol)	(Symbol)	(Symbol)	RIGHT OF WAY (MINOR)
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(Symbol)	(Symbol)	(Symbol)	LOT LINE
(Symbol)	(Symbol)	(Symbol)	LOT SETBACK
(Symbol)	(Symbol)	(Symbol)	UTILITY EASEMENT (U.E.)
(Symbol)	(Symbol)	(Symbol)	DRAINAGE EASEMENT (D.E.)
(Symbol)	(Symbol)	(Symbol)	EASEMENT (OTHER)
(Symbol)	(Symbol)	(Symbol)	CURB
(Symbol)	(Symbol)	(Symbol)	CURB AND GUTTER
(Symbol)	(Symbol)	(Symbol)	MAJOR CURB
(Symbol)	(Symbol)	(Symbol)	CONCRETE WALK
(Symbol)	(Symbol)	(Symbol)	SPOT ELEVATION
(Symbol)	(Symbol)	(Symbol)	ROAD ELEVATION
(Symbol)	(Symbol)	(Symbol)	CONTOUR (MAJOR)
(Symbol)	(Symbol)	(Symbol)	CONTOUR (MINOR)
(Symbol)	(Symbol)	(Symbol)	DIRECTION OF SURFACE FLOW
(Symbol)	(Symbol)	(Symbol)	NORMAL WATER LEVEL
(Symbol)	(Symbol)	(Symbol)	SEASON HIGH WATER LEVEL
(Symbol)	(Symbol)	(Symbol)	FLOOD MAINTENANCE BEAM
(Symbol)	(Symbol)	(Symbol)	STORM STRUCTURE NUMBER
(Symbol)	(Symbol)	(Symbol)	STORM DRAINAGE MANHOLE
(Symbol)	(Symbol)	(Symbol)	STORM DRAINAGE INLET
(Symbol)	(Symbol)	(Symbol)	CONTROL STRUCTURE
(Symbol)	(Symbol)	(Symbol)	OUTFALL STRUCTURE
(Symbol)	(Symbol)	(Symbol)	PIPE END (OUTFALL)
(Symbol)	(Symbol)	(Symbol)	SOIL BORING
(Symbol)	(Symbol)	(Symbol)	SOIL BORING (ROADWAY)
(Symbol)	(Symbol)	(Symbol)	SOIL BORING (POND)
(Symbol)	(Symbol)	(Symbol)	DOWNSPOUT

HORIZ. SCALE: 1" = 40'  
VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.  
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



NO.	DATE	REVISIONS



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Indication of Record:

JOB # 23083  
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DWTM: NAVD 88  
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DRAWN BY: PR  
APPROVED BY: DAS

**C511**

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 C#F 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC**  
 CIVIL ENGINEER  
 780 PHILADELPHIA BLVD., SUITE 200  
 WELLSWOOD, FL 32785  
 (407) 734-9898

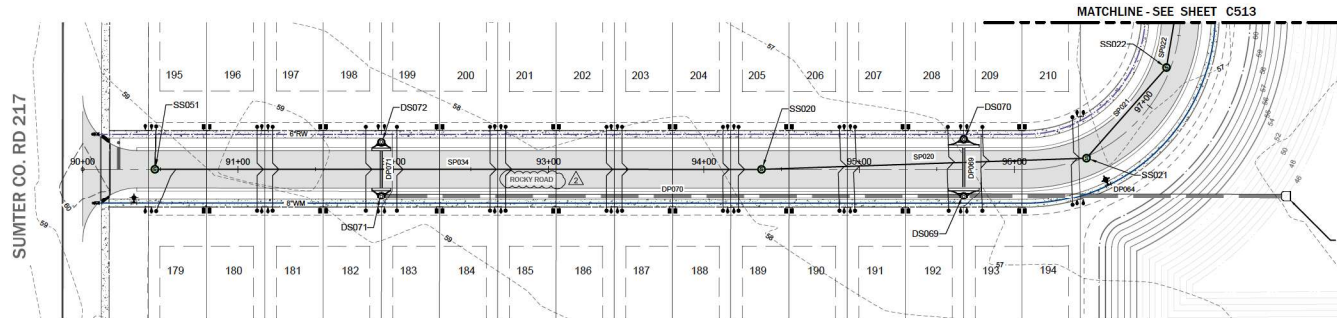
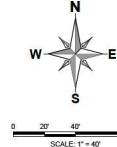
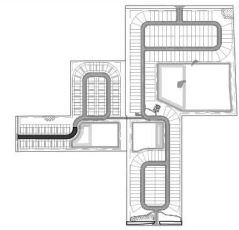
NO.	DATE	REVISIONS
1	10/18/24	ISSUED FOR PERMIT
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5	10/18/24	REVISIONS FOR COMMENTS
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JOB # 23083  
 DATE: 10/18/24  
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 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C512**



**LEGEND**

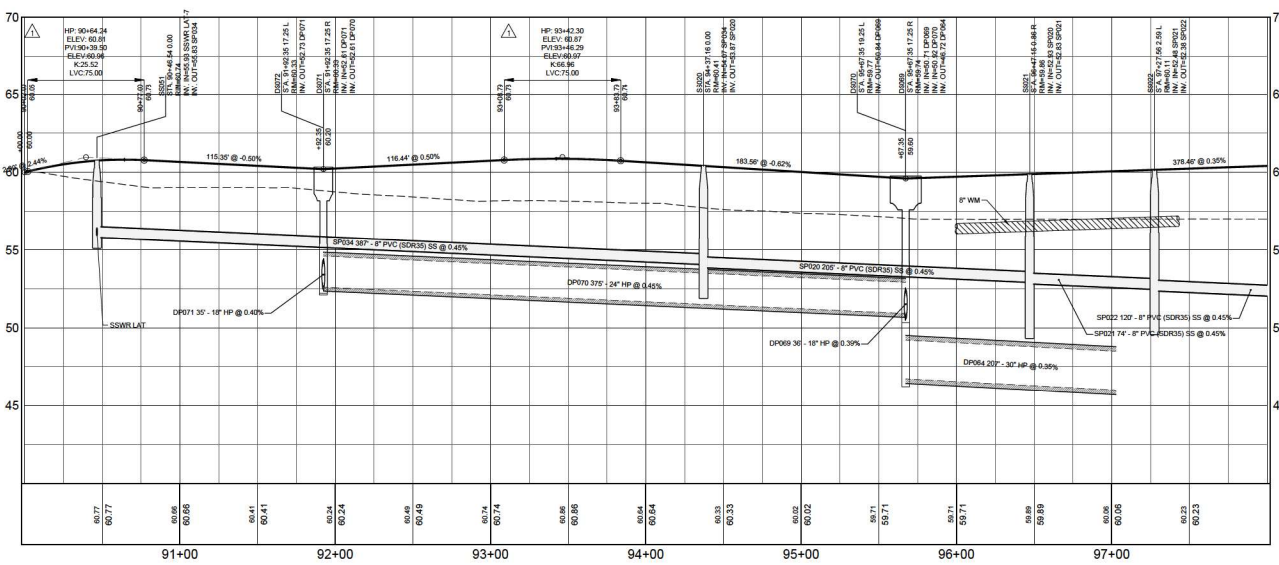
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		RIGHT OF WAY (MINOR)
		TRACT LINE
		LOT LINE
		LOT SETBACK
		UTILITY EASEMENT (OTHER)
		DRAINAGE EASEMENT (D.E.)
		EASEMENT (OTHER)
		CURB AND GUTTER
		M&M CURB
		CONCRETE WALK
		SPOT ELEVATION
		ROAD ELEVATION
		CONTOUR (MAJOR)
		CONTOUR (MINOR)
		DIRECTION OF SURFACE FLOW
		NORMAL WATER LEVEL
		SEASON HIGH WATER LEVEL
		POND MAINTENANCE BERM
		STORM STRUCTURE NUMBER
		STORM DRAINAGE MANHOLE
		STORM DRAINAGE INLET
		CONTROL STRUCTURE
		OUTFALL STRUCTURE
		PIPE END (OUTFALL)
		SOIL BORING
		SOIL BORING (ROADWAY)
		SOIL BORING (POND)
		DOWNSPOUT

**ROCKY ROAD**

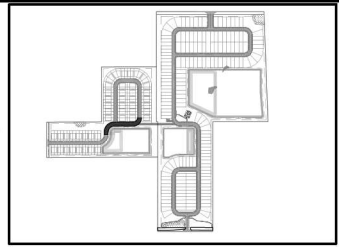
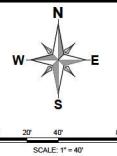
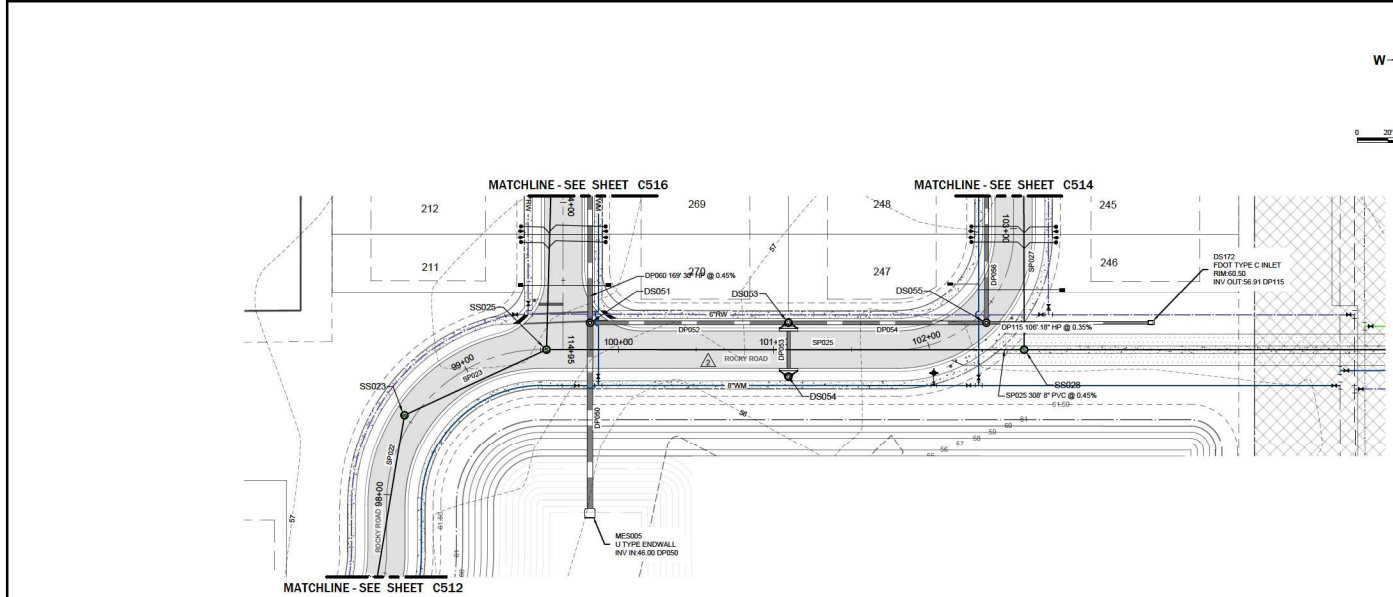
HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



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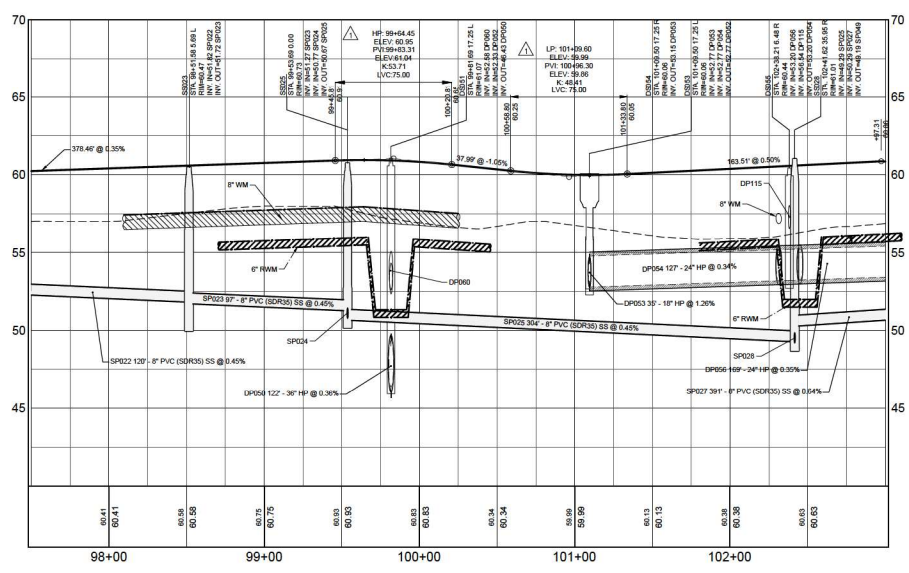
- ### KEY MAP
- ### LEGEND
- | EXISTING | PROPOSED | DESCRIPTION               |
|----------|----------|---------------------------|
| ---      | ---      | BOUNDARY                  |
| ---      | ---      | RIGHT OF WAY (MAJOR)      |
| ---      | ---      | RIGHT OF WAY (MINOR)      |
| ---      | ---      | TRACT LINE                |
| ---      | ---      | LOT LINE                  |
| ---      | ---      | LOT SETBACK               |
| ---      | ---      | UTILITY EASEMENT (U.E.)   |
| ---      | ---      | DRAINAGE EASEMENT (D.E.)  |
| ---      | ---      | EASEMENT (OTHER)          |
| ---      | ---      | CURB                      |
| ---      | ---      | CURB AND GUTTER           |
| ---      | ---      | MAJOR CURB                |
| ---      | ---      | CONCRETE WALK             |
| ---      | ---      | SPOT ELEVATION            |
| ---      | ---      | ROAD ELEVATION            |
| ---      | ---      | CONTOUR (MAJOR)           |
| ---      | ---      | CONTOUR (MINOR)           |
| ---      | ---      | DIRECTION OF SURFACE FLOW |
| ---      | ---      | NORMAL WATER LEVEL        |
| ---      | ---      | SEASON HIGH WATER LEVEL   |
| ---      | ---      | FLOOD MAINTENANCE BERM    |
| ---      | ---      | STORM STRUCTURE NUMBER    |
| ---      | ---      | STORM DRAINAGE MANHOLE    |
| ---      | ---      | STORM DRAINAGE INLET      |
| ---      | ---      | CONTROL STRUCTURE         |
| ---      | ---      | OUTFALL STRUCTURE         |
| ---      | ---      | PIPE END (OUTFALL)        |
| ---      | ---      | SOIL BORING               |
| ---      | ---      | SOIL BORING (ROADWAY)     |
| ---      | ---      | SOIL BORING (POND)        |
| ---      | ---      | DOWNSPOUT                 |

## ROCKY ROAD

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



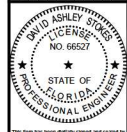
**MADDEN**  
 ROADHEAD & STOKES, LLC  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 828-6330  
 C#4 0007723

## ROADWAY PLAN & PROFILES FOR BOULDER SQUARE

CITY OF WILDWOOD

**PF D TWISTED SISTERS, LLC**  
 CIVIL ENGINEERS  
 780 DR. PHILIPPS BLVD., SUITE 205  
 WILDWOOD, FL 32994  
 (407) 734-9999

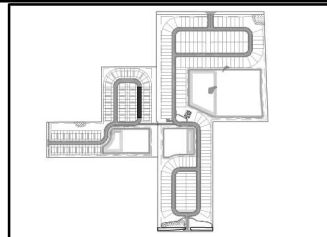
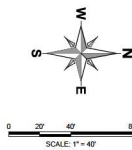
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JOB # 23083  
 DATE 10/18/24  
 DATUM NAVD83  
 DESIGNED BY PR  
 DRAWN BY PR  
 APPROVED BY DAS

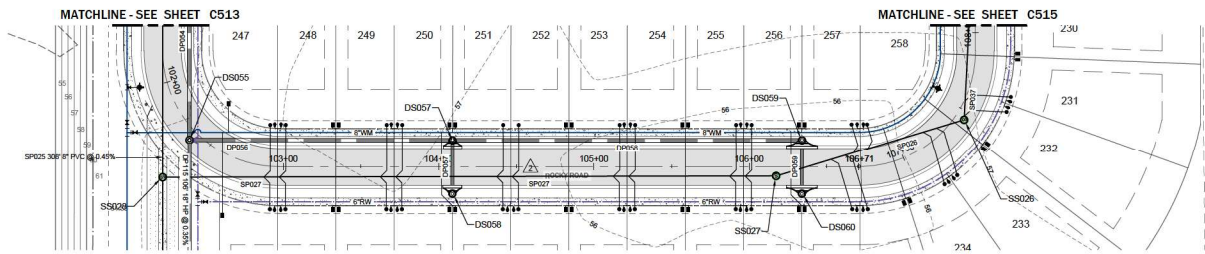
### C513



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ROADHEAD & STORCK, L.L.C.  
CIVIL ENGINEERS  
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Maitland, Florida 32751  
(407) 920-6330  
CAF 0007723

**ROADWAY PLAN & PROFILES**  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
785 DR. PHILIPPS BLVD., SUITE 200  
ORLANDO, FL 32808  
(407) 734-9898



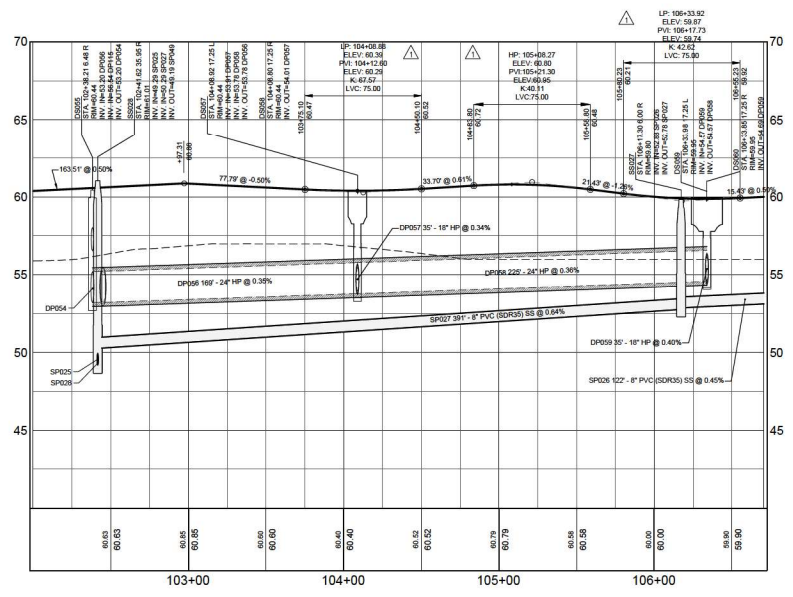
**ROCKY ROAD**

**LEGEND**

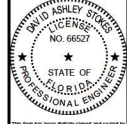
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---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB
---	---	CURB AND GUTTER
---	---	MAIM CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD E ELEVATION
---	---	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
---	---	DIRECTION OF SURFACE FLOW
---	---	NORMAL WATER LEVEL
---	---	SEASON HIGH WATER LEVEL
---	---	FLOOD MAINTENANCE BEAM
---	---	STORM STRUCTURE NUMBER
---	---	STORM DRAINAGE MANHOLE
---	---	STORM DRAINAGE INLET
---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT

HORIZ. SCALE: 1" = 40'  
VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.  
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



NO.	DATE	REVISIONS
1		
2		
3		
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9		
10		



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DATE: 10/18/24  
DRAWN BY: PR  
DESIGNED BY: PR  
APPROVED BY: DAS

**C514**



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 HORATIO A. STOKES, LLC  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 520-8630  
 CA# 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 785 DR. PHILLIPS BLVD., SUITE 205  
 WELLSWOOD, FL 32785  
 (407) 734-9898

NO.	DATE	REVISIONS



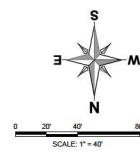
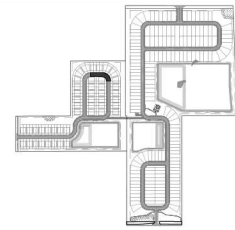
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JOB # 23083  
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 DRAWN BY: NAVD/BB  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C515**



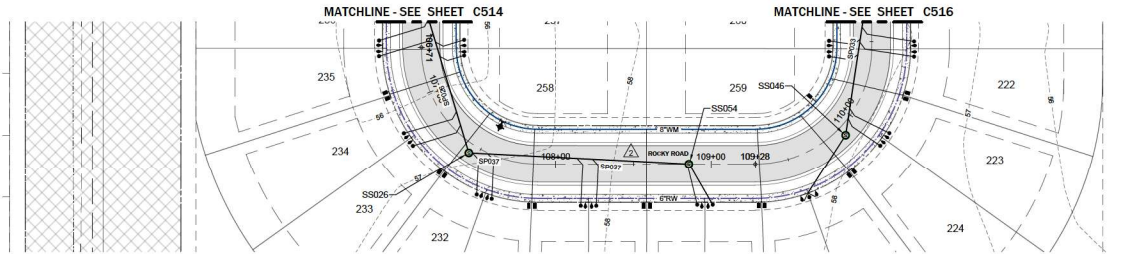
LEGEND		PROPOSED	
EXISTING		PROPOSED	
---	BOUNDARY	---	RIGHT OF WAY (MAJOR)
---	TRACT LINE	---	RIGHT OF WAY (MINOR)
---	LOT LINE	---	TRACT LINE
---	LOT SETBACK	---	UTILITY EASEMENT (U.E.)
---	UTILITY EASEMENT (U.E.)	---	DRAINAGE EASEMENT (D.E.)
---	DRAINAGE EASEMENT (D.E.)	---	EASEMENT (OTHER)
---	EASEMENT (OTHER)	---	CURB
---	CURB	---	CURB AND GUTTER
---	CURB AND GUTTER	---	MAJOR CURB
---	MAJOR CURB	---	CONCRETE WALK
---	CONCRETE WALK	---	SPOT ELEVATION
---	SPOT ELEVATION	---	ROAD E ELEVATION
---	ROAD E ELEVATION	---	CONTOUR (MAJOR)
---	CONTOUR (MAJOR)	---	CONTOUR (MINOR)
---	CONTOUR (MINOR)	---	DIRECTION OF SURFACE FLOW
---	DIRECTION OF SURFACE FLOW	---	NORMAL WATER LEVEL
---	NORMAL WATER LEVEL	---	SEASON HIGH WATER LEVEL
---	SEASON HIGH WATER LEVEL	---	FORD MAINTENANCE BERM
---	FORD MAINTENANCE BERM	---	STORM STRUCTURE NUMBER
---	STORM STRUCTURE NUMBER	---	STORM DRAINAGE MANHOLE
---	STORM DRAINAGE MANHOLE	---	STORM DRAINAGE INLET
---	STORM DRAINAGE INLET	---	CONTROL STRUCTURE
---	CONTROL STRUCTURE	---	OUTFALL STRUCTURE
---	OUTFALL STRUCTURE	---	PIPE END (OUTFALL)
---	PIPE END (OUTFALL)	---	SOIL BORING
---	SOIL BORING	---	SOIL BORING (ROADWAY)
---	SOIL BORING (ROADWAY)	---	SOIL BORING (POND)
---	SOIL BORING (POND)	---	DOWNSPOUT
---	DOWNSPOUT	---	

HORIZ. SCALE: 1" = 40'

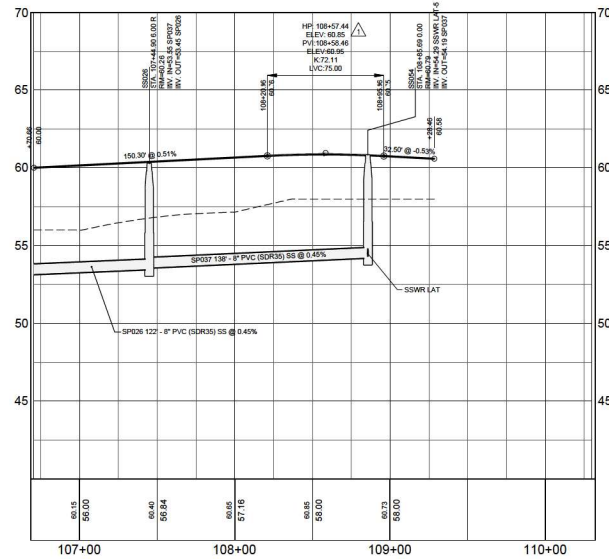
VERT. SCALE: 1" = 4'

WATER MAIN AND RE-USE WATER LINES SHALL BE BURIED WITH A MINIMUM 36" GROUND COVER.

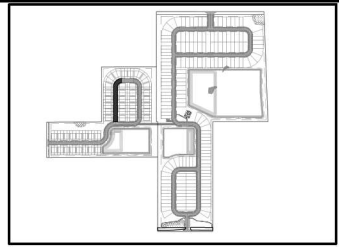
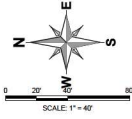
ENGINEER OF RECORD MUST INSPECT ALL WATER MAIN AND SEWER LINE CONFLICTS PRIOR TO BACKFILLING. CONTRACTOR TO PROVIDE ENGINEER 24 HOUR ADVANCE NOTICE TO SCHEDULE INSPECTION.



**ROCKY ROAD**



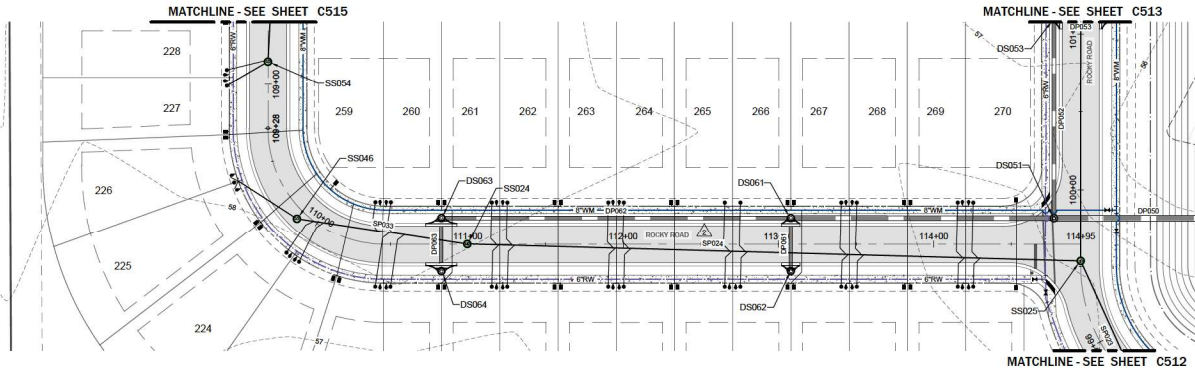
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**MADDEN**  
 ROADHEAD & STOKES, L.L.C.  
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 (407) 920-6330  
 C#4 0007723

**ROADWAY PLAN & PROFILES**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
 CIVIL ENGINEER  
 780 PHILIPPS BLVD., SUITE 205  
 WELLSWOOD, FL 32786  
 (407) 734-9398

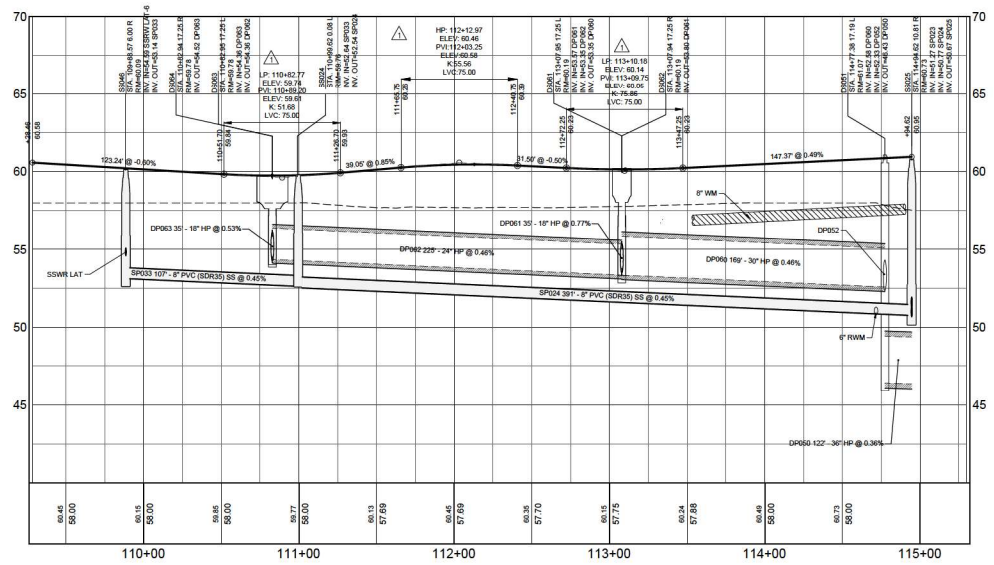


**KEY MAP**  
**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT OF WAY (MAJOR)
---	---	RIGHT OF WAY (MINOR)
---	---	TRACT LINE
---	---	LOT LINE
---	---	LOT SETBACK
---	---	UTILITY EASEMENT (U.E.)
---	---	DRAINAGE EASEMENT (D.E.)
---	---	EASEMENT (OTHER)
---	---	CURB AND GUTTER
---	---	MAJOR CURB
---	---	CONCRETE WALK
---	---	SPOT ELEVATION
---	---	ROAD ELEVATION
---	---	CONTOUR (MAJOR)
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---	---	NORMAL WATER LEVEL
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---	---	CONTROL STRUCTURE
---	---	OUTFALL STRUCTURE
---	---	PIPE END (OUTFALL)
---	---	SOIL BORING
---	---	SOIL BORING (ROADWAY)
---	---	SOIL BORING (POND)
---	---	DOWNSPOUT

**ROCKY ROAD**

HORIZ. SCALE: 1" = 40'  
 VERT. SCALE: 1" = 4'



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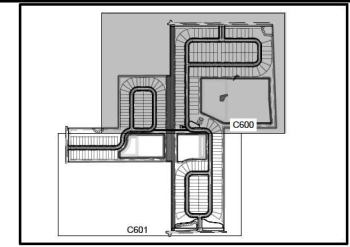
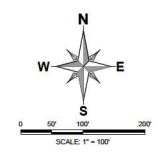
NO.	DATE	REVISIONS

**PROFESSIONAL ENGINEER**  
 STATE OF FLORIDA  
 NO. 66527

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JOB # 23083  
 DATE: 10/18/24  
 DRAWN BY: NAVD/BB  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

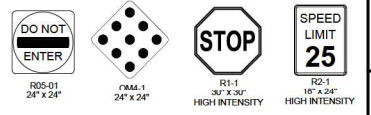
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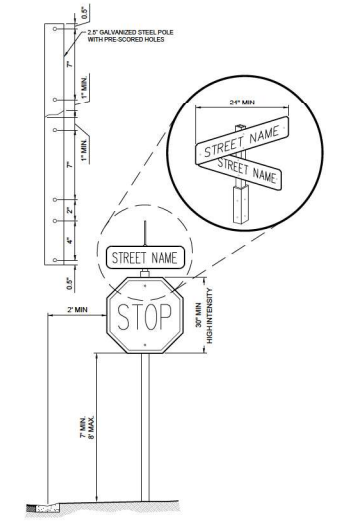
KEY MAP  
NTS

- SIGNAGE NOTES**
1. ALL STREET NAME SIGNS ARE TO BE WHITE ON BLUE INDICATING PRIVATE ROADS (NON-COUNTY).
  2. ALL STREET SIGNS TO BE DECORATIVE.
  3. ALL TEMPORARY DEAD END (B) BUTTON SIGN ARE TO BE NON-DECORATIVE.
  4. CONTRACTOR MUST SUBMIT SIGNAGE SHOP DRAWINGS FOR APPROVAL.
  5. ALL STRIPING WITHIN RIGHT OF WAY TO BE THERMOPLASTIC.
  6. ALL REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED PER FOOT INDEX 17349.
  7. ALL TRAFFIC CONTROL DEVICES MUST CONFORM TO THE FLORIDA MANUAL AND SPECIFICATIONS, INCLUDING SIGN SIZE & HEIGHT.

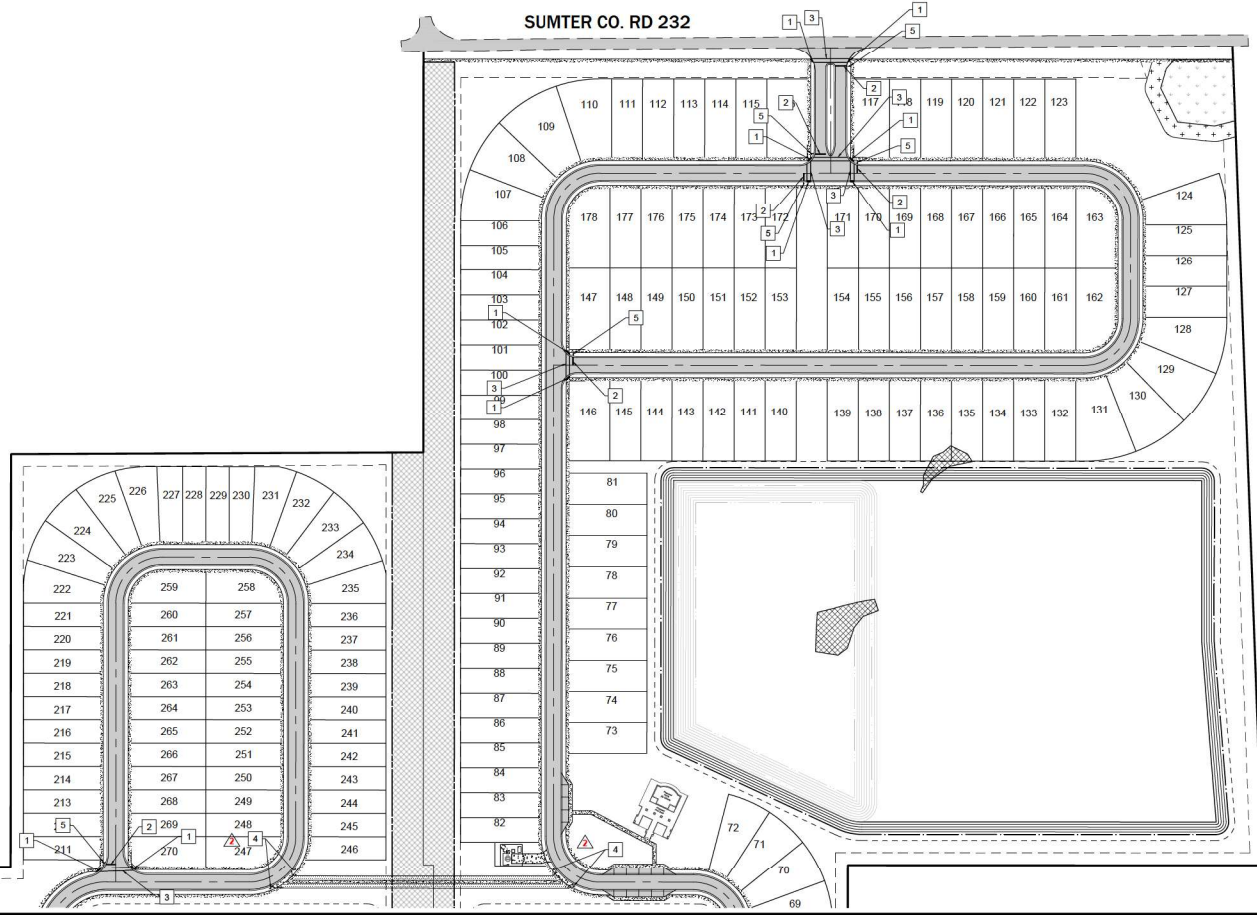
SIGN LEGEND: (PER FOOT INDEX 17349)



- # PAVEMENT MARKING NOTES**
1. DETECTABLE WARNING AND SIDEWALK RAMPS (FOOT INDEX 522-002)
  2. 24" WHITE THERMOPLASTIC STOP BAR PER FOOT INDEX 711-001
  3. STANDARD CROSSWALK PER FOOT INDEX 711-011
  5. PEDESTRIAN ONLY SIGN
  5. R1-1 STOP SIGN



SIGN MOUNTING DETAIL  
NTS



**MADDEN**  
ROADHEAD & STOKES, L.L.C.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 929-8630  
CAF 0007723

PAVEMENT MARKING & SIGNAGE PLAN  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD  
FLORIDA

PF D TWISTED SISTERS, LLC.  
780 SR PHILIPPS BLVD., SUITE 200  
ORLANDO, FLORIDA 32808  
(407) 734-9898

#	DATE	REVISIONS
1		
2		
3		
4		
5		

DAVID ASHLEY STOKES  
NO. 66527  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

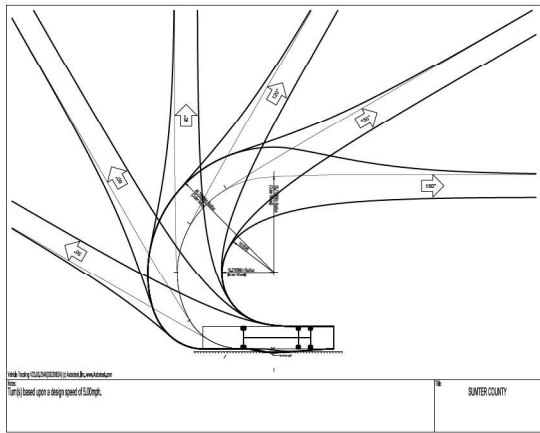
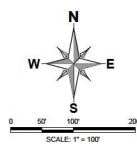
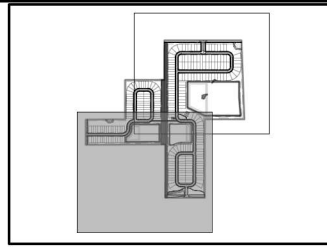
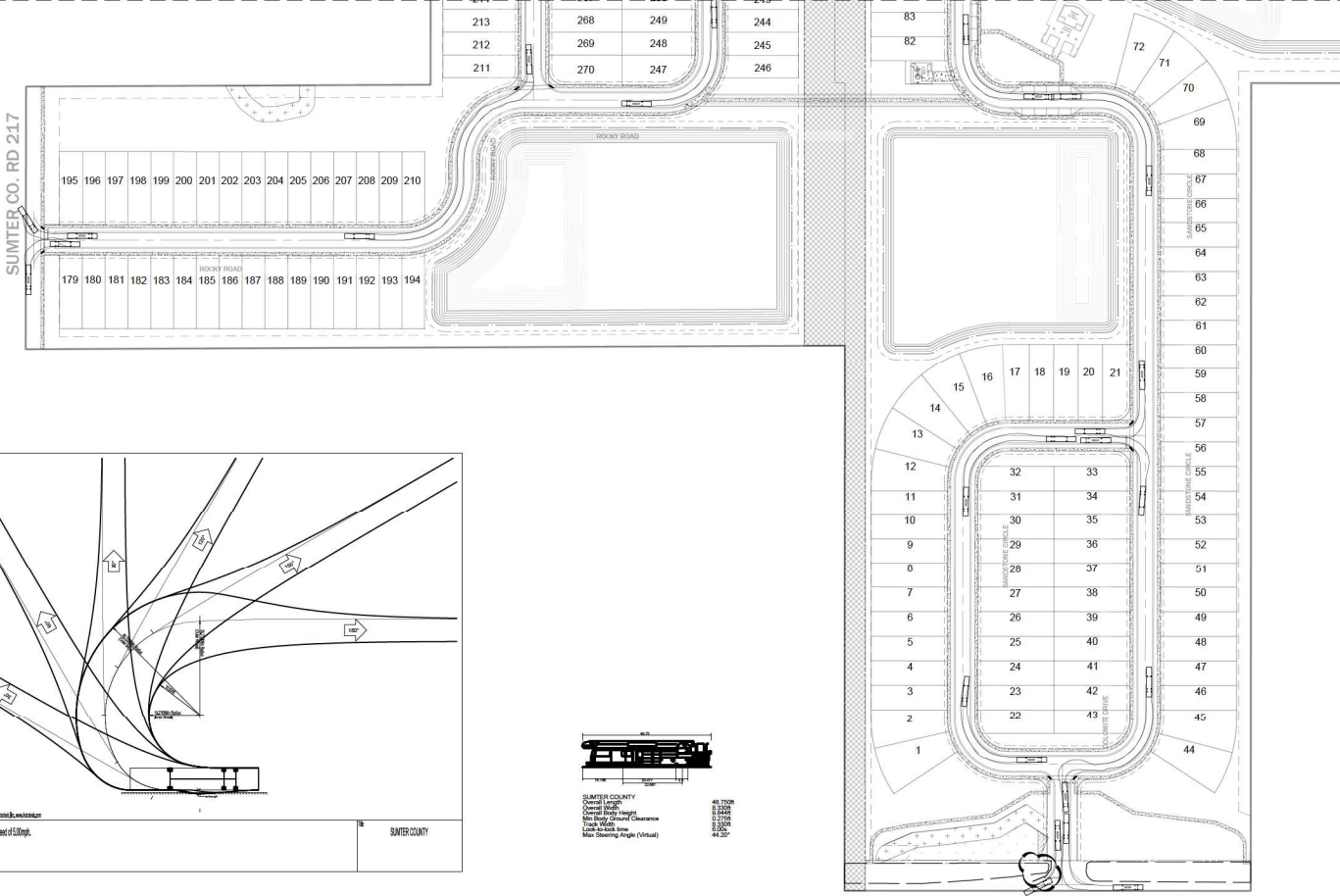
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JOB # 23083  
DATE: 10/18/24  
DWTM: NAVD 88  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C600**



MATCHLINE C-801



Overall Length	48.730E
Overall Width	8.224E
Overall Body Height	1.120E
Min. Body Clearance	1.120E
Task Width	8.224E
Min. Side Sight	44.25'
Min. Clearing Angle (VHSA)	44.25'



**MADDEN**  
 ROBINHEAD & STOKES, L.L.C.  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 920-8630  
 C#E 0007723

**VEHICULAR CIRCULATION PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WEDWOOD  
 FLORIDA

**PFD TWISTED SISTERS, LLC.**  
 785 SW PHILADELPHIA BLVD. SUITE 205  
 GAINESVILLE, FL 32609  
 (352) 734-9898

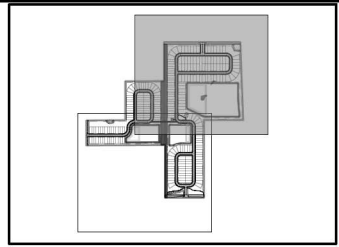
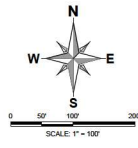
NO. REVISIONS	DATE	REVISIONS



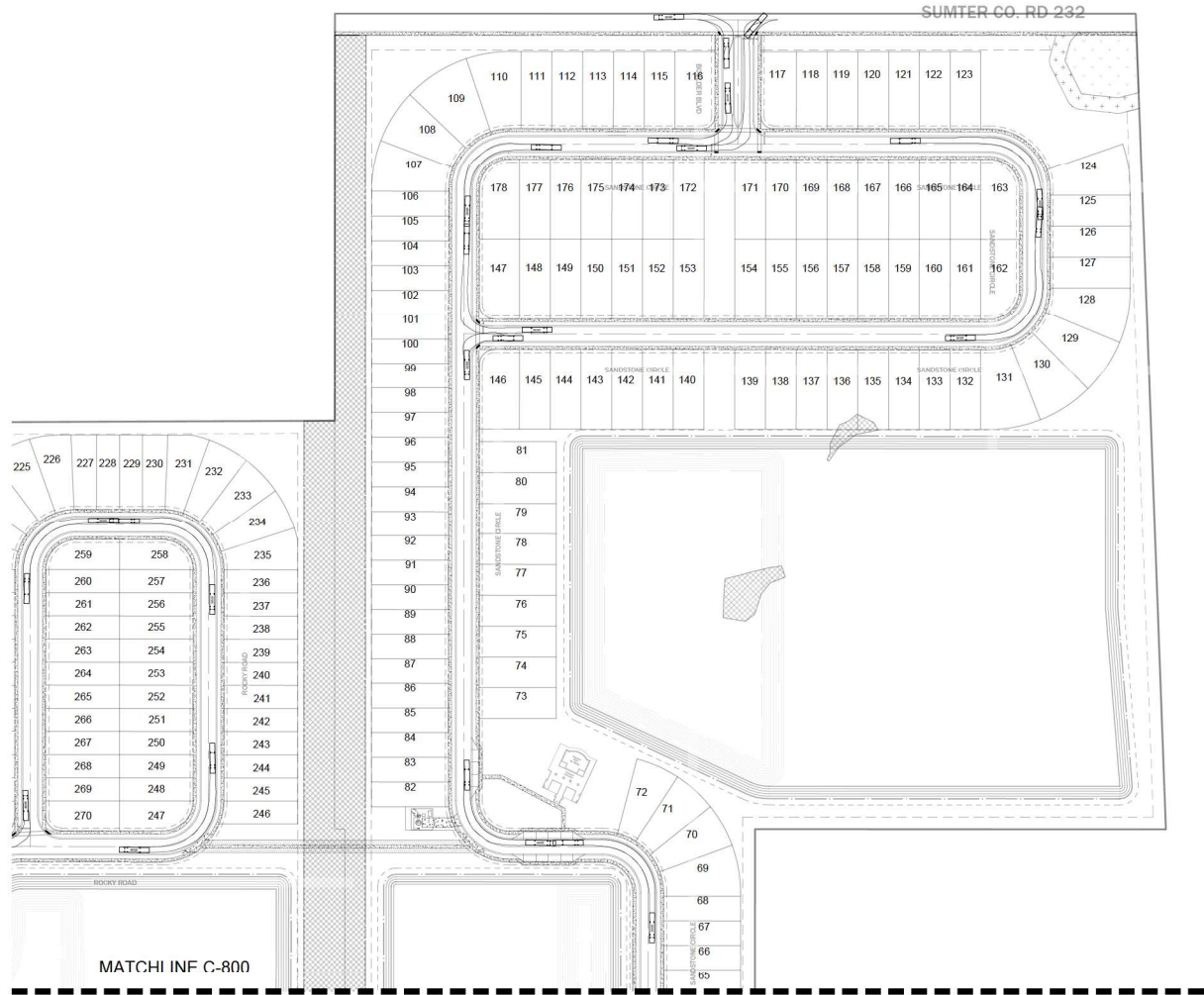
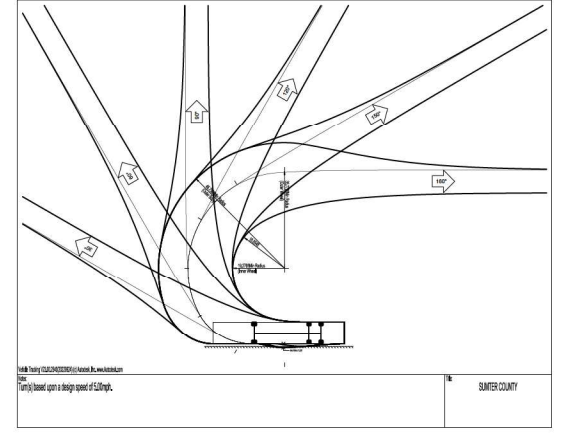
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 DATUM: NAVD 88  
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 DRAWN BY: PR  
 APPROVED BY: DAS

**C800**



KEY MAP  
NTS



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CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 520-8630  
CAF 0007723

VEHICULAR CIRCULATION PLAN  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

PF D TWISTED SISTERS, LLC.  
758 SW PHILADELPHIA BLVD., SUITE 200  
DADE COUNTY, FLORIDA 33139  
(407) 734-8998

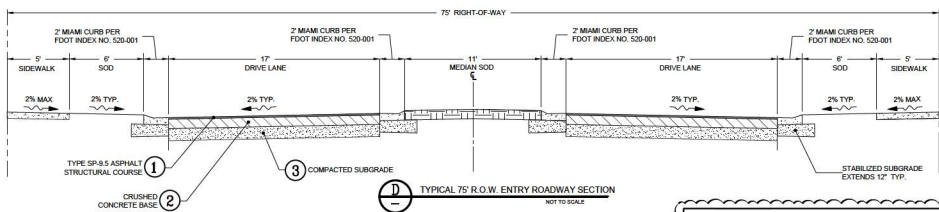
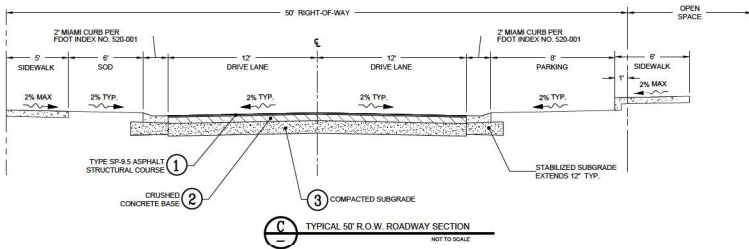
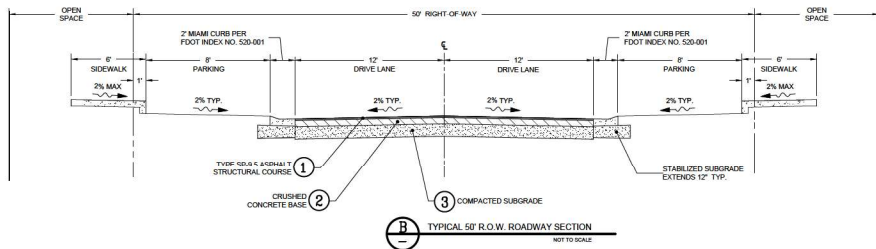
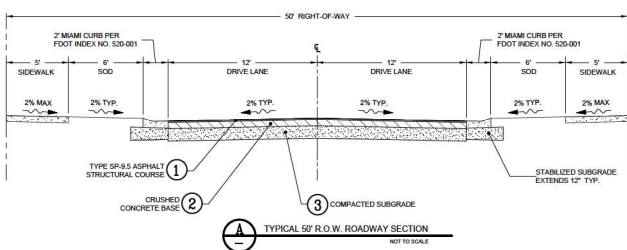
NO.	DATE	REVISIONS

PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
NO. 66527  
DAVID ASHLEY STOKES

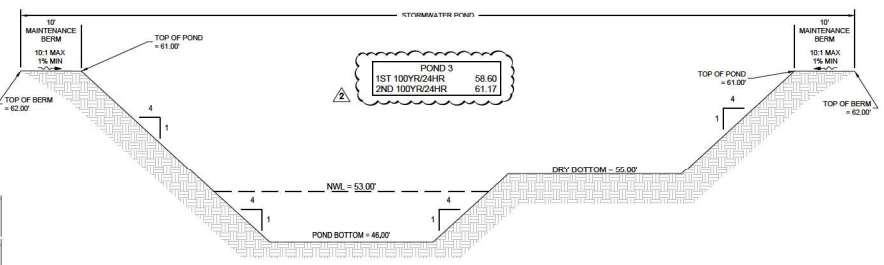
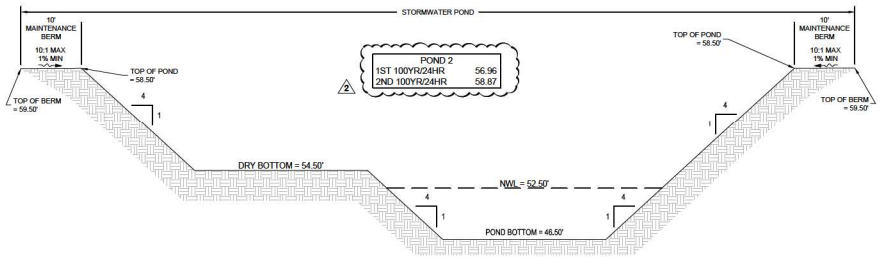
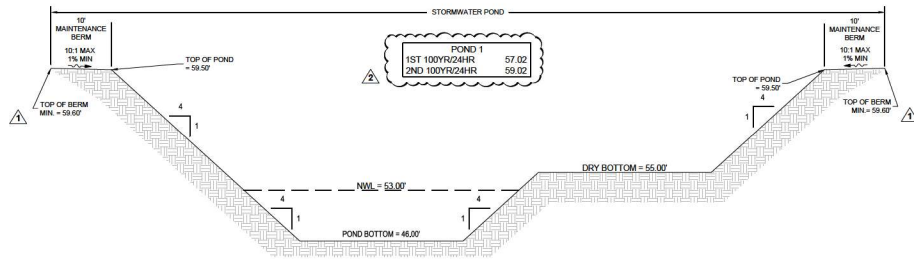
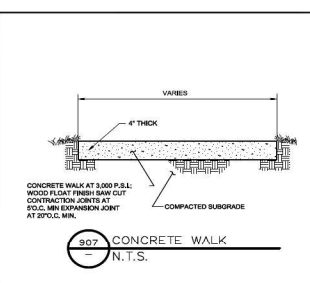
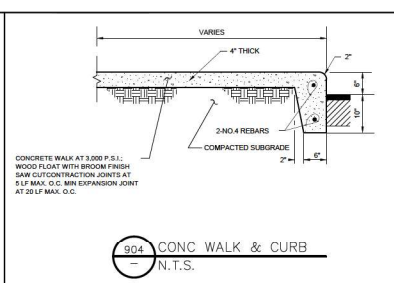
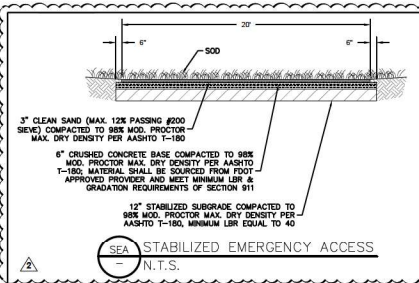
This document is prepared and issued by the Professional Engineer named above and is subject to the jurisdiction of the State of Florida. It is not to be used in any other jurisdiction.

PROJECT # 230883  
DATE 10/18/24  
DWTM NAVD 88  
DESIGNED BY PR  
DRAWN BY PR  
APPROVED BY DAS

**C801**



- PAVEMENT SPECIFICATIONS**
- ① 2" TYPE SP-9.5 STRUCTURAL COURSE (2 LIFTS)
  - ② 6" CRUSHED CONCRETE BASE COMPACTED TO 98% MAX. DRY DENSITY PER ASTM D-1557, AASHTO T-195, MINIMUM LBR 130
  - ③ 12" STABILIZED SUBGRADE, COMPACTED TO 98% MAX. DRY DENSITY PER ASTM D-1557, AASHTO T-195

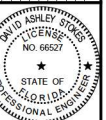


**MADDEN**  
KIDARHEAD & STOKES, L.L.C.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 920-6330  
CAF 0007723

CONSTRUCTION DETAILS  
FOR  
**BOULDER SQUARE**  
CITY OF WELLSWOOD

**PFD TWISTED SISTERS, LLC.**  
750 SW PHILADELPHIA BLVD., SUITE 205  
GAINESVILLE, FL 32609  
(352) 734-9398

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



This set has been digitally signed and sealed by David Ashley, PE, on the date adjacent to this line.  
Period scope of this document is not extended beyond the date of this seal and the signature shall be verified on any revision copies.  
Date of Record:

JOB # 23083  
DATE: 10/18/24  
DWTM: N/A/D/S/B  
DESIGNED BY: PR  
DRAWN BY: PR  
APPROVED BY: DAS

**C900**

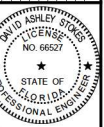


**MADDEN**  
 ROBERTSON & STOKES, L.L.C.  
**CIVIL ENGINEERS**  
 431 E. Horatio Avenue  
 Suite 200  
 Maitland, Florida 32751  
 (407) 920-8630  
 CA# 0007723

**LIFT STATION PLAN**  
 FOR  
**BOULDER SQUARE**  
 CITY OF WILLOWOOD

**PFD TWISTED SISTERS, LLC.**  
 785 DR. PHILIPPS BLVD., SUITE 200  
 WILLOWOOD, FL 32795  
 (407) 734-9898

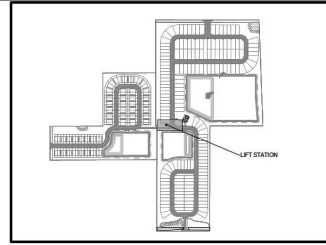
NO.	DATE	REVISIONS



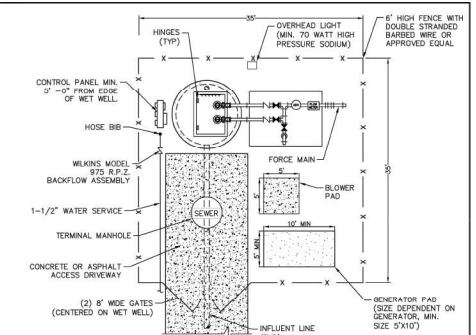
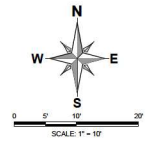
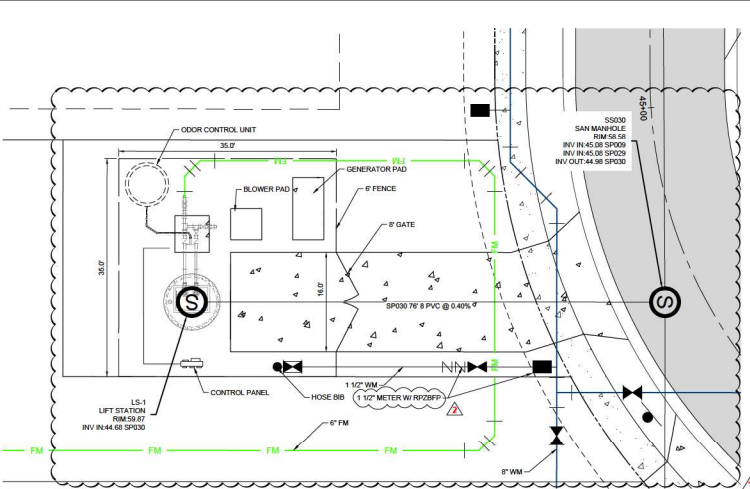
This seal may be used only on projects for which the engineer is licensed and is not to be used on any other projects. It shall be used on all drawings and specifications prepared by the engineer or under the direct supervision and control of the engineer.

JOB # 23093  
 DATE: 10/18/24  
 DWTM: NAVD 88  
 DESIGNED BY: PR  
 DRAWN BY: PR  
 APPROVED BY: DAS

**C920**

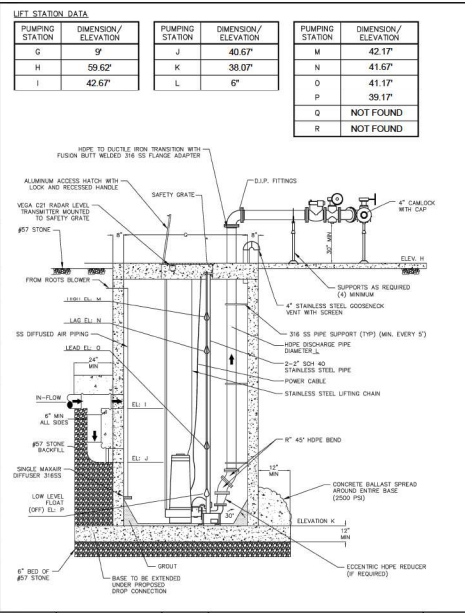


**KEY MAP**  
NTS

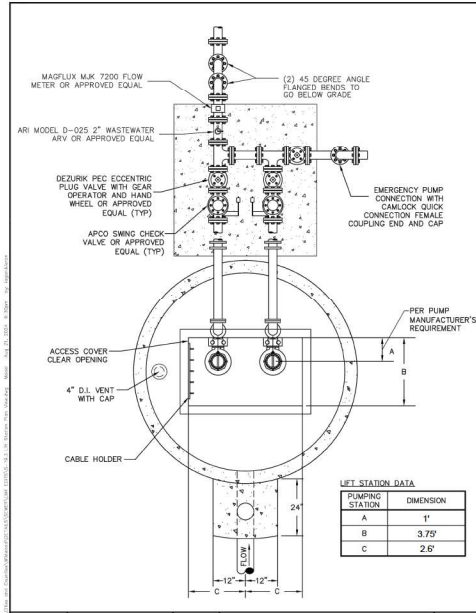


- NOTES**
- ENGINEER TO DESIGN SITE PLAN USING THE ABOVE EXAMPLE. DESIGN CRITERIA "SITE PLAN LOCATION" DETAIL SHALL BE DRAWN TO SCALE WITH:
1. NORTH ARROW.
  2. FENCE WITH 2-8" WIDE GATES.
  3. INFLUENT LINE ENTRY LOCATION.
  4. HINGE LOCATION.
  5. SHOW POWER SERVICE FEED.
  6. 5' - 0" FROM CONTROL PANEL TO EDGE OF WET WELL.
  7. DESIGN TO BE COORDINATED WITH DETAIL SHEET.
  8. FENCED AREA TO BE COVERED WITH WEED BLOCK FABRIC AND A MINIMUM OF 3" OF #57 STONE.
  9. INFLUENT MAIN SHALL BE CLEAR OF PANEL AND VAULT.
  10. MIN. LOT SIZE TO BE 35' x 35'.

CITY OF WILLOWOOD 100 NORTH MAIN STREET WILLOWOOD, FLORIDA 32795 (352) 330-1330	NONE	CITY OF WILLOWOOD SEWER DETAIL	DATE: 08-20-24	SCALE: 1/8" = 1'-0"	NO. OF SHEETS: 3	SHEET NO.: S-19
<b>TYPICAL LIFT STATION LAYOUT DETAIL</b>				<b>1 OF 3</b>		



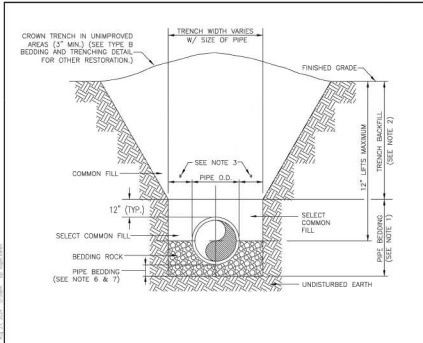
CITY OF WILLOWOOD 100 NORTH MAIN STREET WILLOWOOD, FLORIDA 32795 (352) 330-1330	NONE	CITY OF WILLOWOOD SEWER DETAIL	DATE: 08-20-24	SCALE: 1/8" = 1'-0"	NO. OF SHEETS: 3	SHEET NO.: S-19
<b>LIFT STATION SECTION VIEW</b>				<b>2 OF 3</b>		



CITY OF WILLOWOOD 100 NORTH MAIN STREET WILLOWOOD, FLORIDA 32795 (352) 330-1330	NONE	CITY OF WILLOWOOD SEWER DETAIL	DATE: 08-20-24	SCALE: 1/8" = 1'-0"	NO. OF SHEETS: 3	SHEET NO.: S-19
<b>LIFT STATION PLAN VIEW</b>				<b>3 OF 3</b>		



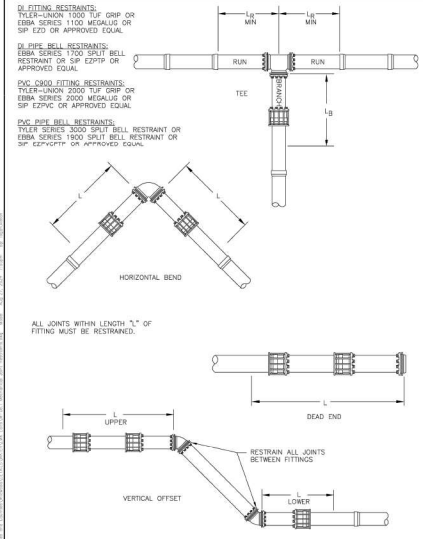




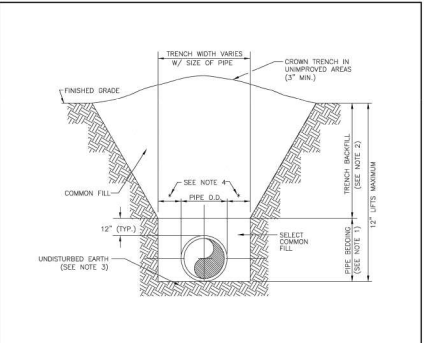
**NOTES:**

- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 90% (98% UNDER ROADWAYS) OF THE MAXIMUM DENSITY (USDT 90 PER AASHTO T-180).
- (\*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
- WHEN REQUIRED BY THE ENGINEER, GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15", AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
- DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVER DEPTH OF BEDDING ROCK BELOW THE PIPE. THE REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION WILL BE DETERMINED IN THE FIELD BY THE ENGINEER.

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		TYPE A - WET CONDITION BEDDING AND TRENCHING DETAIL	
	04-03-24		W-03 1 OF 1



CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		MECHANICAL JOINT RESTRAINTS	
	04-03-24		W-06 1 OF 1



**NOTES:**

- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER ROADWAYS) OF THE MAXIMUM DENSITY (USDT 90 PER AASHTO T-180).
- PIPE BEDDING: UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
- (\*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
- FINAL RESTORATION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		TYPE B - DRY CONDITION BEDDING AND TRENCHING DETAIL	
	04-03-24		W-04 1 OF 1

MINIMUM LENGTH OF PIPE "L" (FEET) TO BE RESTRAINED  
(SOURCES: EBBA IRON RESTRAINT LENGTH CALCULATION PROGRAM FOR PVC PIPE, 2007 3.1, AND DIPRA THRUST RESTRAINT FOR DUCTILE IRON PIPE, RELEASE 3.2)

FITTING TYPE	PIPE SIZE									
	4"	6"	8"	10"	12"	14"	16"	20"	24"	30"
90° HORIZ. BEND	17	24	31	37	43	49	55	66	76	89
45° HORIZ. BEND	7	10	13	16	19	22	25	29	32	37
22.5° HORIZ. BEND	3	5	6	7	9	10	11	13	15	18
11.25° HORIZ. BEND	2	3	4	5	6	7	8	9	10	12
45° VERT. OFFSET	16	22	29	34	41	48	52	64	74	89
90° VERT. OFFSET	7	10	13	16	19	22	25	31	36	43
11.25° VERT. OFFSET	3	5	6	7	9	10	11	13	15	18
VALVE (HEAD END)	36	53	69	85	98	112	129	153	179	214
VALVE (TAIL END)	38	53	69	85	98	112	129	153	179	214
TEE (BRANCH REST.)	87X * 1	28	46	64	—	—	—	—	—	—
REDUCER (LARGER PIPE RESTRAINT)	12X * 1	8	35	56	73	92	—	—	—	—
	18X * 1	1	29	51	71	90	108	—	—	—
	20X * 1	1	18	42	64	85	101	133	—	—
	24X * 1	1	1	5	32	55	77	95	139	158
	30X * 1	27	—	—	15	42	65	84	125	152
	36X * 1	50	29	—	—	—	—	—	—	—
	48X * 1	86	51	28	—	—	—	—	—	—
	60X * 1	85	71	52	48	—	—	—	—	—
	72X * 1	101	89	73	69	29	—	—	—	—
	90X * 1	112	106	82	89	54	29	—	—	—
	108X * 1	146	138	126	133	95	77	54	—	—
	126X * 1	173	166	157	146	132	88	77	54	—
	150X * 1	208	204	197	188	178	108	101	77	76

**NOTES:**

- THE DATA IN THE ABOVE TABLE ARE BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:  
SOIL TYPE - SP TRENCH TYPE - 3 TEST PRESSURE - 150 PSI  
DEPTH FACTOR - 1.5 DEPTH OF BURY - 3' VERTICAL OFFSET - 5'
- THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON AND PVC PIPE.
- ALL JOINTS BETWEEN UPPER AND LOWER BENDS SHALL BE RESTRAINED.
- RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES.
- THIS TABLE IS FOR SP SOILS. THE ENGINEER IS TO BE NOTIFIED IF OTHER PIPE SOILS ARE ENCOUNTERED.
- ALL PIPES SHALL BE RESTRAINED PER THE LENGTHS AS CALLED FOR IN THE ABOVE REFERENCED TABLE. THE COSTS FOR THESE RESTRAINED JOINTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PIPE.
- ANY CALL OUTS AS NOTED ON THE PLANS FOR "TUP GRIP" RESTRAINTS OR "MEGALUGS" ARE IN ADDITION TO THOSE AS NOTED AND CALLED FOR IN THE ABOVE TABLE.

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		MECHANICAL JOINT RESTRAINTS	
	04-03-24		W-06 2 OF 2

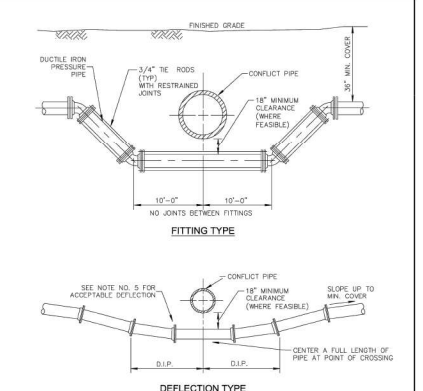
LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
WATER MAIN			ALTERNATE 3 FT. MINIMUM
STORM SEWER STORMWATER FORCE MAIN, RECLAIMED WATER (2)	3 FT. MINIMUM	12 INCHES IS THE MINIMUM SEPARATION FOR CROSSINGS WHEN 6 INCHES IS THE MINIMUM	WATER MAIN
VACUUM SANITARY SEWER	3 FT. MINIMUM	12 INCHES IS THE MINIMUM SEPARATION FOR CROSSINGS WHEN 6 INCHES IS THE MINIMUM	WATER MAIN
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	3 FT. MINIMUM	12 INCHES IS THE MINIMUM SEPARATION FOR CROSSINGS WHEN 6 INCHES IS THE MINIMUM	WATER MAIN
ON-SITE SEWAGE TREATMENT PLANT SYSTEM	10 FT. MINIMUM		

**NOTES:**

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		SEPARATION OF WATER MAINS	
	04-03-24		W-05 1 OF 1



**NOTES:**

- THERE SHALL BE IN ALL CASES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN WATER MAINS AND FORCE MAINS.
- WHEREVER POSSIBLE WATER MAINS SHALL PASS OVER FORCE MAINS OR STORM SEWERS.
- FITTINGS SHALL BE RESTRAINED WITH TUP GRIP OR MEGALUG RESTRAINTS
- THE DEFLECTION TYPE CROSSING IS PREFERRED.
- DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
- REFER TO TYPICAL RESTRAINED DETAIL W-06

CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (352) 335-1330	NONE	CITY OF WILDWOOD WATER DETAIL	
		WATER/ SEWER PIPE CONFLICT DETAIL	
	04-03-24		W-07 1 OF 1



**MADDEN**  
CONSTRUCTION & SERVICES, LLC  
**CIVIL ENGINEERS**  
431 E. Horatio Avenue  
Suite 200  
Maitland, Florida 32751  
(407) 820-8630  
CAF 0007723

**CITY UTILITY DETAILS**  
FOR  
**BOULDER SQUARE**  
CITY OF WILDWOOD

**PDF TWISTED SISTERS, LLC**  
COURTNEY PHILLIPS BOND, SUITE 200  
1407 TACKER

DATE	REVISIONS



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**JOB #** 230983  
**DATE:** 10/18/24  
**DRAWN BY:** NAVD/BB  
**DESIGNED BY:** PR  
**DRAWN BY:** PR  
**APPROVED BY:** DAS





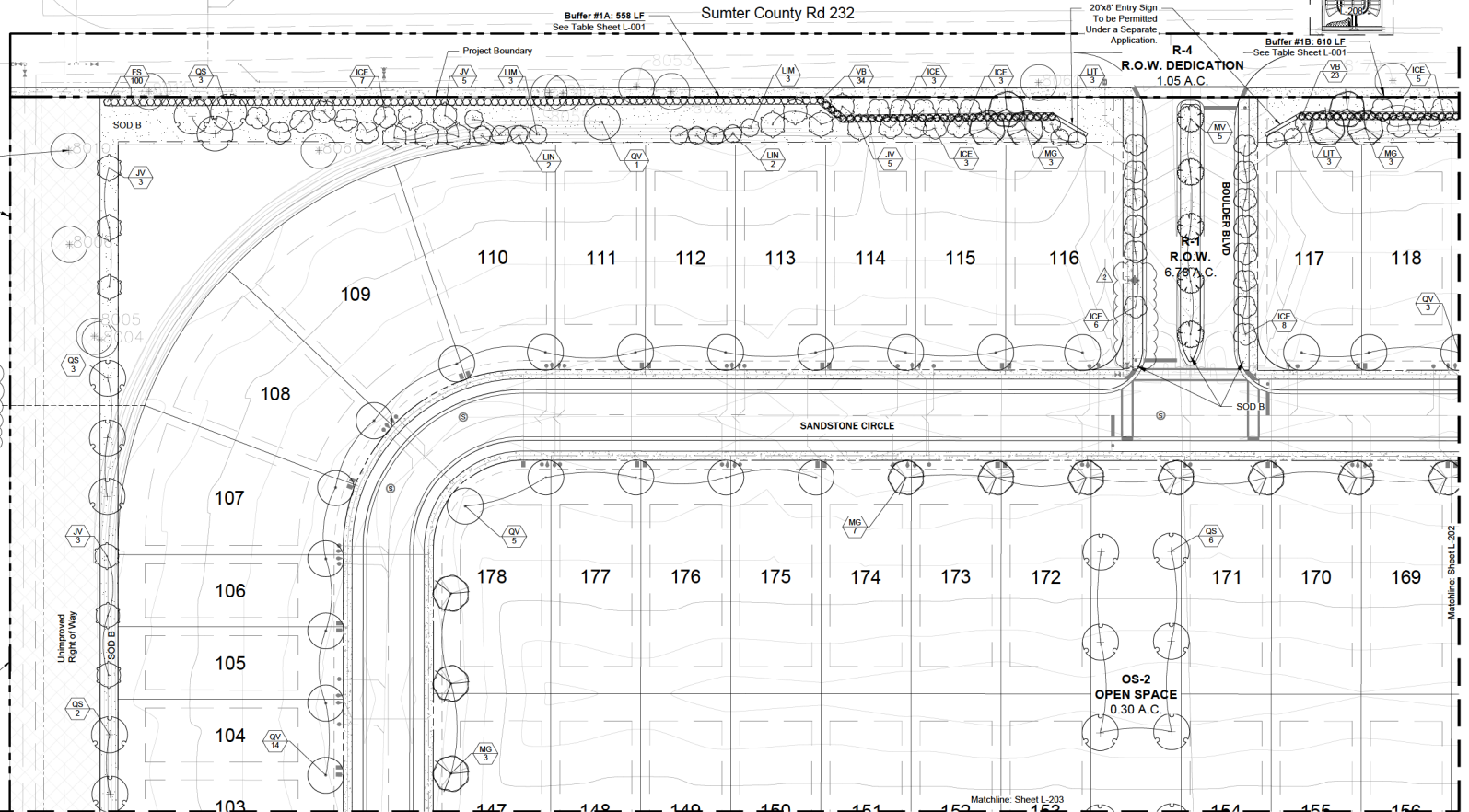
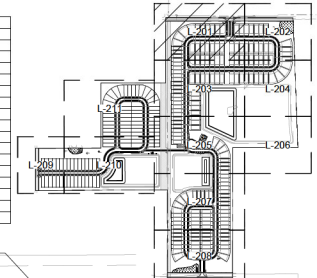




City of Wildwood  
Zoning: NNW-7  
Residential

**Plant Schedule**

Sym	Botanical	Common
AR	Aster rubrum	Red Maple
FS	Forsteria segregata	Florida Privet
ICE	Ilex cassina	Dalton Holly
R	Rhus floridana	Florida Anise
JV	Juniperus virginiana 'horizontalis'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskege'	Crape Myrtle, Light Lavender
LIN	Lagerstroemia indica 'Natchal'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tomb'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica caribea	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MP	Magnolia virginiana	Sweet Bay Magnolia
OS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum celticum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod



Existing Tree to be Preserved See Sheet A-101

Buffer #12: 628 LF See Table Sheet L-001

Limits of Landscape Buffer to be Installed During Site Development. See Buffer Note 1.

Limits of Landscape Buffer to be Installed with the Adjacent Lot. See Buffer Note 2.

**Buffer Notes:**

1. Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.
2. Trees and Shrubs Adjacent to Lots shall be Installed and Irrigated at the Time of Lot Construction.

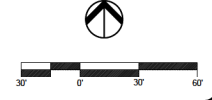
**cay design group inc.**  
 Landscape Architecture, Project Management, Development Consulting  
 918 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7273 www.caydesign.com

REV	DATE	DESCRIPTION
2	03.04.25	Revised per City Comments Dated 02.14.25

Landscape Construction Plan  
 Landscape & Arbor Plans  
**Boulder Square**  
 Wildwood, Florida



PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-201



Date: \_\_\_\_\_

Matchline: Sheet L-201

City of Wildwood  
Zoning: NMW-7  
Residential

Sumter County Rd 232

Buffer #1B: 490 LF  
See Table Sheet L-001

Buffer #1C: 131 LF  
See Table Sheet L-001

Buffer #2A: 119 LF  
See Table Sheet L-001

Limits of Landscape Buffer to be  
Installed During Site Development.  
See Buffer Note 1.

Limits of Landscape Buffer to be  
Installed with the Adjacent Lot.  
See Buffer Note 2.

Buffer #2B: 1,474 LF  
See Table Sheet L-001

119 120 121 122 123

168 167 166 165 164 163

124

125

126

127

SANDSTONE CIRCLE

SANDSTONE CIRCLE

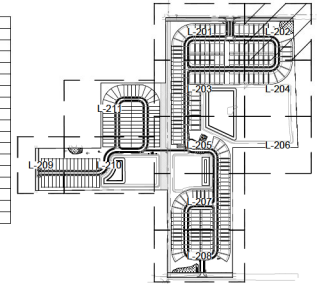
OS-1  
OPEN SPACE  
6.18 A.C.

Existing Tree  
to be Preserved  
See Sheet A-101

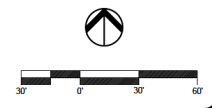
City of Wildwood  
Zoning: C-3  
Commercial

### Plant Schedule

Sym	Botanical	Common
AR	Azalea arborea	Red Maple
FS	Forsteria segetata	Florida Privet
ICE	Ilex cassina	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'horizontalis'	Southern Red Cedar
LM	Lagerstroemia indica 'Muskege'	Crape Myrtle, Light Lavender
LN	Lagerstroemia indica 'Natchal'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tomb'	Crape Myrtle, Red, Semi-Double
MC	Myrica caribaea	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
OS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum obovatum	Waker's Viburnum
SOD B	Bahia Sod	Bahia Sod



Buffer Notes:  
 1. Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.  
 2. Trees and Shrubs Adjacent to Lots shall be Installed and Irrigated at the Time of Lot Construction.



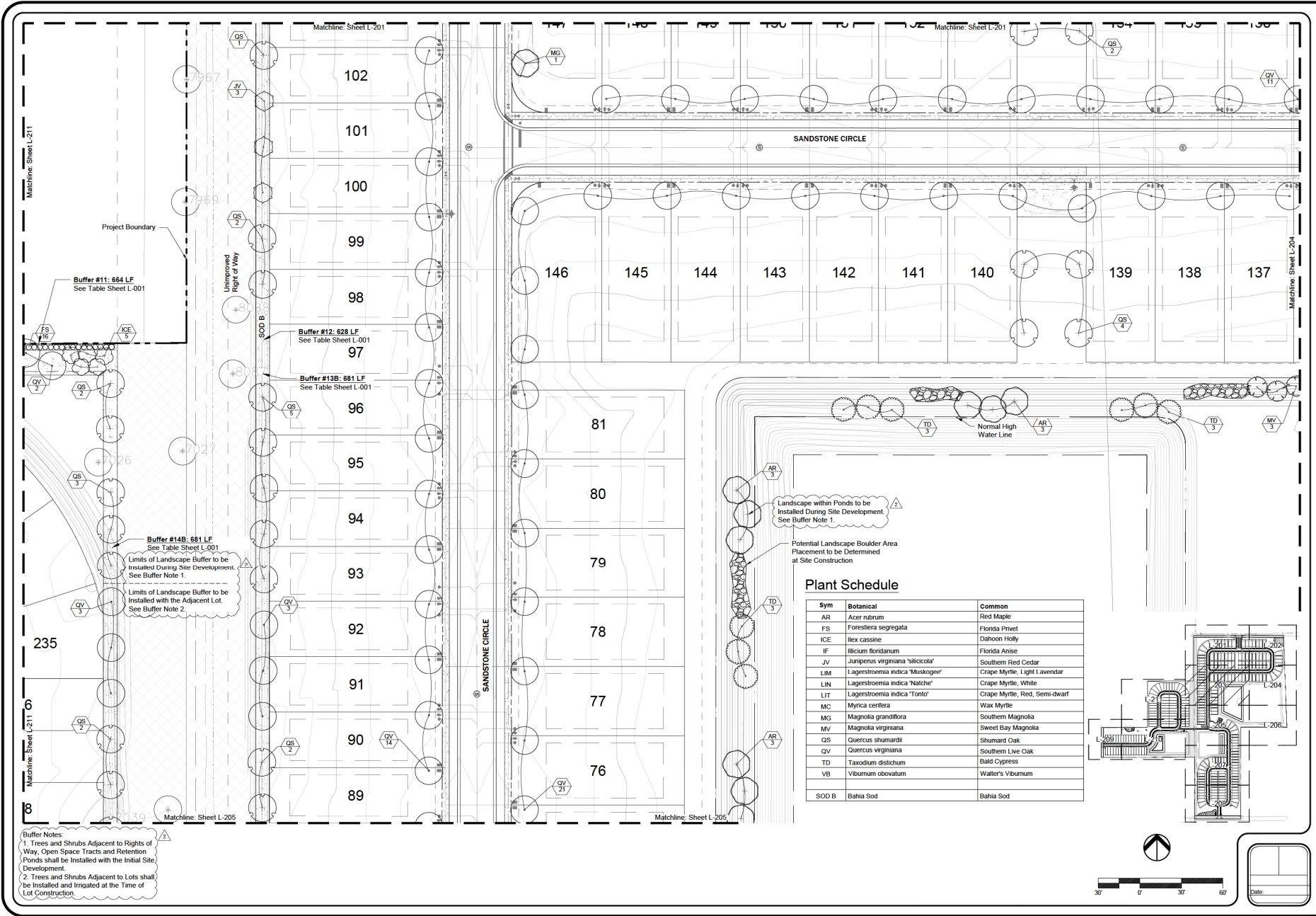
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Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Wildwood, Florida



PROJECT NO.  
24203  
SCALE  
1"=30'  
DATE  
March, 2025  
SHEET  
L-202

Date: \_\_\_\_\_



### Plant Schedule

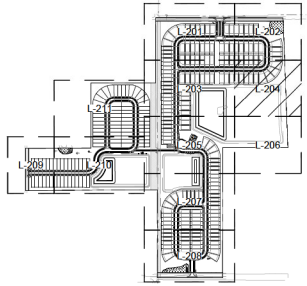
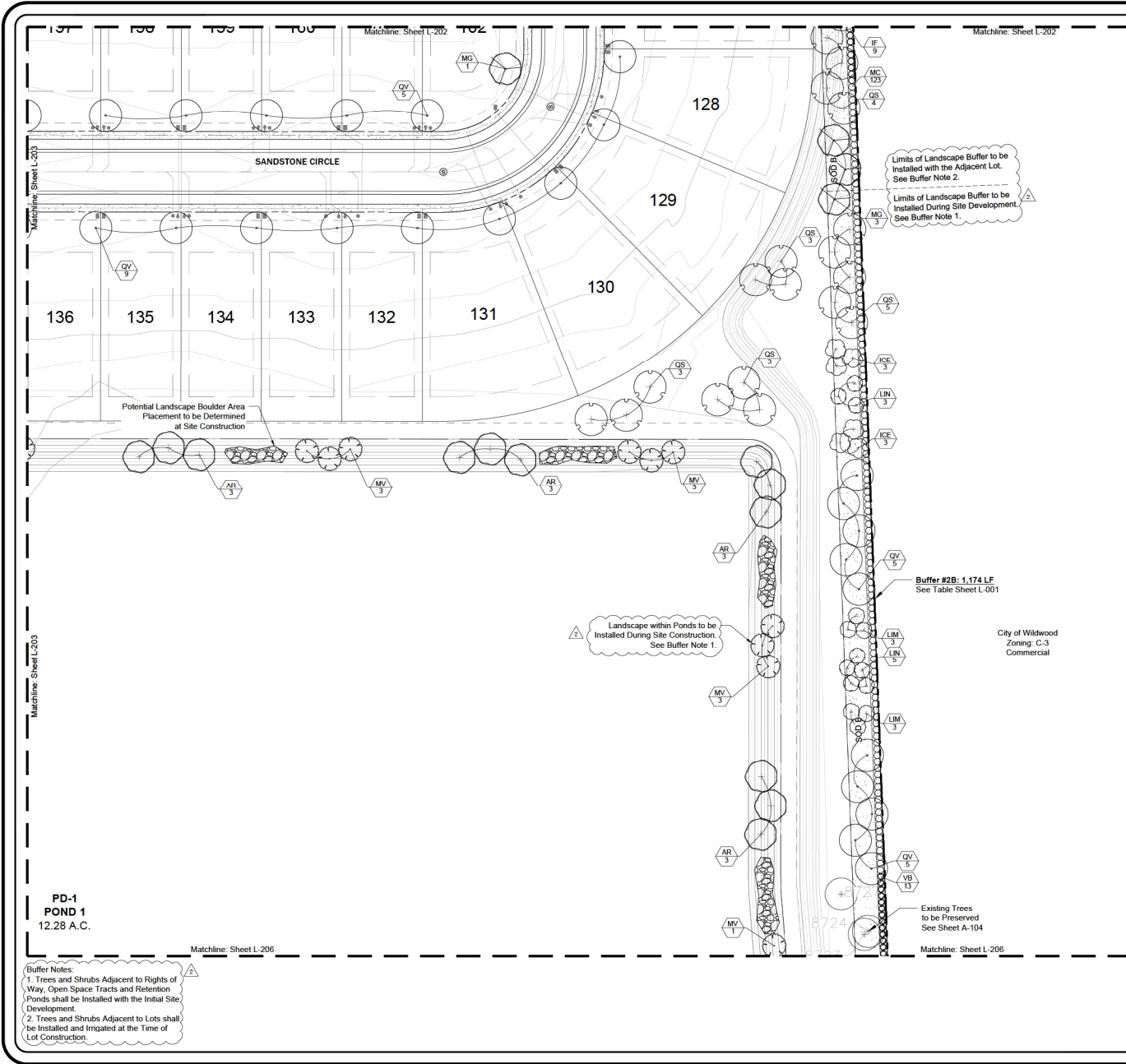
Sym	Botanical	Common
AR	Acer rubrum	Red Maple
FS	Forestiera segregata	Florida Privet
ICE	Ilex cassine	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'silicicola'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskogee'	Crape Myrtle, Light Lavendar
LIN	Lagerstroemia indica 'Natchez'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tonto'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica cerifera	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
QS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum obovatum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod

**Buffer Notes:**  
 1. Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.  
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REV	DATE	DESCRIPTION
2	03.28.25	Revised per City Comments Dated 03.14.25

PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-203



**Plant Schedule**

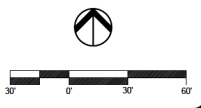
Sym	Botanical	Common
AR	<i>Acer rubrum</i>	Red Maple
FS	<i>Forestiera segregata</i>	Florida Privet
ICE	<i>Ilex cassine</i>	Dahoon Holly
IF	<i>Illicium floridanum</i>	Florida Anise
JV	<i>Juniperus virginiana 'halicacchar'</i>	Southern Red Cedar
LIM	<i>Lagerstroemia indica 'Muskogee'</i>	Crape Myrtle, Light Lavendar
LIN	<i>Lagerstroemia indica 'Natche'</i>	Crape Myrtle, White
LIT	<i>Lagerstroemia indica 'Tonto'</i>	Crape Myrtle, Red, Semi-dwarf
LIT	<i>Myrica cerifera</i>	Wax Myrtle
MC	<i>Magnolia grandiflora</i>	Southern Magnolia
MV	<i>Magnolia virginiana</i>	Sweet Bay Magnolia
QS	<i>Quercus shumardi</i>	Shumard Oak
QV	<i>Quercus virginiana</i>	Southern Live Oak
TD	<i>Taxodium distichum</i>	Bald Cypress
YB	<i>Viburnum obovatum</i>	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod

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Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Winterwood, Florida

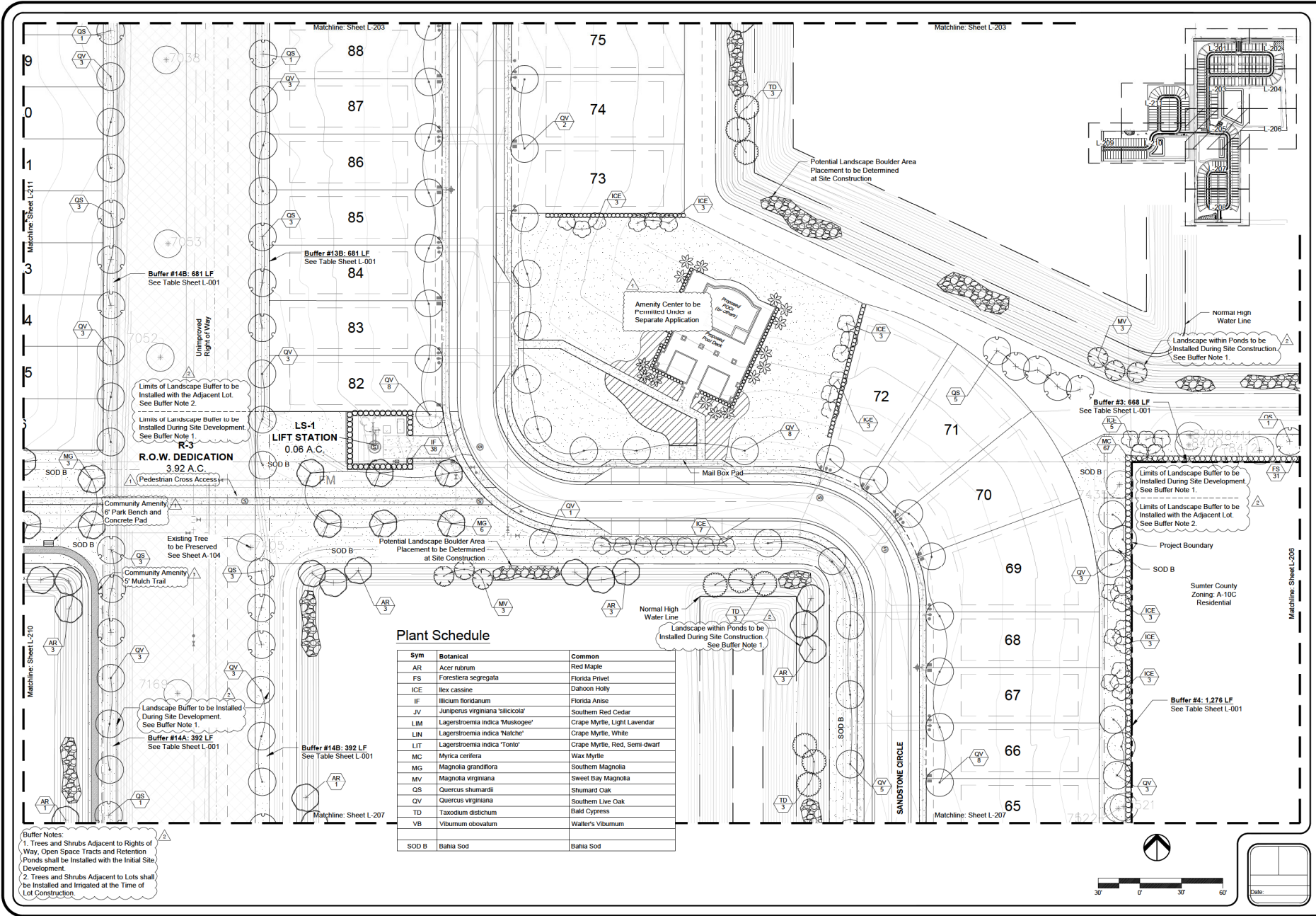


PROJECT NO.  
24203  
 SCALE  
1"=30'  
 DATE  
March, 2025  
 SHEET  
L-204



REV	DATE	DESCRIPTION
1	03.04.25	Revised per City Comments Dated 02.14.25
2		

Date: \_\_\_\_\_



**Plant Schedule**

Sym	Botanical	Common
AR	Acer rubrum	Red Maple
FS	Forestiera segregata	Florida Privet
ICE	Ilex cassine	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'sitticicola'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskoget'	Crape Myrtle, Light Lavendar
LIN	Lagerstroemia indica 'Natche'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tonto'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica cerifera	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
QS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum obovatum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod

**Buffer Notes:**  
 1. Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.  
 2. Trees and Shrubs Adjacent to Lots shall be Installed and Irrigated at the Time of Lot Construction.

**day design group inc.**  
 Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Milledgeville, Florida

REV	DATE	DESCRIPTION
1	12.12.24	Revised per City Comments Dated 12.03.24
2	03.04.25	Revised per City Comments Dated 03.14.25

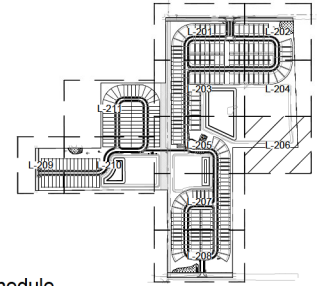
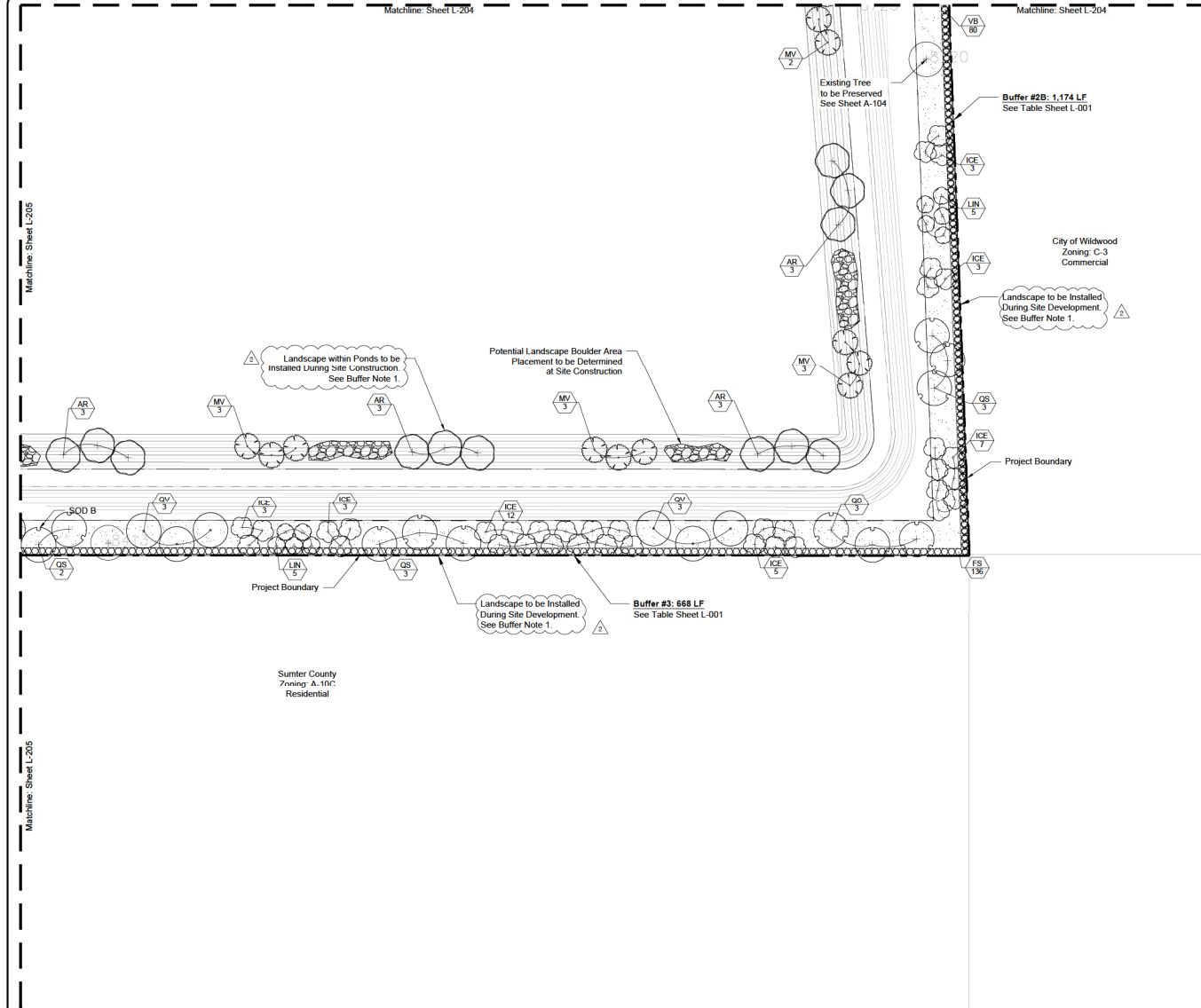
PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-205

Matchline: Sheet L-204

Matchline: Sheet L-204

Matchline: Sheet L-205

Matchline: Sheet L-205

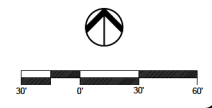


### Plant Schedule

Sym	Botanical	Common
AR	Acer rubrum	Red Maple
FS	Foresteria segregata	Florida Privet
ICE	Ilex cassine	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'silicicola'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskogee'	Crape Myrtle, Light Lavender
LIN	Lagerstroemia indica 'Natche'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tonto'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica cerifera	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
QS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum nitidum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod

**Buffer Notes:**

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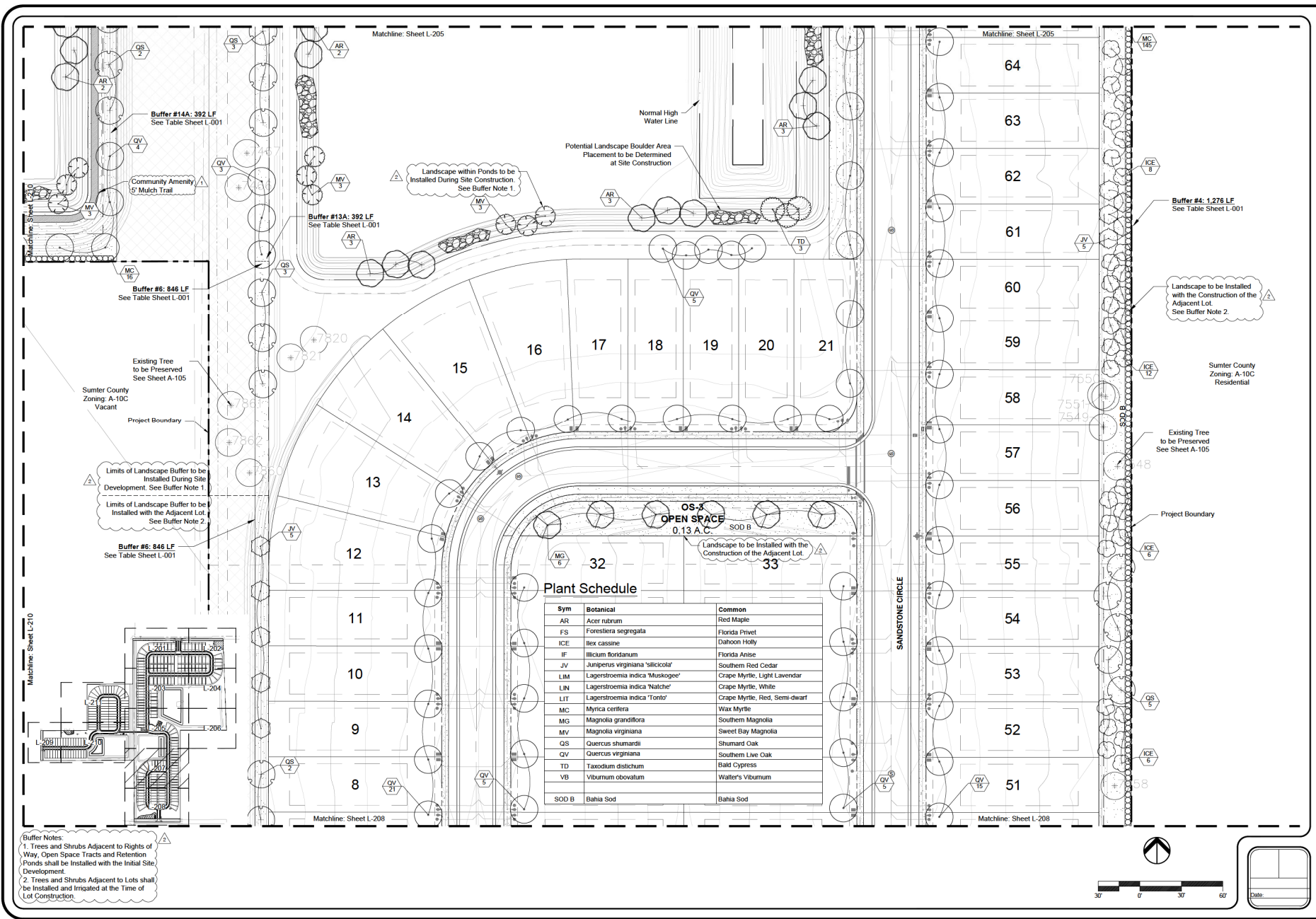
REV	DATE	DESCRIPTION
2	03.04.25	Revised per City Comments Dated 02.14.25

Landscape Construction Plan  
 Landscape & Arbor Plans  
**Boulder Square**  
 Wildwood, Florida



PROJECT NO.  
24203  
 SCALE  
1"=30'  
 DATE  
March, 2025  
 SHEET  
L-206

Date: \_\_\_\_\_



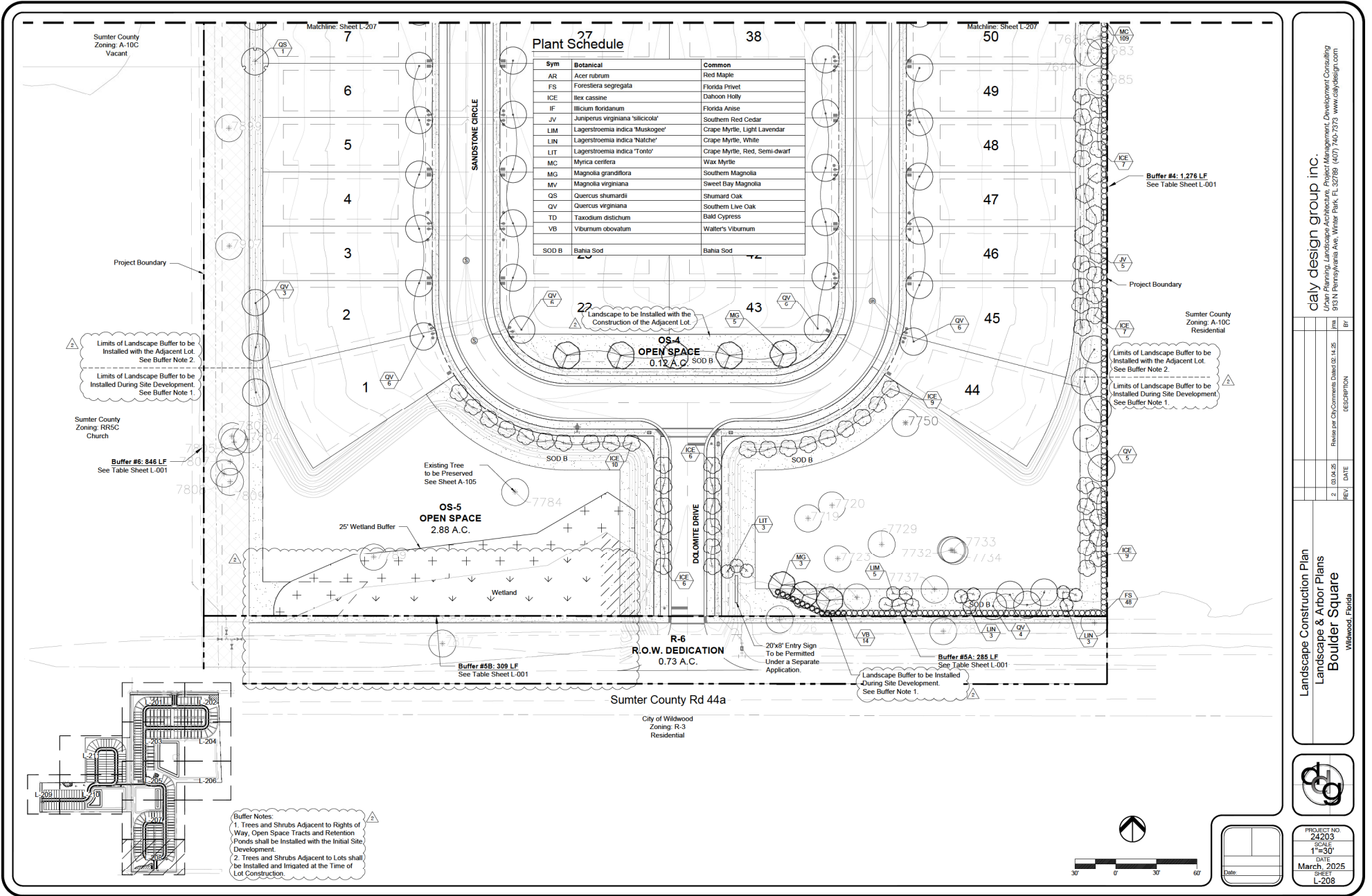
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REV	DATE	DESCRIPTION
1	12.12.24	Revise per City Comments Dated 12.03.24
2	03.04.25	Revise per City Comments Dated 03.14.25

Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Maitland, Florida



PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE: March, 2025  
 SHEET L-207



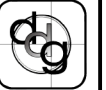
### 27 Plant Schedule 38

Sym	Botanical	Common
AR	Acer rubrum	Red Maple
FS	Forestiera segregata	Florida Privet
ICE	Ilex cassine	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'slicicola'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskogee'	Crape Myrtle, Light Lavendar
LIN	Lagerstroemia indica 'Natche'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tonto'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica centeria	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
QS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum obovatum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod

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REV	DATE	DESCRIPTION	BY
1	03.04.25	Revised per City Comments Dated 03.14.25	jma
2	03.04.25		

Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Wildwood, Florida



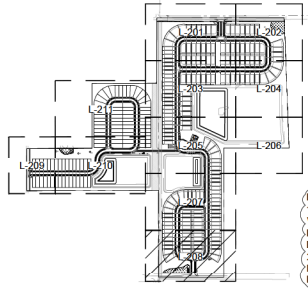
PROJECT NO.	242203
SCALE	1"=30'
DATE	March, 2025
SHEET	L-208

DATE	
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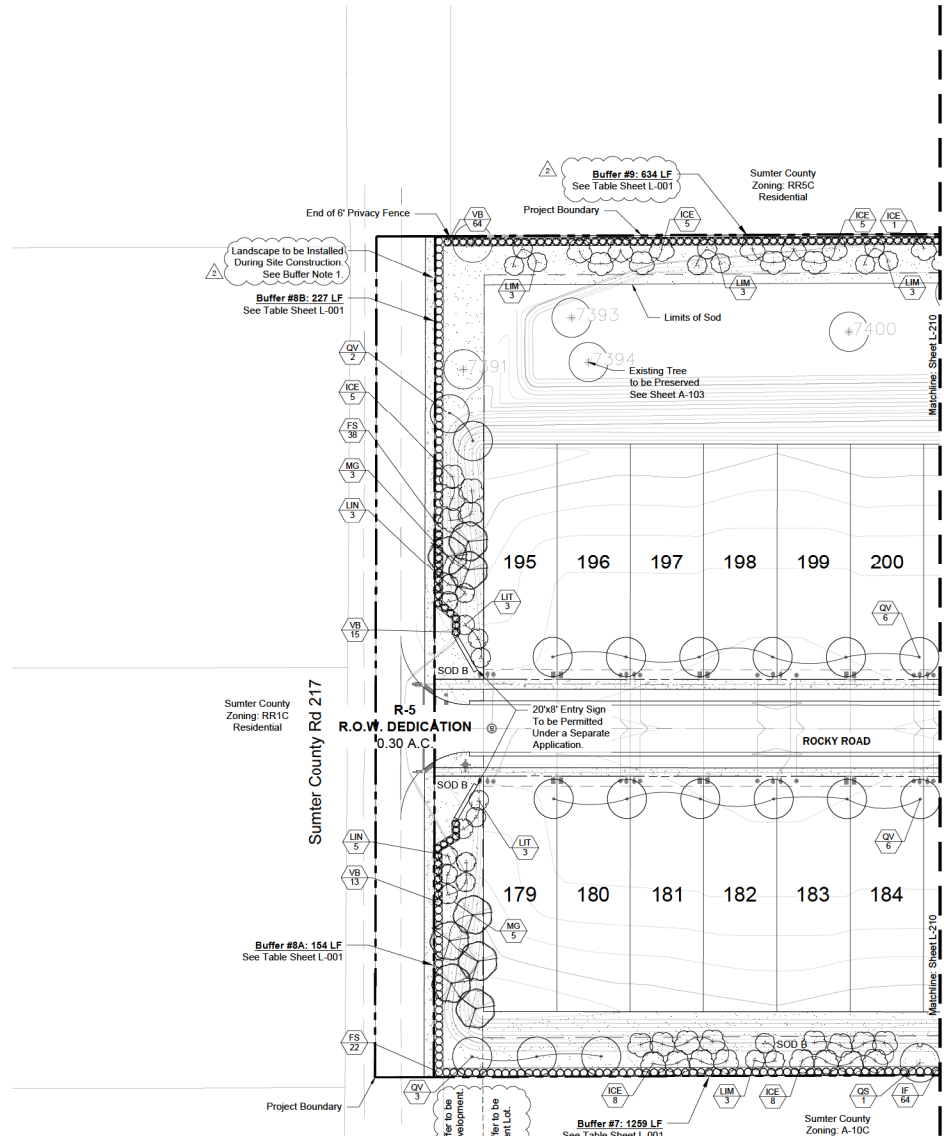
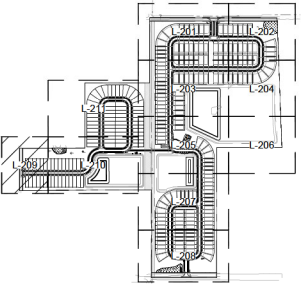
**Buffer Notes:**

- Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.
- Trees and Shrubs Adjacent to Lots shall be Installed and Irrigated at the Time of Lot Construction.



**Plant Schedule**

Sym	Botanical	Common
AR	Acer rubrum	Red Maple
FS	Forestiera segregata	Florida Privet
ICE	Ilex cassine	Dahoon Holly
IF	Illicium floridanum	Florida Anise
JV	Juniperus virginiana 'silicicola'	Southern Red Cedar
LIM	Lagerstroemia indica 'Muskogee'	Crape Myrtle, Light Lavendar
LIN	Lagerstroemia indica 'Natche'	Crape Myrtle, White
LIT	Lagerstroemia indica 'Tonto'	Crape Myrtle, Red, Semi-dwarf
MC	Myrica cerifera	Wax Myrtle
MG	Magnolia grandiflora	Southern Magnolia
MV	Magnolia virginiana	Sweet Bay Magnolia
QS	Quercus shumardi	Shumard Oak
QV	Quercus virginiana	Southern Live Oak
TD	Taxodium distichum	Bald Cypress
VB	Viburnum obovatum	Walter's Viburnum
SOD B	Bahia Sod	Bahia Sod



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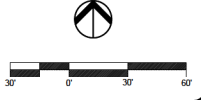
Limits of Landscape Buffer to be Installed During Site Development. See Buffer Note 1.  
 Limits of Landscape Buffer to be Installed with the Adjacent Lot. See Buffer Note 2.

Buffer #7: 1289 LF See Table Sheet L-001

Buffer #8A: 184 LF See Table Sheet L-001

Buffer #8B: 227 LF See Table Sheet L-001

Buffer #9: 634 LF See Table Sheet L-001



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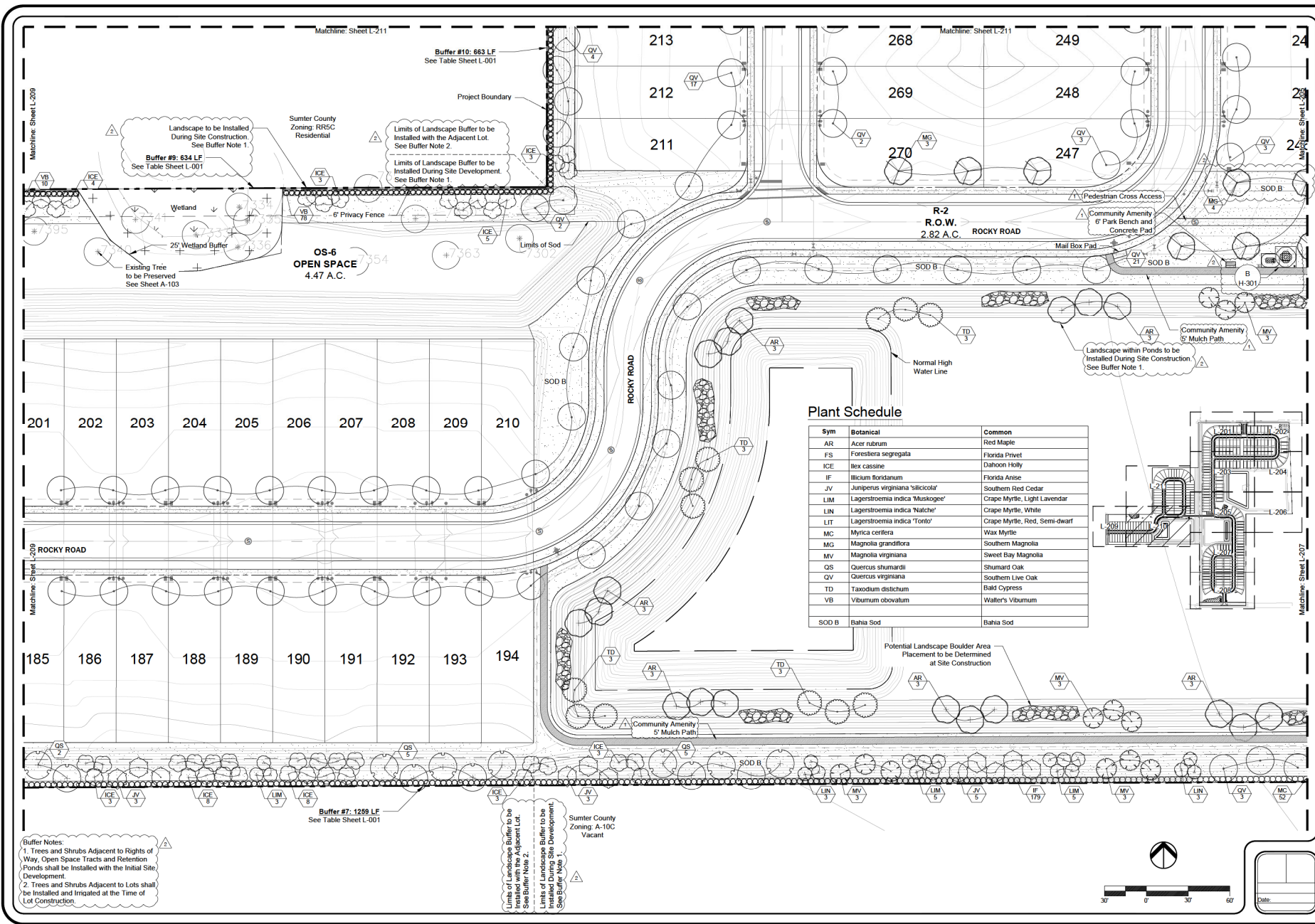
Landscape Construction Plan  
 Landscape & Arbor Plans  
 Boulder Square  
 Melbourne, Florida



PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-209

REV	DATE	DESCRIPTION
2	03.04.25	Revision per City Comments Dated 02.14.25
1		

Date: \_\_\_\_\_

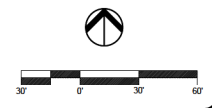


### Plant Schedule

Sym	Botanical	Common
AR	<i>Acer rubrum</i>	Red Maple
FS	<i>Forsythia segregata</i>	Florida Privet
ICE	<i>Ilex cassine</i>	Dahoon Holly
IF	<i>Illicium floridanum</i>	Florida Anise
JV	<i>Juniperus virginiana 'stricticola'</i>	Southern Red Cedar
LIM	<i>Lagerstroemia indica 'Muskogee'</i>	Cape Myrtle, Light Lavendar
LIN	<i>Lagerstroemia indica 'Natche'</i>	Cape Myrtle, White
LIT	<i>Lagerstroemia indica 'Tonto'</i>	Cape Myrtle, Red, Semi-dwarf
MC	<i>Myrica cerifera</i>	Wax Myrtle
MG	<i>Magnolia grandiflora</i>	Southern Magnolia
MV	<i>Magnolia virginiana</i>	Sweet Bay Magnolia
OS	<i>Quercus shumardi</i>	Shumard Oak
QV	<i>Quercus virginiana</i>	Southern Live Oak
TD	<i>Taxodium distichum</i>	Bald Cypress
VB	<i>Viburnum obovatum</i>	Walker's Viburnum
SOD B	Bahia Sod	Bahia Sod

**Buffer Notes:**  
 1. Trees and Shrubs Adjacent to Rights of Way, Open Space Tracts and Retention Ponds shall be Installed with the Initial Site Development.  
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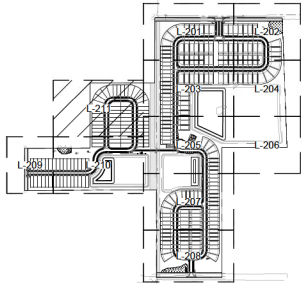
Limits of Landscape Buffer to be Installed with the Adjacent Lot. See Buffer Note 2.  
 Limits of Landscape Buffer to be Installed During Site Development. See Buffer Note 1.  
 Sumter County Zoning: A-10C Vacant



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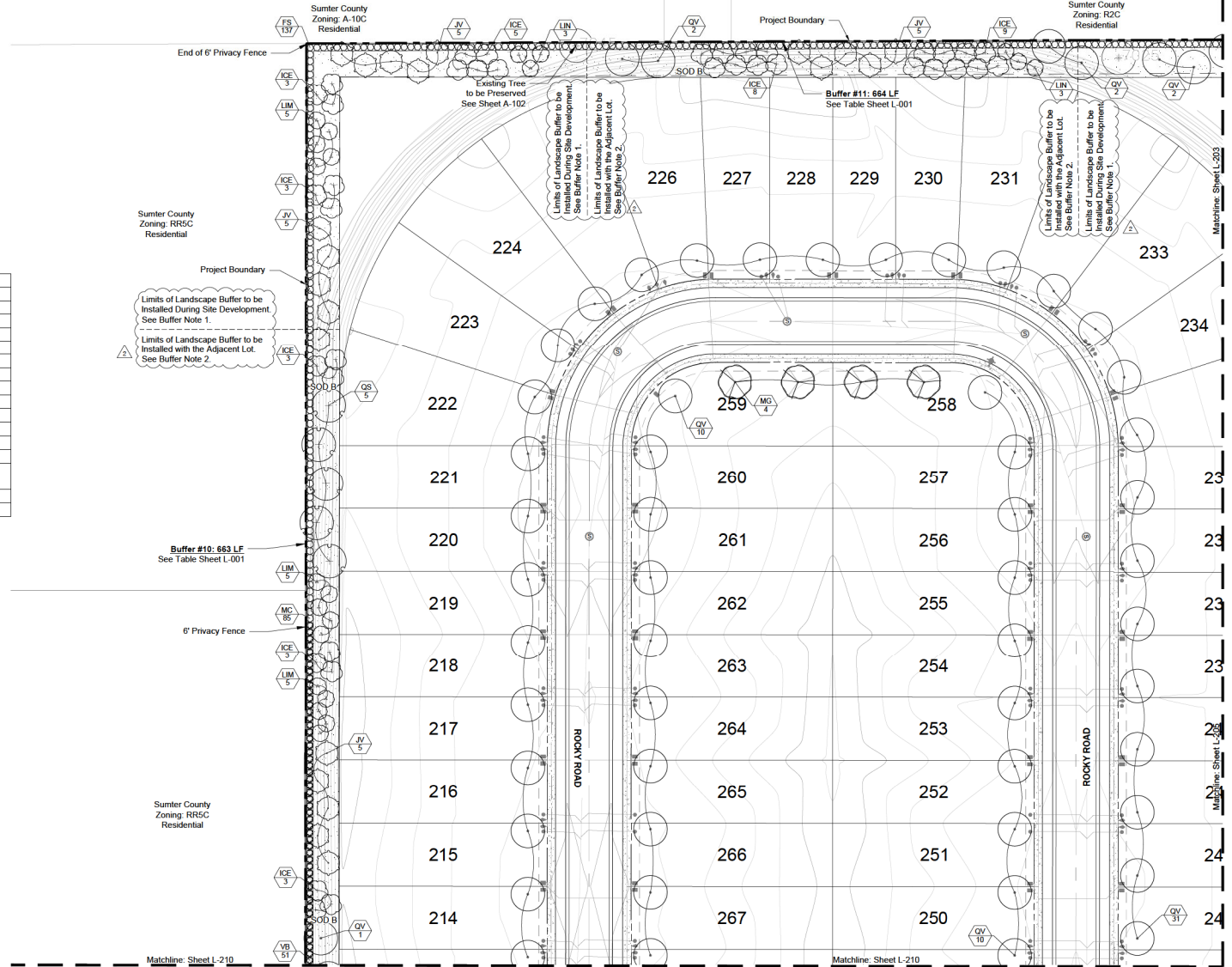
REV	DATE	DESCRIPTION
1	12.12.24	Revision per City Comments Dated 12.03.24
2	02.28.25	Revision per City Comments Dated 02.14.25

PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-210

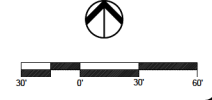


**Plant Schedule**

Sym	Botanical	Common
AR	<i>Acer rubrum</i>	Red Maple
FS	<i>Forestiera segregata</i>	Florida Privet
ICE	<i>Ilex cassine</i>	Dahoon Holly
IF	<i>Ilicium floridanum</i>	Florida Anise
JV	<i>Juniperus virginiana 'verticalis'</i>	Southern Red Cedar
LIM	<i>Lagerstroemia indica 'Muskogee'</i>	Crape Myrtle, Light Lavendar
LIN	<i>Lagerstroemia indica 'Natchez'</i>	Crape Myrtle, White
LIT	<i>Lagerstroemia indica 'Tonto'</i>	Crape Myrtle, Red, Semi-dwarf
MC	<i>Myrica cerifera</i>	Wax Myrtle
MG	<i>Magnolia grandiflora</i>	Southern Magnolia
MV	<i>Magnolia virginiana</i>	Sweet Bay Magnolia
QS	<i>Quercus shumardi</i>	Shumard Oak
QV	<i>Quercus virginiana</i>	Southern Live Oak
TD	<i>Taxodium distichum</i>	Bald Cypress
VB	<i>Viburnum obovatum</i>	Walters' Viburnum
SOD B	Bahia Sod	Bahia Sod



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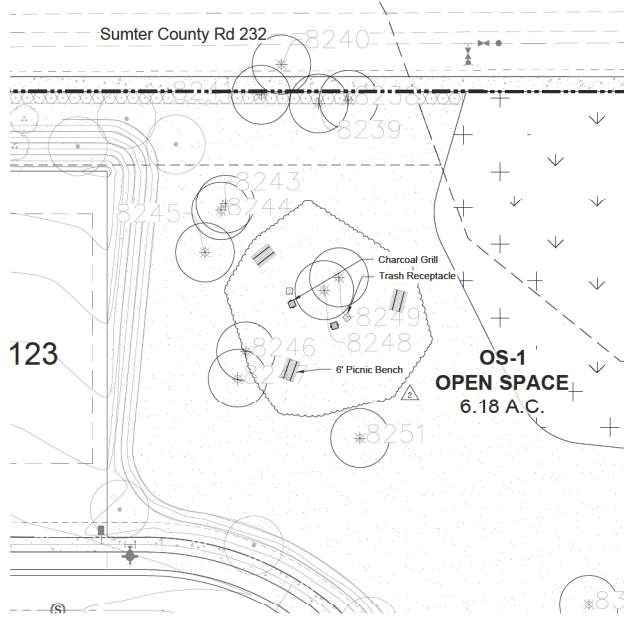
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REV	DATE	DESCRIPTION
2	03.04.25	Revised per City Comments Dated 02.14.25

Landscape Construction Plan  
 Landscape & Arbor Plans  
**Boulder Square**  
 Milledale, Florida

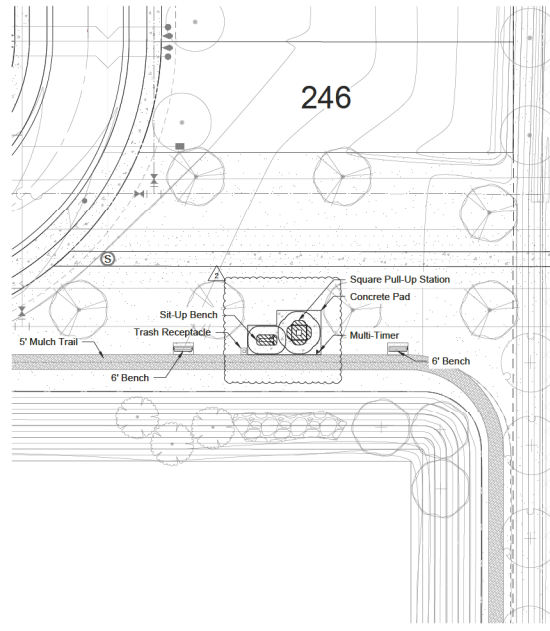


PROJECT NO. 24203  
 SCALE 1"=30'  
 DATE March, 2025  
 SHEET L-211



**A Picnic Area - Tract OS-1**  
H-301/Plan  
Scale: n.t.s.

A Minimum of 3 Picnic Tables, 2 Charcoal Grills, and 2 Trash Receptacles, or Equal Shall be Provided.



**B Exercise Stations - Tract OS-6**  
H-301/Plan  
Scale: n.t.s.

A Minimum of 3 Pieces of Exercise Equipment / Stations, or Equal Shall be Provided.



**C Park Bench**  
H-301/Elevation  
Scale: n.t.s.



**D Trash Receptacle**  
H-301/Elevation  
Scale: n.t.s.



**E Sit-Up Bench**  
H-301/Elevation  
Scale: n.t.s.



**F Multi-Timer**  
H-301/Elevation  
Scale: n.t.s.



**G Square Pull-Up Station**  
H-301/Elevation  
Scale: n.t.s.

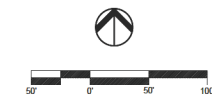


**H Charcoal Grill**  
H-301/Elevation  
Scale: n.t.s.



**I Picnic Table**  
H-301/Elevation  
Scale: n.t.s.

All Equipment Shown is Conceptual. Color and Specification to be Chosen by the Owner.



DATE	
REV	

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REV	DATE	DESCRIPTION	BY
2	02.28.25	Revised per City Comments Dated 02.14.25	jma

Hardscape Construction Plans  
Hardscape Plans  
Boulder Square  
Winterwood, Florida



PROJECT NO.	24203
SCALE	N.T.S.
DATE	March, 2025
SHEET	H-301