



PROJECT REVIEW COMMITTEE - CITY OF WILDWOOD
PRC Chairperson – Melanie Strickland

Agenda
Regular Meeting
July 8, 2025 10:00 AM
Commission Conference Room 124
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. Call to Order

II. Roll Call

III. APPROVAL OF SUMMARY MINUTES

- 1. Project Review Committee Regular meeting June 10th, 2025 at 10:00 AM.**

IV. OLD BUSINESS

V. NEW BUSINESS

- 1. A25-1833 - PLAT - Preston Place Business Park Final Plat
Parcel D17-131, D17-134, D17-135, D17-137**

The applicant is seeking a favorable recommendation from the Project Review Committee for Preston Place Business Park Final Plat, a 4-parcel subdivision which includes an access, utility, and drainage easement providing each parcel with access to US 301 as well as the storm water retention easement

on the east side of the property, per the attached plans. **Staff recommends approval contingent on the resolution of outstanding comments.**

2. **A25-0583 UF Health Oxford Freestanding Emergency Department
Portion of Parcel D17-134**

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a one-story 14,211-square-foot medical building providing for 51 parking spaces including five (5) Florida ADA accessible parking spaces and two (2) EV charging stations, a generator enclosure, and dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 1.40 acres MOL, as per the attached plans. **Staff recommends approval upon resolution of outstanding comments.**

3. **SP 2404-004 Saucy by KFC
Parcel G04Q247-2**

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a one-story 3,335-square-foot restaurant building featuring 20 seats, a 585-square-foot outdoor patio seating area, a double-lane drive-thru and canopy over pick-up window, providing 28 parking spaces including two (2) Florida ADA accessible parking spaces, a double dumpster enclosure, together with associated infrastructure such as landscaping buffers, connecting sidewalks, and site lighting improvements on 0.91 acres MOL, as per the attached plans. **Staff recommends approval upon resolution of outstanding comments.**

4. **A25-0068 St. Vincent de Paul Outreach Ministries
Parcels G07E023, G07-052, G07-053, and G07-128**

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a multi-phased project consisting of a one-story 10,108-square-foot retail building providing 66 parking spaces including three (3) Florida ADA accessible parking spaces with one being a van-accessible ADA parking space, a dumpster enclosure, together with associated infrastructure such as retention area, landscaping buffers, connecting sidewalks, site lighting improvements, and connecting commercial driveways along E. Kentucky Avenue and US Hwy 301 for Phase 1, on 3.77 acres MOL, as per the attached plans. A proposed 10,089-square-foot Food Pantry Building will be developed in Phase 2. **Staff recommends approval upon resolution of outstanding comments.**

VI. **ADJOURNMENT**

July 8, 2025 10:00 AM

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Project Review Committee Regular meeting June 10th, 2025 at 10:00 AM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PROJECT REVIEW COMMITTEE
 CITY OF WILDWOOD, FLORIDA
 REGULAR MEETING
 June 10, 2025 10:00 AM
 COMMISSION CONFERENCE ROOM 124

(meeting taped)

I. Call to Order

Development Services Director Strickland brought the meeting to order at 10 a.m.

II. Roll Call

Attendee Name	Title	Status
Melanie Strickland	Development Services Director	Present
Jason McHugh	City Manager	Present
Jason Martin	Assistant Utilities Director	Present
Jeremy Hockenbury	Public Works Director	Present
Randall Parmer	Police Chief	Present
Dan Horner	City Consulting Engineer	Present by Phone
Joshua Bills	City Attorney	Present
Jessica Barnes	City Clerk	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present

III. APPROVAL OF SUMMARY MINUTES

1. Project Review Committee Regular Meeting May 13, 2025, at 10:00 AM.

The summary minutes from the May 13, 2025, meeting were approved. No discussion. Motion to approve by Police Chief Parmer, seconded by Assistant Utilities Director Martin. Motion carried unanimously.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Assistant Utilities Director Martin
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

IV. OLD BUSINESS

None.

V. NEW BUSINESS

1. SP 2409-004 Summerfield Cottages

Development Services Director Strickland read aloud case number SP 2409-004 Summerfield Cottages. The applicant sought a favorable recommendation from the Project Review Committee for the construction of a multifamily residential development consisting of 270 units featuring 168 3-bedroom units and 108 2-bedroom units providing a total of 440 garage parking spaces and 561 surface parking spaces, which includes six (6) Florida ADA accessible parking spaces, together with amenities including a 4,012-square foot clubhouse, a proposed pool, three (3) pickleball courts, and walking path, associated infrastructure such as proposed sidewalks, landscaping buffers, site lighting improvements on 49.27 acres MOL. The project featured 56 buildings ranging from 3-unit to 6-unit buildings. The Developer would be entering into a Developer's Agreement for the project for some required off-site improvements. The agreement was under review by the City Attorney. A technical waiver was submitted to waive the requirements limiting the number of single-attached units to no more than three based on the definition of single-family attached per the City's code. There were also minor utilities comments outstanding for the project. Strickland stated that she and City Attorney Bills were still working on the Developers Agreement, and she had to clarify utility language with Assistant Utilities Director Martin for the agreement as well. The applicant, Robert Morgado with Bohler Engineering, FL LLC, was present by phone. City Manager McHugh asked if Development Services was comfortable with the aesthetic of what the waiver was requesting. Strickland answered they were. Martin stated for the record that the number of units proposed was pushing the capacity per the size of the service line. There may be complaints of water pressure on the top floor due to increased capacity on the line. A short discussion determined that booster pumps would help if there was an issue later. Motion to approve subject to resolution of outstanding comments, approval of the Developers Agreement, and to include the technical waivers by City Manager McHugh, seconded by Public Works Director Hockenbury. Motion carried unanimously.

RESULT:	Passed
MOVER:	City Manager McHugh
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

2. SP 2407-003 SoLiv at Wildwood

Development Services Director Strickland read aloud case number SP 2407-003 SoLiv at Wildwood. The applicant sought a favorable recommendation from the Project Review Committee for the construction of a multifamily complex consisting of 371 units and featuring eight (8) three-story apartment buildings and one 4-story apartment building, providing for several amenities including a 20,634-square-foot clubhouse with pool and yoga lawn area, a 4,155-square-foot dog park, two pickleball courts and a 1,601-square-foot maintenance office/mail room building; and providing for 624 parking spaces with a breakdown of 614 standard parking spaces and 35 garage parking spaces. The project would feature 162 one-bedrooms, 155 two-bedrooms, and 54 three-bedrooms. The project would provide twenty-five (25) Florida ADA-accessible parking spaces, a flexible loading zone area, and associated infrastructure such as landscaping buffers, stormwater retention pond, site lighting improvements, and commercial driveway on 24.732 acres MOL. The Developer would be entering into a Developer's Agreement for this project. Said agreement was scheduled to go to the June 9, 2025, City Commission

Meeting for final consideration. City Attorney Bills stated he was waiting for clarification regarding a potential easement along Powell Road, but it would not hold up the project. Representatives Kara Chiccarelli with The Procopio Companies, Andrew Sinclair with Southern Waters Capital, Kaiwen Lu with Atwell, and Rob Batsel, the project attorney, were present to answer any questions. There was a short discussion regarding the potential easement. Assistant Utilities Director Martin provided comments on the water mains; Batsel stated the Developer's Agreement addressed those issues. Another discussion was held regarding the Developer's Agreement and site plan process. Motion to approve subject to resolution of the outstanding comment by Assistant Utilities Director Martin, seconded by Police Chief Parmer. Motion carried unanimously.

RESULT:	Passed
MOVER:	Assistant Utilities Director Martin
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

3. SP 2410-004 Exalt Health Offsite Force Main

Development Services Director Strickland read aloud case number SP 2410-004 Exalt Health Offsite Force Main. The applicant sought approval from the Project Review Committee for the construction of an off-site sanitary sewer force main to connect with the approved Exalt Health site with the City of Wildwood sanitary system. The scope of work consists of an 877 linear-foot, 6-inch force main running approximately 0.17 miles within the C-44A right-of-way, and approximately 4,124 linear feet of an 8-inch force main running along portions of Fifth Avenue, Fourth Avenue, Johnson Street, Third Avenue, Switcher Street and doing a directional drill under US Hwy 301 to connect to the City's system. The surety for performance cost summary was reviewed by the City Attorney, but the applicant had not yet provided the performance bond. There were two outstanding comments from the City Attorney. Once staff received the performance bond and the last comment had been addressed, the site plan would be advanced to the City Commission for final determination. Representatives Kevin Atchley with Tillman & Associates Engineering and Rob Batsel with Gooding & Batsel were present for the hearing. City Manager McHugh began the discussion regarding the license that the applicant received from CSX. A temporary solution by the City was proposed, as well as another possible route for the force main for a long-term solution. City Attorney Bills added additional information and further explained the problematic areas. An extensive discussion was held regarding the project issues. Motion to table the case to the next PRC meeting by City Manager McHugh, seconded by Public Works Director Hockenbury. Motion carried unanimously.

RESULT:	Tabled
MOVER:	City Manager McHugh
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

4. #A25-0072 Wawa Turkey Run Site Plan Minor Mod

Development Services Director Strickland read aloud case #A25-0072 Wawa Turkey Run Site Plan Minor Mod. The applicant sought approval from the Project Review Committee for a minor modification to the previously approved Wawa Wildwood-Turkey Run (SP 2307-009) for the modification of onsite utilities, stop signs, and stop bars. Jose Lopez with Kimley-Horn was

present by phone representing the project. No discussion. Motion to approve by Police Chief Parmer, seconded by Assistant Utilities Director Martin. Motion carried unanimously.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Assistant Utilities Director Martin
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

VI. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 10:52 a.m.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Assistant Utilities Director Martin
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

SEAL

PROJECT REVIEW COMMITTEE
CITY OF WILDWOOD, FLORIDA

Approval Signature

Date

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-1833 - PLAT - Preston Place Business Park Final Plat

REQUESTED ACTION: Staff recommends approval contingent on the resolution of outstanding comments.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-1833 - PLAT - Preston Place Business Park Final Plat
Applicant(s)	Clymer Farner Barley Surveying, LLC
Owner(s)	Preston & Pope, CW4 Inc, and Warm Springs Commercial, LLC
Acreage	11.83 +/-
Property Location	The subject property is generally located on the east side of N US 301, approximately 0.3 miles south of the intersection of N US 301 and CR 108.
Parcel(s)	D17-131, D17-134, D17-135, and D17-137

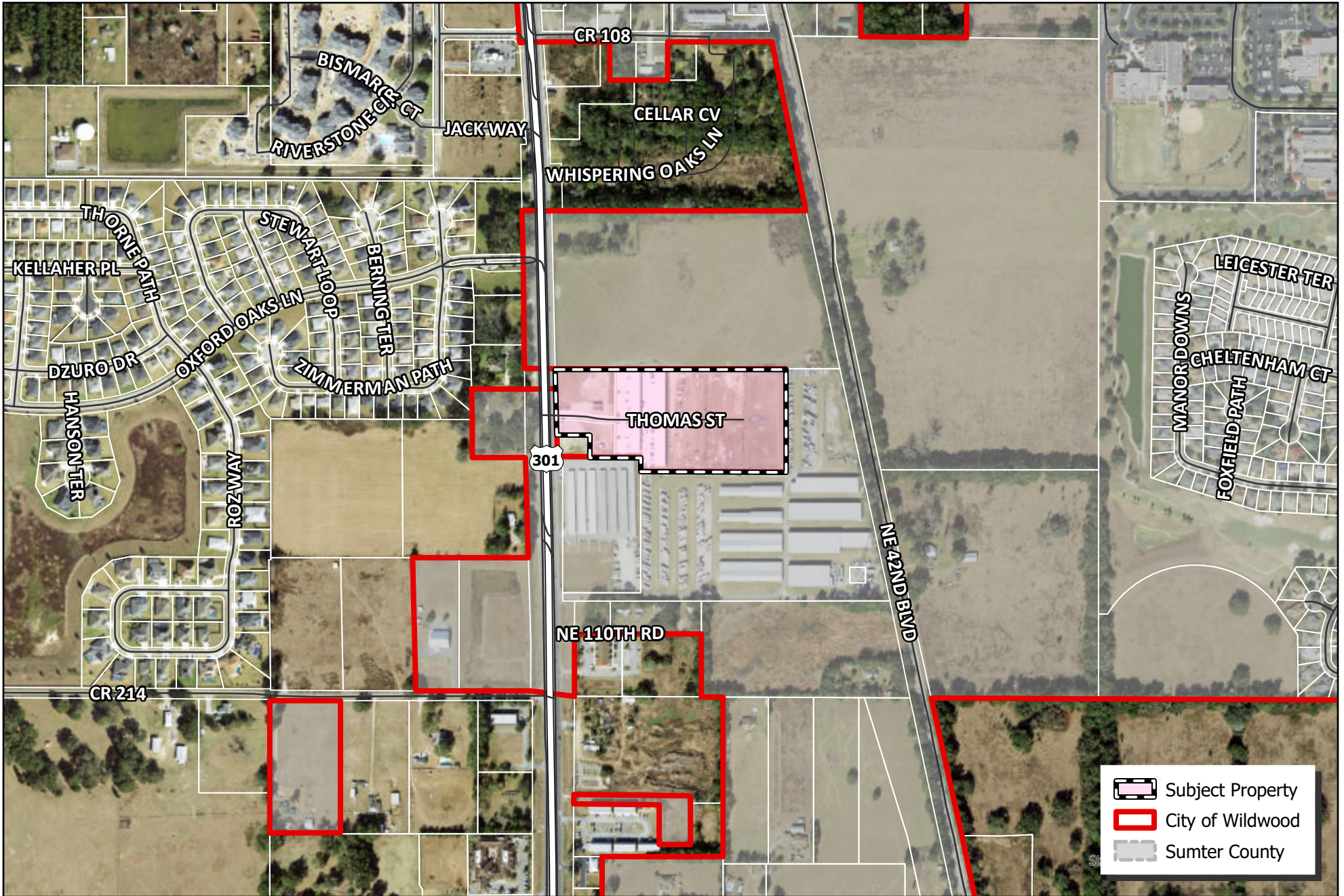
The applicant is seeking a favorable recommendation from the Project Review Committee for Preston Place Business Park Final Plat, a 4-parcel subdivision which includes an access, utility, and drainage easement providing each parcel with access to N US 301 as well as the storm water retention easement on the east side of the property, per the attached plans.




As of the writing of this report, there are outstanding comments from the City Engineer, City Attorney, Development Services, and the City Surveyor. The applicant has resubmitted documents to address these comments on July 2, 2025. The submittal is currently out for review with the applicable parties, and the outstanding comments as of July 2, 2025, are attached to this agenda. The A25-0583 site plan application for the UF Health Oxford SFED requires that this final plat be approved before moving forward.

A25-1833 will meet the criteria set forth in F.S. 177, Land Development Regulations, and will be in line with goals, objectives, and policies within the 2050 Comprehensive Plan once the outstanding comments are addressed.



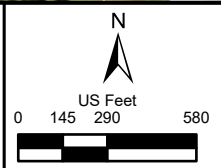
McKenna Page
Planner I, Development Services
07/02/25



	Subject Property
	City of Wildwood
	Sumter County



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



PJ #A25-1833

PRESTON PLACE BUSINESS PARK FINAL PLAT

PARCELS D17-131, D17-134, D17-135 & D17-137

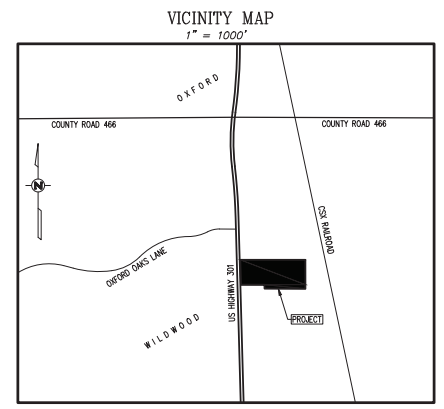
MAP 1B
LOCATION
MAP
MAY 2025

PRESTON PLACE BUSINESS PARK

SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST,
CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA.

LEGAL DESCRIPTION:

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:
FROM THE SOUTHWEST CORNER OF SAID SECTION 17, RUN N 00°02'46" E, ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4, A DISTANCE OF 1572.83 FEET; THENCE N 89°59'25" E, A DISTANCE OF 38.88 FEET TO THE EASTERLY RIGHT-OF-WAY OF U.S. HIGHWAY 301 AND POINT OF BEGINNING OF THE FOLLOWING-DESCRIBED PARCEL; FROM SAID POINT OF BEGINNING, CONTINUE N 89°59'25" E, A DISTANCE OF 1108.21 FEET; THENCE S 00°00'54" E, A DISTANCE OF 483.72 FEET; THENCE N 89°42'56" W, A DISTANCE OF 697.66 FEET; THENCE N 00°16'08" W, A DISTANCE OF 65.93 FEET; THENCE N 89°50'53" W, A DISTANCE OF 401.07 FEET TO THE FORESAID EASTERLY RIGHT-OF-WAY OF U.S. HIGHWAY 301; THENCE N 07°19'07" W, ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 423.19 FEET TO THE POINT OF BEGINNING, CONTAINING 11.83 ACRES, MORE OR LESS.



4 LOTS - 0 TRACTS

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBMITTED LANDS DESCRIBED HEREIN AND WILL, IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTES:

- BEARINGS SHOWN HEREON ARE ASSUMED MERIDIAN, AS A REFERENCE FOR THIS SURVEY, THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST HAS A BEARING OF N00°02'46"E.
- ALL DISTANCES SHOWN ARE IN FEET.
- LOT CORNERS HAVE BEEN FOUND OR SET AS SHOWN HEREON.
- ALL PERMANENT REFERENCE MONUMENTS (P.R.M.'S) HAVE BEEN SET IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.
- THE TITLE OPINION FOR THIS PLAT HAS BEEN SUBMITTED BY SEPARATE DOCUMENT.
- ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- THIS PROPERTY IS SUBJECT TO DECLARATION OF COVENANTS AND RESTRICTIONS, AS RECORDED IN OFFICIAL RECORDS BOOK 3000, PAGE 312, OFFICIAL RECORDS BOOK 4492, PAGE 527, OFFICIAL RECORDS BOOK 4492, PAGE 540 AND OFFICIAL RECORDS BOOK 473, PAGE 318, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.
- LOTS 3 AND 4 ARE SUBJECT TO AN EXISTING EASEMENT IN FAVOR OF DUKE ENERGY FOR UTILITIES, AS RECORDED IN OFFICIAL RECORDS BOOK 4254, PAGE 752, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA. (BLANKET TYPE)
- LOT 2 IS SUBJECT TO AN EXISTING EASEMENT AGREEMENT FOR SIGNAGE AS RECORDED IN OFFICIAL RECORDS BOOK 4302, PAGE 12, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.
- MORTGAGEES' JOINDER AND CONSENT TO DEDICATION ARE PROVIDED BY SEPARATE DOCUMENTS.

DEDICATION - PRESTON PLACE BUSINESS PARK

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED: PRESTON & POPE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, (AS OWNER); CW 4, INC., A FLORIDA CORPORATION (AS OWNER); AND WARM SPRINGS COMMERCIAL, LLC, A FLORIDA LIMITED LIABILITY COMPANY (AS OWNER) IN FEE SIMPLE OF THE LANDS DESCRIBED HEREON, HAVE CAUSED TO BE MADE THIS PLAT OF PRESTON PLACE BUSINESS PARK, A SUBDIVISION OF LAND HEREIN DESCRIBED. FEE INTEREST IN LOTS 1, 2, 3 AND 4 ARE HEREBY RESERVED BY THE OWNERS.

ALL EASEMENTS SHOWN HEREON, INCLUDING BUT NOT LIMITED TO UTILITY, DRAINAGE, ACCESS, AND MAINTENANCE EASEMENTS, ARE FOR THE EXCLUSIVE BENEFIT AND USE OF THE OWNERS OF THE LOTS WITHIN THIS SUBDIVISION, INCLUDING THEIR SUCCESSORS, ASSIGNS, TENANTS, GUESTS, AND INVITEES, UNLESS EXPRESSLY STATED OTHERWISE ON THIS PLAT. NO EASEMENT SHOWN HEREON IS INTENDED TO BE, NOR SHALL IT BE CONSTRUED AS, A DEDICATION TO THE PUBLIC. NO RIGHT OF ACCESS BY THE GENERAL PUBLIC TO ANY PORTION OF THE PLATTED LANDS IS CONVEYED BY THE EASEMENTS GRANTED HEREON. USE OF SUCH EASEMENTS BY ANY PARTY OTHER THAN THE LOT OWNERS OR THEIR AUTHORIZED REPRESENTATIVES IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF THE AFFECTED LOT OWNER(S). MAINTENANCE OF ALL EASEMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE LOT UPON WHICH SUCH EASEMENT IS LOCATED, EXCEPT AS OTHERWISE PROVIDED IN ANY DECLARATION, EASEMENT AGREEMENT, OR OTHER RECORDED INSTRUMENT.

WITNESSES: OWNER AS TO LOTS 1 AND 2:
PRESTON & POPE, LLC
A FLORIDA LIMITED LIABILITY COMPANY
BY: REGGIE P. CARUTHERS
MANAGER

(1) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

(2) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

WITNESSES: OWNER AS TO LOT 3:
CW 4, INC., A FLORIDA CORPORATION
BY: CLYDE WINSTON BAILY, JR.
PRESIDENT

(1) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

(2) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

WITNESSES: OWNER AS TO LOT 4:
WARM SPRINGS COMMERCIAL, LLC
A FLORIDA LIMITED LIABILITY COMPANY
BY: JACOB M. SCHRIJVER
MANAGER

(1) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

(2) SIGNATURE _____
PRINT NAME _____
MAILING ADDRESS _____

CERTIFICATE OF APPROVAL BY CITY OFFICIALS

THIS CERTIFIES THAT THIS PLAT WAS PRESENTED TO THE PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA AND WAS APPROVED BY THE BOARD FOR RECORD ON THIS _____ DAY OF _____, 20____.

ATTEST:
MELANIE D. STROCKLAND
DEVELOPMENT SERVICES DIRECTOR

ED WOLF
MAYOR

THIS CERTIFIES THAT THIS PLAT WAS PRESENTED TO THE COMMISSION OF THE CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA, AND WAS APPROVED BY THE COMMISSION FOR RECORD ON THIS _____ DAY OF _____, 20____.

JESSICA BARNES
CITY CLERK

THIS CERTIFIES THAT THIS PLAT WAS PRESENTED TO THE ATTORNEY FOR THE CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA, AND APPROVED BY HIM OR HER AS TO FORM AND LEGALITY ON THIS _____ DAY OF _____, 20____.

PRINT NAME: _____ SIGNATURE: _____
CITY OF WILDWOOD, ATTORNEY CITY OF WILDWOOD, ATTORNEY

DEVELOPMENT SERVICES DIRECTOR: _____ PUBLIC WORKS DIRECTOR: _____
MELANIE D. STROCKLAND JEREMY HOCKENBURY

PRINT NAME: _____ SIGNATURE: _____
CITY OF WILDWOOD, ENGINEER CITY OF WILDWOOD, ENGINEER

REVIEWING SURVEYOR'S CERTIFICATE

PURSUANT TO SECTION 177.081, FLORIDA STATUTES, I HEREBY CERTIFY THAT I HAVE PERFORMED A REVIEW OF THIS PLAT FOR CONFORMITY TO CHAPTER 177, PART 1, PLATTING, FLORIDA STATUTES AND THAT SAID PLAT COMPLES WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER; PROVIDED, HOWEVER, THAT MY REVIEW AND CERTIFICATION DOES NOT INCLUDE FIELD VERIFICATION OF ANY POINTS OR MEASUREMENTS SHOWN ON THIS PLAT.

SIGNATURE: _____ DATE: _____
PRINT NAME: _____ REGISTRATION NO.: _____

CERTIFICATE OF SURVEYOR

I HEREBY CERTIFY THAT THIS PLAT OF "PRESTON PLACE BUSINESS PARK" WAS PREPARED UNDER MY DIRECTION AND SUPERVISION; AND THAT THE PERMANENT REFERENCE MONUMENTS AS SHOWN HEREON WERE PLACED ON THE _____ DAY OF _____, 20____; I FURTHER CERTIFY THAT THIS PLAT COMPLES WITH THE REQUIREMENTS OF CHAPTER 177, PART 1, PLATTING, FLORIDA STATUTES.

CLYMER FARNER BARLEY SURVEYING, LLC
7415 ALFORD AVENUE
MIDDLETON, FLORIDA 34762
LICENSED BUSINESS NO. 8498

KAYE M. JAMESON
REGISTRATION NO. 5912



CERTIFICATE OF CLERK

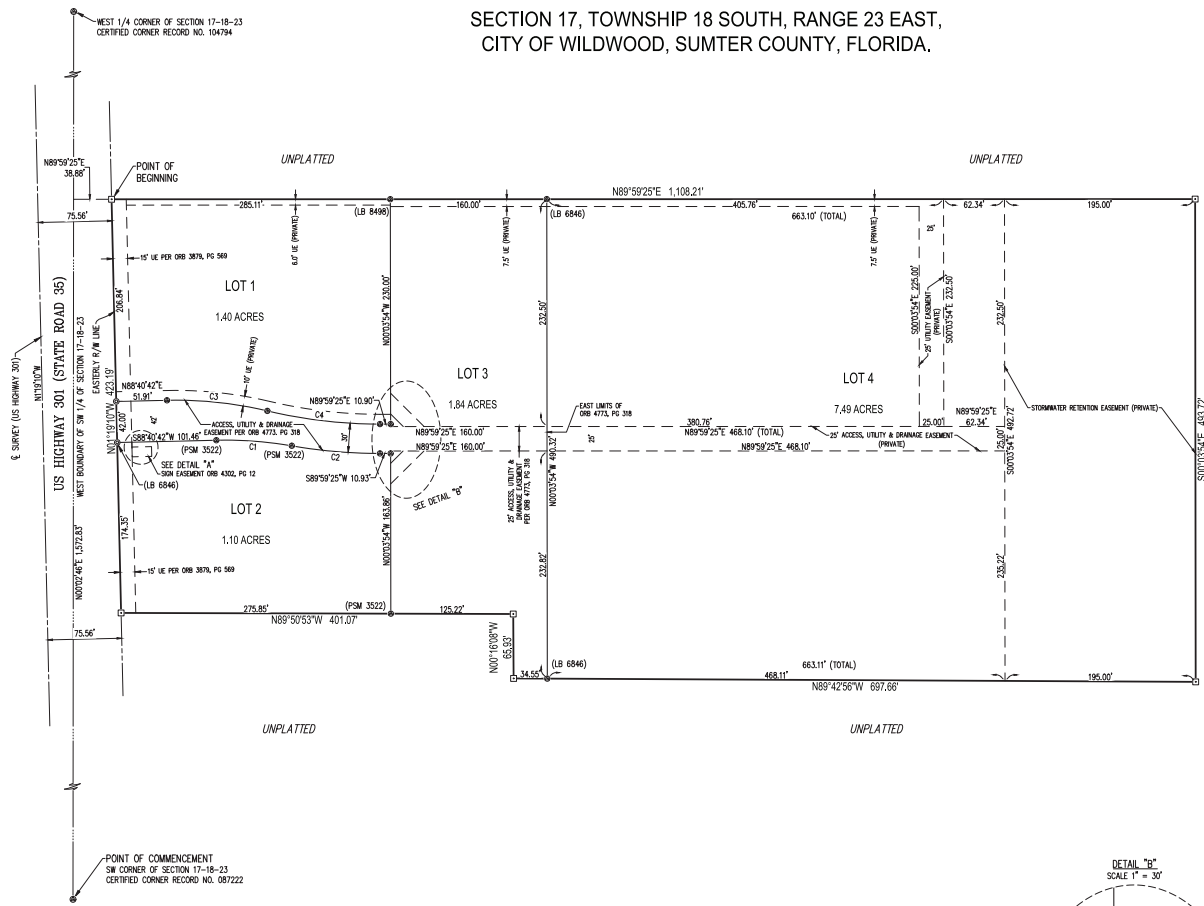
I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND THAT IT COMPLES IN FORM WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES AND WAS FILED FOR RECORD ON _____ PAGE _____, 2025, AT _____ FILE NUMBER _____ PLAT BOOK _____

CLERK OF THE COURT IN AND FOR SUMTER COUNTY, FLORIDA
PRINT NAME: _____ SIGNATURE: _____
DEPUTY CLERK DEPUTY CLERK



PRESTON PLACE BUSINESS PARK

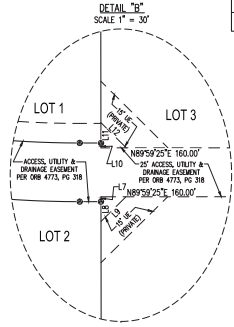
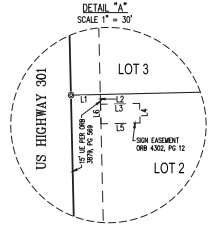
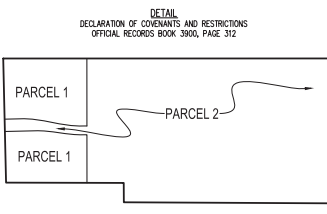
SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST,
CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA.



LINE TABLE		
LINE TAG	BEARING	DISTANCE
L1	N88°40'42"E	15.00'
L2	N01°19'08"W	5.00'
L3	N88°40'52"E	20.00'
L4	S01°19'08"E	10.00'
L5	S88°40'52"W	20.00'
L6	N01°19'08"W	10.00'
L7	N00°03'54"W	2.50'
L8	N00°03'54"W	10.10'
L9	S45°19'03"W	17.83'
L10	N00°03'54"W	2.50'
L11	N00°03'54"W	10.41'
L12	S45°10'37"E	18.32'

CURVE TABLE					
CURVE TAG	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	397.00'	11°10'12"	77.40'	N85°44'04"N	77.27'
C2	527.00'	9°51'31"	90.69'	S85°04'46"E	90.58'
C3	403.00'	14°42'40"	103.47'	N83°57'50"W	103.19'
C4	497.00'	13°24'05"	116.25'	S83°18'33"E	115.96'

- LEGEND**
- ⊕ INDICATES 4" x 4" x 24" CONCRETE PERMANENT REFERENCE MONUMENT (SPARK) OR 5/8" IRON PIN AND CAP SET LB #8498 UNLESS OTHERWISE NOTED
 - INDICATES NAIL AND DISK FOUND LB #8498 UNLESS OTHERWISE NOTED
 - INDICATES 5/8" IRON ROD AND CAP FOUND LB #8498/4709 UNLESS OTHERWISE NOTED
 - C INDICATES CENTERLINE
 - CB INDICATES LICENSED BUSINESS
 - DE INDICATES DRAINAGE EASEMENT
 - OB INDICATES OFFICIAL RECORDS BOOK
 - PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER
 - L# INDICATES LINE TABLE TAG NUMBER
 - C# INDICATES CURVE TABLE TAG NUMBER
 - PG INDICATES PAGE
 - R/W INDICATES RIGHT-OF-WAY
 - Δ INDICATES DELTA (CENTRAL ANGLE OF CURVE)
 - CB INDICATES CHORD BEARING
 - CD INDICATES CHORD DISTANCE
 - ASL INDICATES ARC LENGTH
 - PC INDICATES POINT OF CURVATURE
 - R INDICATES RADIUS LENGTH
 - RL INDICATES RADIAL LINE
 - PRC INDICATES POINT OF REVERSE CURVATURE
 - PT INDICATES POINT OF TANGENCY
 - UE INDICATES UTILITY EASEMENT



PREPARED BY: **CFB SURVEYING**
CLYMER FARMER BASKLEY
7415 ALPORD AVENUE - MIDDLETON, FL 34705
(850) 766-1378 - (850) 766-1379



WILDWOOD FLORIDA

City of Wildwood

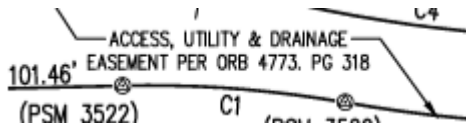
PROJECT: A25-1833 Preston Place Business Park Final Plat

REPRESENTATIVE: Clymer Farner Barley (Kaye Jameson)

DATE: 07/02/2025

CITY ATTORNEY

1. Provide a copy of the executed Mortgagees' Joinder and Consent to Dedication documents referenced in note # 10.
2. Please advise why the following access, utility and drainage easement for ORB 4773, Page 318 that is noted on sheet 2 of the plat plan but is not included in the Title Opinion document.



3. LDR 5.6(C)(2) – Please provide a performance bond for this project if applicable (submittal item D.2 on application).
4. LDR 5.6(C)(3) – Please provide a maintenance bond for this project if applicable (submittal item E.1 on application).
5. LDR 5.6(C)(4) – Please provide a Preliminary Concurrency Determination application if applicable (submittal item C.1 on application).
6. LDR 5.6(C)(6) – Please provide a copy of the covenants and restrictions for Book 3900, Page 312 noted on sheet 2, as well as Book 4492, Page 527, Book 4492, Page 540, and Book 4773, Page 318 noted on title opinion.

DETAIL

DECLARATION OF COVENANTS AND RESTRICTIONS
OFFICIAL RECORDS BOOK 3900, PAGE 312

7. If additional covenants and restrictions are necessary for entire plat, please provide draft of the supplemental covenants and restrictions.

8. LDR 5.6(C)(8) – Please provide letters of service for electric, cable/internet and gas utility providers if applicable.
9. City attorney reserves the right to make further comments upon resubmittal.

CITY SURVEYOR

1. The title opinion is in compliance.
2. Sheet 1 of 2: Is in compliance with F.S. Chapter 177.
3. Sheet 2 of 2: Dimensions in Detail “B” are not coincident with those shown on the Plat.

CITY ENGINEER

1. Provide all covenants suitable for recording per LDR 5.6(C)(6)
2. Provide signed letters of service from utility providers per LDR 5.6(C)(8).
3. Provide signed and sealed certification letter when all PRMs have been set.
4. Provide POA documentation or maintenance agreement for the roadway/drainage common areas per LDR 5.6(C)(9).
5. Provide copies of all applicable permits per LDR5.6(C)(10).

DEVELOPMENT SERVICES

1. LDR (C)(8) Provide letters of service from all applicable utility companies. Applicant noted spectrum is still reviewing application as of 7/2/25.

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0583 UF Health Oxford Freestanding Emergency Department

REQUESTED ACTION: Staff recommends approval upon resolution of outstanding comments.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No	A25-0583 UF Health Oxford FSED
Parcel Number	Portion of Parcel D17-134
Acreage	1.40 Acres, MOL
Property Location	The property is generally located approximately 0.46 miles south of the intersection of US Hwy 301 and CR 466, fronting US Hwy 301
Owner	Preston and Pope, LLC
Applicant	Boldt c/o Faeq Hussain

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a one-story 14,211-square-foot medical building providing for 51 parking spaces including five (5) Florida ADA accessible parking spaces and two (2) EV charging stations, a generator enclosure, and dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 1.40 acres MOL, as per the attached plans. The A25-1833 final plat for the Preston Place Business Park is required to be approved before this site plan can proceed for final consideration before the City Commission. As of the writing of this report, the project has one outstanding minor comment from the City Attorney regarding easements which is expected to be resolved upon the Preston Place Business Park final plat approval. Please see the comment review sheet report enclosed.

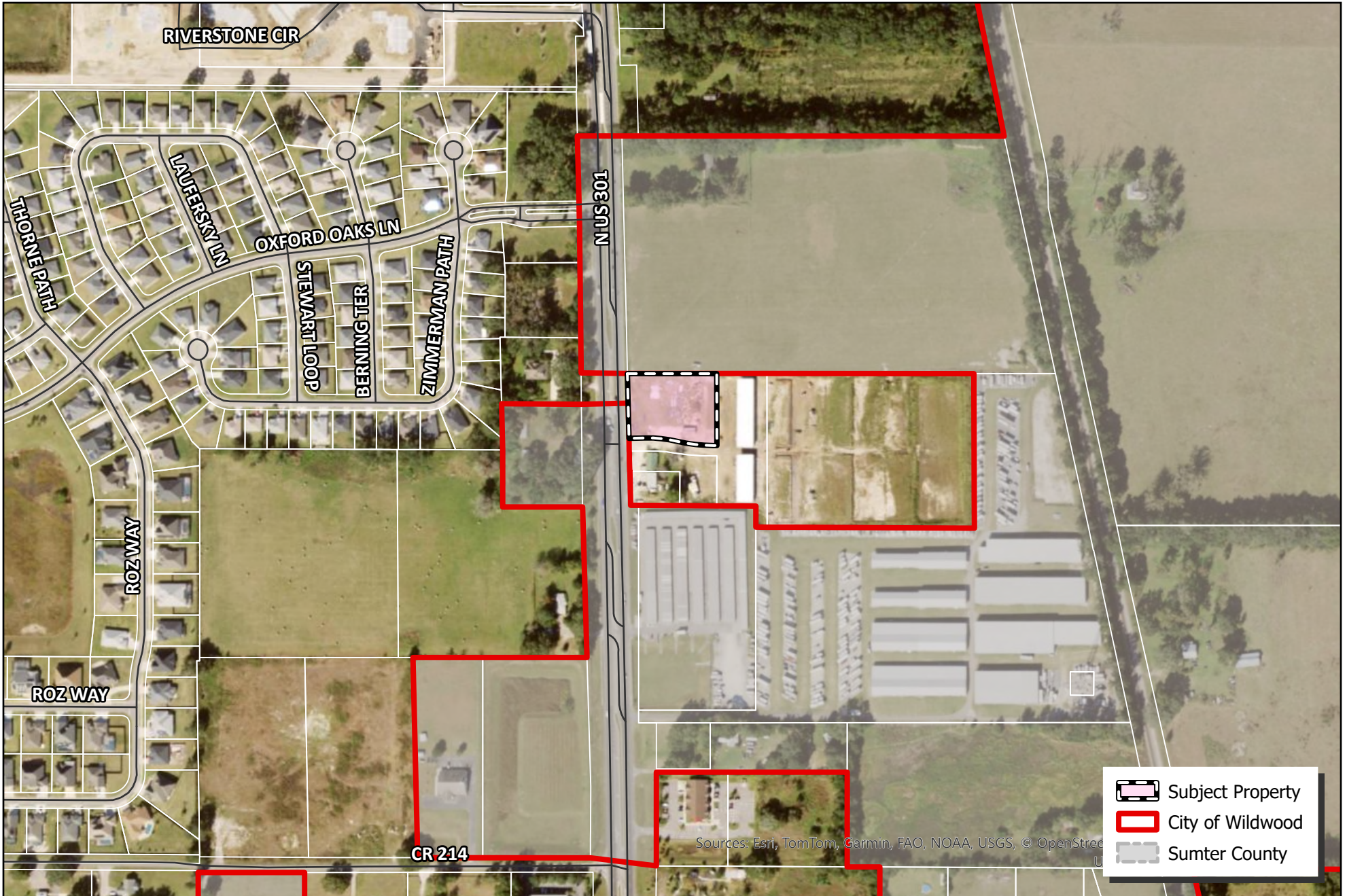
The applicant is requesting a technical waiver to reduce the required parking from 55 parking spaces to 51 spaces since they are able to model parking needs based on other similar establishments operating in surrounding cities. Once the outstanding comments are addressed, A25-0583 is expected to meet the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies within the 2050 Comp. Plan.




DATED: 6/30/2025

A handwritten signature in cursive script, appearing to read "Wendy Then".

Wendy Then, AICP, CFM

Assistant Director Development Services




 Subject Property
 City of Wildwood
 Sumter County



WILDWOOD
 FLORIDA

CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



0.00 0.01 0.03 0.04 0.06
 Miles

PJ #A25-0583
UF HEALTH OXFORD FREESTANDING EMERGENCY DEPARTMENT
 PARCEL D17-134

MAP 1B
LOCATION
MAP
MAR 2025

1. Please add the applicant's phone number to the cover sheet of the site plan.
 - A. The Applicant's phone number has been added to the cover sheet.
 - I. Not satisfied; the applicant information was updated, but the phone number was not included.
 - a. **Applicant phone number added to Sheet C1.1.**
 - i. **Satisfied.**
2. Please provide an authorized agent form from the owner to the applicant (Boldt c/o Faeq Hussain).
 - A. **Revised Authorized Agent Form is being submitted herewith.**
 - I. Partially satisfied; An authorized agent form from the owner to the applicant (Boldt c/o Faeq Hussain) was submitted, but the applicant on the site plan has been changed to Philip J. Braun, Registered Agent The Villages Tri-County Medical Center, Inc. Please confirm the applicant's information.
 - a. **The Authorized Agent form has been revised to show Phil Braun with Tri-County Medical to match the plans.**
 - i. **Satisfied.**
3. 4.4(D)(6) – Please provide copies of all proposed or executed easements, for cross-access, water and wastewater utilities, shared stormwater facilities, or other required easements. This information should include information regarding easement for cross-access on Thomas St which is owned by a separate entity (CW4 Inc.).
 - A. All the easement information is being created and shown on the Record Plat being submitted and reviewed as a concurrent application.
 - a. **Acknowledge; Comment remains until satisfied or Plat approval.**
 - i. **Noted that Plat approval is necessary.**
1. City Attorney reserves the right to make further comments upon resubmittal.
 - A. **Noted.**
 - I. **Standing comment.**

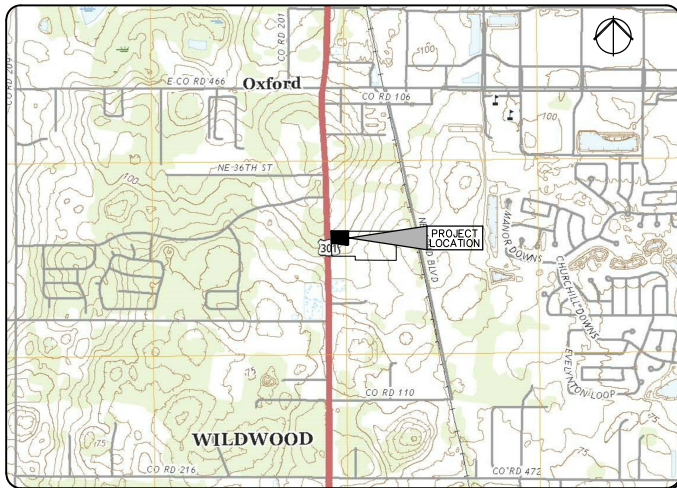
UF HEALTH OXFORD FSED

WILDWOOD, FLORIDA

Soils Map Legend		
Map Unit Symbol	Map Unit Name	Percent of Property
66	ARRENDONDO FINE SAND, BOULDERY SUBSURFACE, 0 TO 5 PERCENT SLOPES	100.0%

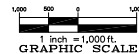


SOILS MAP
SCALE: N.T.S.



SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST

LOCATION PLAN
SCALE: 1"=1,000'



Required Permitting	
Agency	Status
CITY OF WILDWOOD	PENDING
SWFMD	PENDING
DEP NPDES	PENDING

Utility Providers	
WATER	CITY OF WILDWOOD
SEWER	CITY OF WILDWOOD
ELECTRIC	DUKE ENERGY
CABLE	SPECTRUM
PHONE	SPECTRUM
REFUSE	CITY OF WILDWOOD

- GENERAL NOTES**
- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY CFB SURVEYING, DATED 12/2/24.
 - CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
 - CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
 - ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WILDWOOD, SUMTER COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
 - ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS. TEMPORARY SEEDING AND MULCHING SHALL FOLLOW IMMEDIATELY FOR AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF SEVEN (7) CALENDAR DAYS OR LONGER.
 - CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
 - CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF WILDWOOD WATER MAIN.
 - ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF WILDWOOD REQUIREMENTS.
 - CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE WILDWOOD UTILITY DEPARTMENT TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.
 - THE CONTRACTOR SHALL OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT AS REGULATED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL BECOME FAMILIAR WITH THE NPDES PERMITTING REQUIREMENTS, DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH NPDES REGULATIONS AND WILL BE RESPONSIBLE FOR ANY VIOLATIONS CITED BY DEP DURING CONSTRUCTION. INFORMATION PERTAINING TO THE NPDES PROGRAM IS AVAILABLE ON LINE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES OR BY CALLING FDEP NPDES STORMWATER SECTION AT 850-245-7522.

LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 17; RUN THENCE N00°02'46"E ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 A DISTANCE OF 1572.83 FEET; THENCE N89°59'25"E A DISTANCE OF 38.88 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 301 FOR THE POINT OF BEGINNING; THENCE CONTINUE N 89°59'25"E A DISTANCE OF 285.11 FEET TO A POINT ON THE BOUNDARY OF PROPERTY DESCRIBED IN O.R. BOOK 3080, PAGE 296, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE ALONG THE BOUNDARY OF SAID PROPERTY WITH THE FOLLOWING COURSES: RUN S00°03'54" E, A DISTANCE OF 230.00 FEET, THENCE S88°59'25"W A DISTANCE OF 10.80 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 497.00 FEET; THENCE RUN WESTERLY 116.25 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 157°40'00" TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 403.00 FEET; THENCE RUN WESTERLY 103.47 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 144°24'00" TO THE POINT OF TANGENCY; THENCE S88°40'50"W A DISTANCE OF 51.91 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 301; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN N01°19'10"W A DISTANCE OF 206.84 FEET TO THE POINT OF BEGINNING

WAIVER REQUEST

REQUESTING WAIVER TO LDR 6.6 (D) TABLE 6-12 TO REDUCE THE REQUIRED MINIMUM NUMBER OF PARKING SPACES FROM 57 TO 51.

UTILITY OWNERSHIP

12" WATER - CITY OF WILDWOOD
8" ONSITE WATER - PRIVATE
EXISTING LIFT STATION - PRIVATE
2.5" FORCE MAIN - PRIVATE
4" FORCE MAIN IN FDOT ROW - CITY OF WILDWOOD
STORM - PRIVATE
ROADS - PRIVATE
STREET LIGHTS - PRIVATE

SHEET INDEX	
C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	GEOMETRY PLAN
C2.2	CONCRETE PAVEMENT PLAN
C3.1	GRADING & DRAINAGE PLAN
C4.1	UTILITY PLAN
C5.1	DETAILS
C6.1-C6.3	UTILITY DETAILS

SITE DATA

TOTAL AREA = 61,055 sq.ft. (1.40 ac.)
PROPOSED IMPERVIOUS AREA = 45,101 sq.ft. (1.04 ac.)
PERCENT IMPERVIOUS AREA = 73.9% (of total area)
MAX ISR = 75%
FLOOD ZONE = "X"
ZONING = "c-3"
FUTURE LAND USE = GENERAL COMMERCIAL
EXISTING USE OF SITE = VACANT
PROPOSED USE OF SITE = MEDICAL
PROPOSED BUILDING SQUARE FOOTAGE = 14,211 sq.ft. INCLUDING CANOPIES = 15,497 sq.ft.
FLOOR AREA RATIO (FAR) = 0.23
MAX FAR = 0.5
BUILDING HEIGHT = 28'-2"
CONSTRUCTION TYPE: I1B
MINIMUM REQUIRED FIRE FLOW PER FFPC = 2500 GPM
BUILDING SINGLE STORY
PROJECTED NUMBER OF EMPLOYEES = 14 EMPLOYEES
PARKING REQUIRED = 57 spaces (REQUESTING WAIVER TO 51)
PARKING PROVIDED = 51 spaces
HANDICAP SPACES PROVIDED = 5 HC spaces
SETBACKS: FRONT = 25' / REAR = 10' / SIDE = 15'
BUFFERS: FRONT = 25'
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

OWNER
Preston & Pope, LLC
11262 N. US 301
Oxford, Florida 34484
Phone (352) 446-5296

APPLICANT
Philip J. Braun, Registered Agent
The Villages Tri-County Medical Center, Inc.
a/b/a UF Health Spanish Plains
1451 El Camino Real
The Villages, Florida 32159
Phone (352) 323-5924

ENGINEER
Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482

SURVEYOR
Kaye M. Jameson
CFB Surveying
4450 NE 83rd Road
Wildwood, Florida 34785
Phone (352) 748-3126

RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7412
 keith@riddlenewman.com
 Calif. 00028285

RIDDLE NEWMAN ENGINEERING INC.

SHEET NO. C1.1

COVER SHEET

UF HEALTH OXFORD FSED
 WILDWOOD, FLORIDA

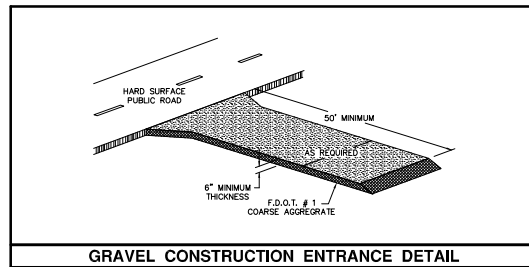
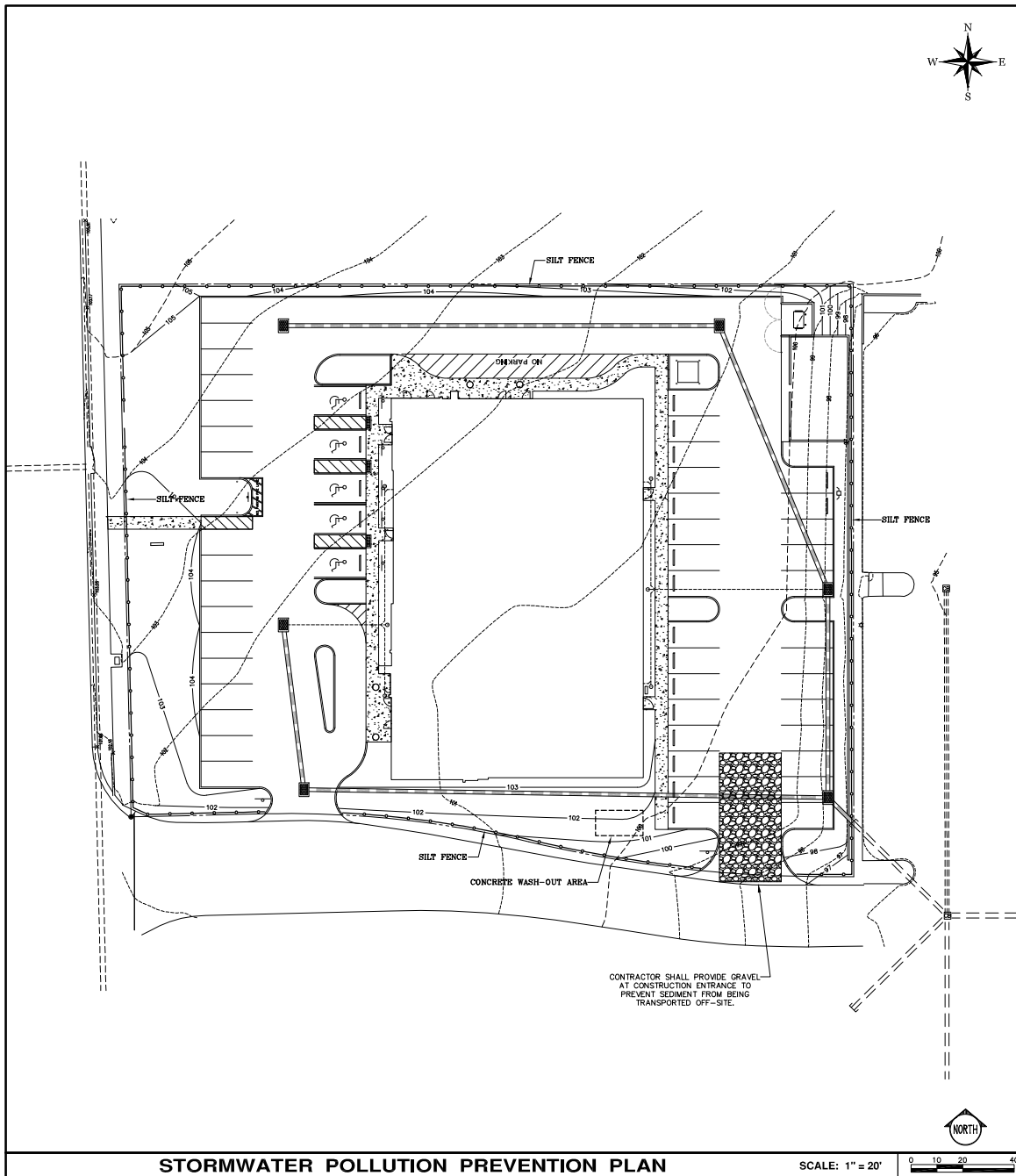
DATE: 2025.06.17
 07:49:23
 -04:00
 KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF RIDDLE-NEWMAN ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RIDDLE-NEWMAN ENGINEERING, INC.

DATE: 2/27/25
 SHEET NO. 24119
 PROJECT NO. 24119

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: AS SHOWN
 DATE: 2/27/25
 PROJECT NO. 24119

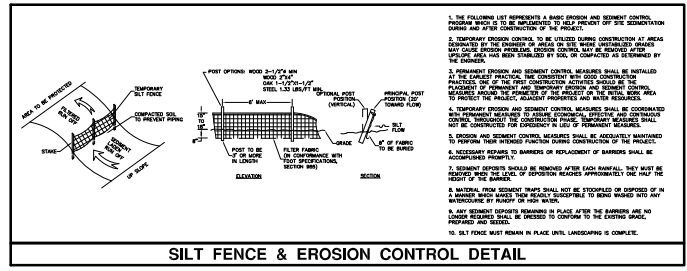
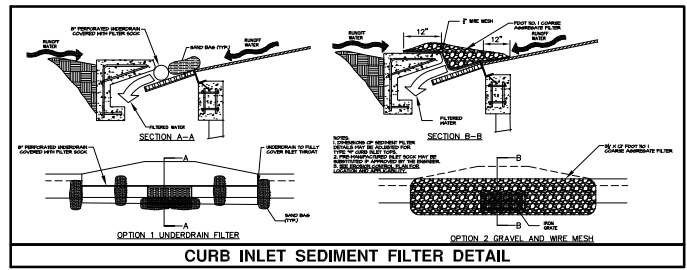
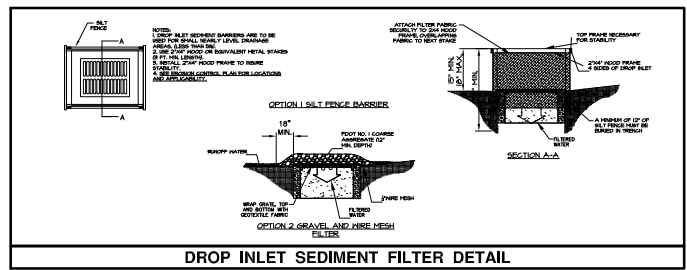
© 2025 RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.



THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "T" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR MAT BALES. UNTIL UNDERCUT BASE IS FINISHED AND PRIMED.



NPDES REQUIREMENTS

- Federal Law prohibits all point source discharges of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small lots less than 5 acres and greater than 1 acre) construction activities, to a water of the United States without a National Pollutant Discharge Discharge Permit (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), Town, City or County, shall obtain coverage either under a discrete permit or an individual permit.
- The Contractor shall obtain the NPDES permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dem.state.fl.us/water/stormwater/index.html. The Contractor shall be responsible for maintenance of the site in accordance with all requirements of the SWPPP and have in place (starting along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Forms). The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The one of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5 inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and those inspections are required to be made by a "Qualified" Inspector. Those inspections must document compliance with the permit and the SWPPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-5322 for additional information on qualified inspectors or additional information on the NPDES requirements.

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 33748
PHONE: (352) 787-7412
keith@riddlenewman.com
www.riddlenewman.com

RIDDLE NEWMAN ENGINEERING INC.

KEITH E. RIDDLER, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 36800

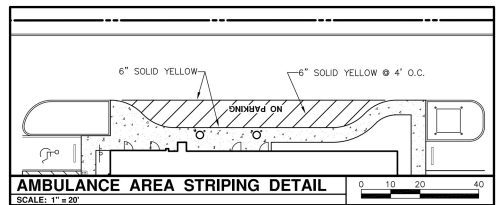
DATE: 2/27/23
SCALE: 1"=20'

STORMWATER POLLUTION PREVENTION PLAN

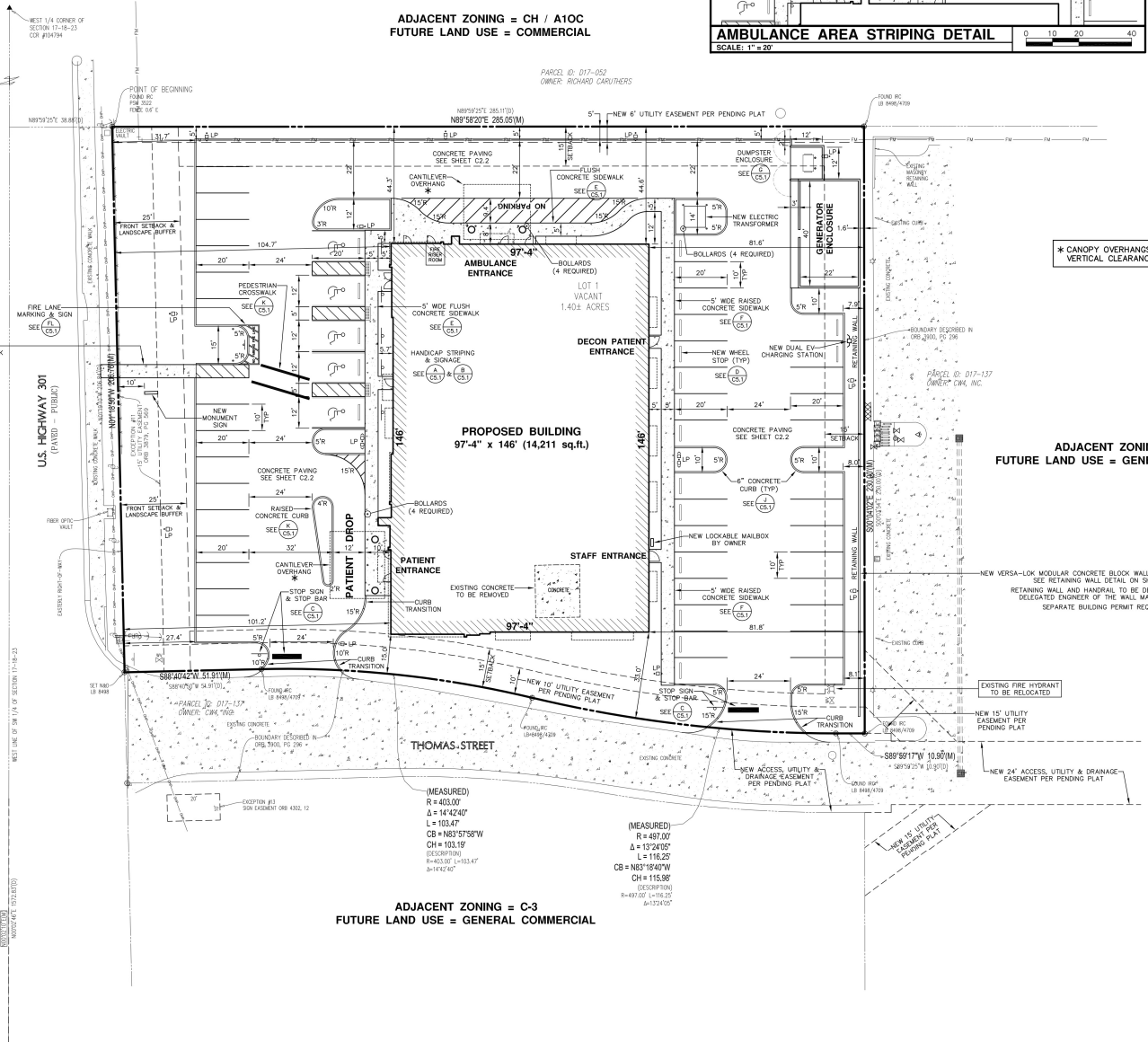
UF HEALTH OXFORD FSED
FLORIDA

PROJECT NO. 24119

SHEET NO. C1.2



- LEGEND**
- A/C AIR CONDITIONING UNIT
 - HPPE HIGH-DENSITY POLYETHYLENE
 - LB LICENSED BUSINESS
 - ORB OFFICIAL RECORDS BOOK
 - PG PAGE
 - NAD NORTH AMERICAN VERTICAL DATUM
 - (M) FIELD MEASUREMENT
 - (D) DEED MEASUREMENT
 - DHP OVERHEAD UTILITIES
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - R/W RIGHT OF WAY
 - RCP REINFORCED CONCRETE PIPE
 - CO- CONTROL LINE ELEVATION
 - N&D NAIL AND DISK
 - RC 5/8" IRON ROD AND CAP
 - NOO NO IDENTIFICATION
 - IRV IRRIGATION CONTROL VALVE
 - W WATER METER
 - WV WATER VALVE
 - BP BACKFLOW PREVENTER
 - FH FIRE HYDRANT
 - WU WOOD UTILITY POLE
 - CA CULY ANCHOR
 - CP LIGHT POLE
 - ES ELECTRIC RISER
 - SE SPOT ELEVATION



ADJACENT ZONING = CH / A10C
FUTURE LAND USE = COMMERCIAL

ADJACENT ZONING = C-3
FUTURE LAND USE = GENERAL COMMERCIAL

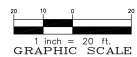
ADJACENT ZONING = C-3
FUTURE LAND USE = GENERAL COMMERCIAL

* CANOPY OVERHANGS SHALL HAVE MINIMUM 15 FOOT VERTICAL CLEARANCE IN ACCORDANCE WITH NFPA.

NEW VERSA-LOK MODULAR CONCRETE BLOCK WALL (OR APPROVED EQUAL). SEE RETAINING WALL DETAIL ON SHEET C-3.1. RETAINING WALL AND HANDRAIL TO BE DESIGNED BY THE DELEGATED ENGINEER OF THE WALL MANUFACTURER. SEPARATE BUILDING PERMIT REQUIRED.

(MEASURED)
R = 403.00
A = 14°42'40"
L = 103.47
CB = N83°57'58"W
CH = 103.19
DISC(S) 07/00
R = 403.00 L = 103.47
a = 14°42'40"

(MEASURED)
R = 497.00
A = 13°24'15"
L = 115.25
CB = N81°18'40"W
CH = 115.98
DISC(S) 07/00
R = 497.00 L = 115.25
a = 13°24'15"



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE: (352) 787-7412
 FAX: (352) 787-7412
 keith@riddlenewman.com
 www.riddlenewman.com
 Calif. C00202653

RIDDLE NEWMAN ENGINEERING INC.
 ENGINEERS

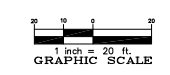
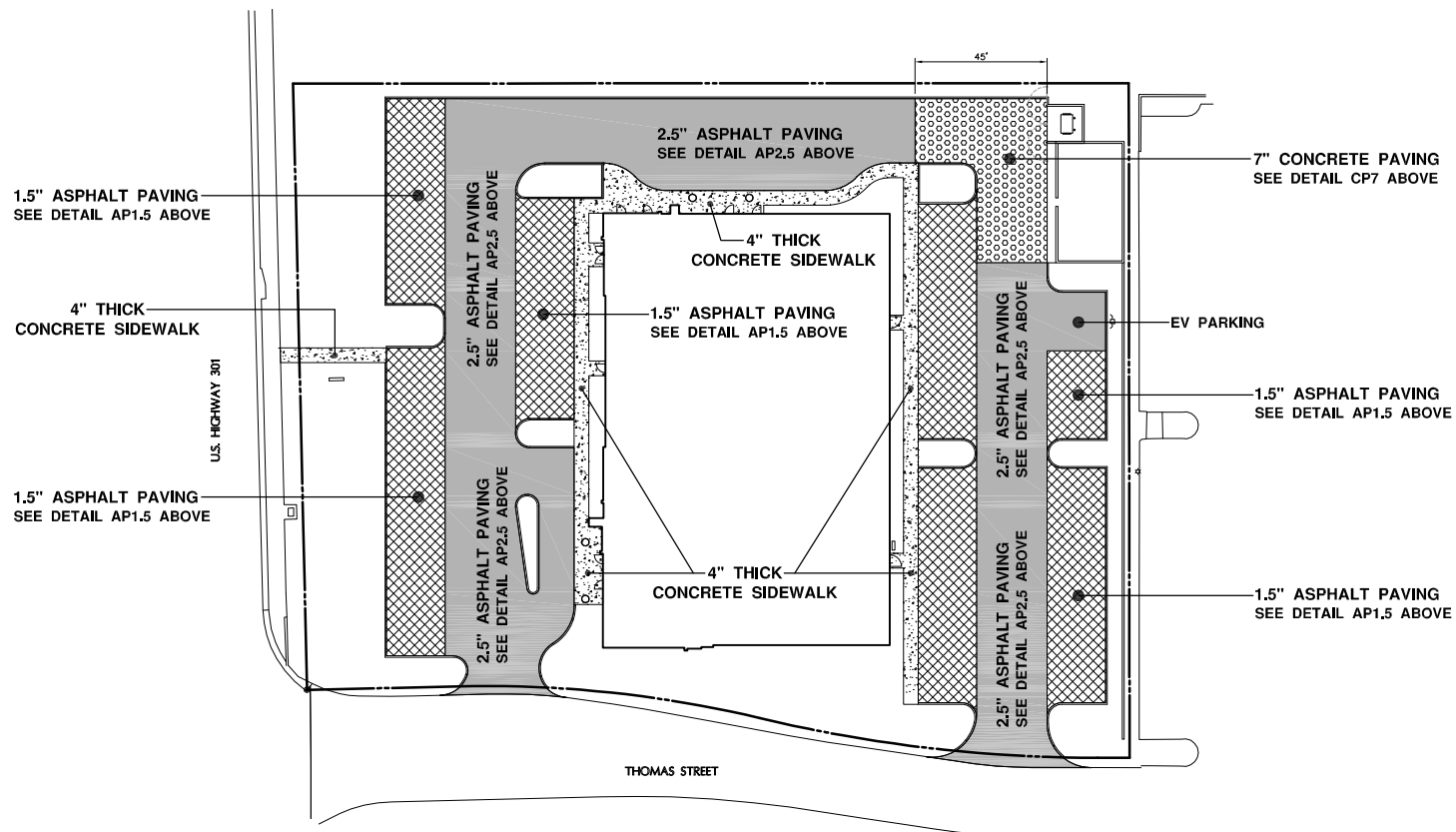
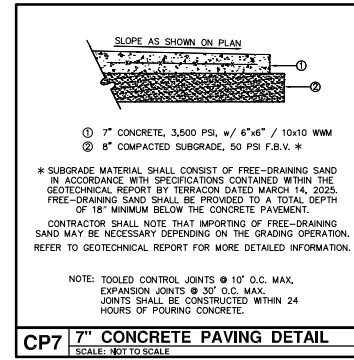
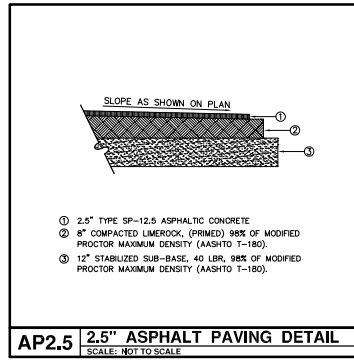
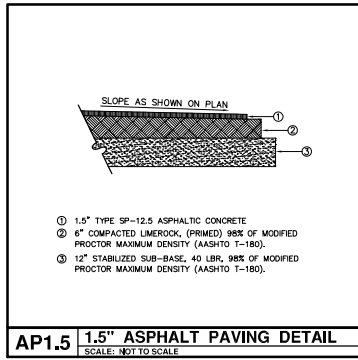
REV # REV # REV #
 1 1 1
 REV # REVISION PER CITY OF WILDWOOD 6/10/25
 REV # REVISION FOR WILDWOOD & SHAWNO 5/29/25
 REV # REVISION FOR COORDINATION 3/19/25

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38860

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: 1"=20'
 DATE: 2/27/25
 PROJECT NO. 24119

GEOMETRY PLAN
UF HEALTH OXFORD FUSED FLORIDA
 WILDWOOD

SHEET NO. **C2.1**



RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 33748
PH: FAX (352) 787-7412
keith@riddlenewman.com
Calif. 00529265

RIDDLE NEWMAN ENGINEERING INC.

REV #	DATE	DESCRIPTION
1	6/16/25	REVISED PER CITY OF WILMWOOD
2	5/28/25	REVISED FOR WILMWOOD & SHIMADZU
3	3/19/25	REVISED FOR COORDINATION

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 36800

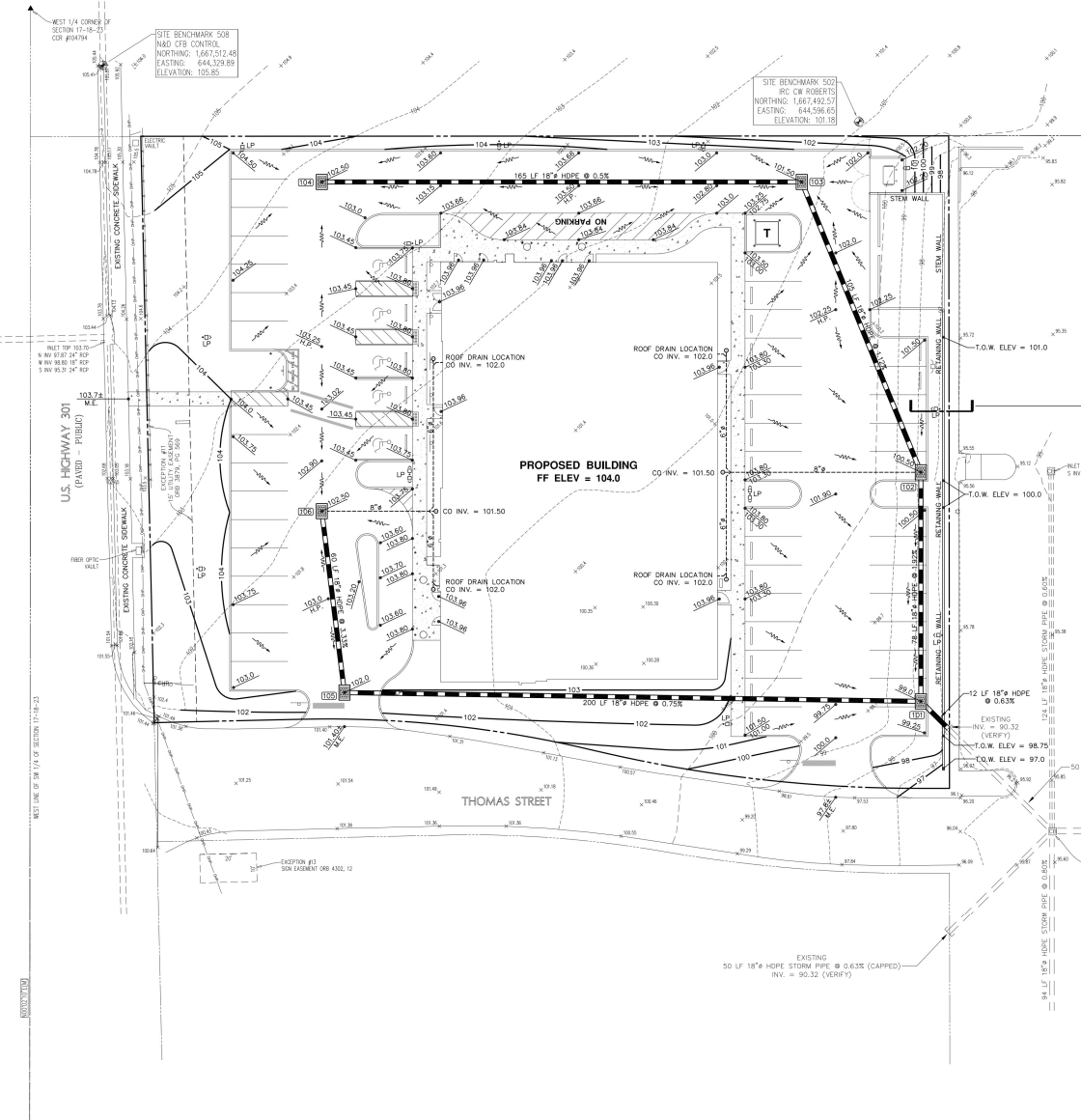
DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=20'
DATE: 2/27/25
PROJECT NO. 24119

CONCRETE PAVEMENT PLAN

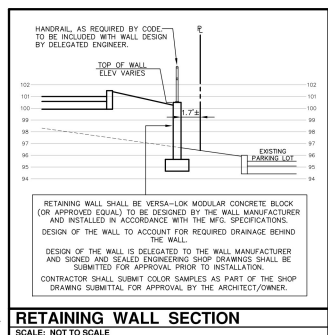
UF HEALTH OXFORD FSED
FLORIDA
WILMWOOD

SHEET NO. C2.2

© 2025 RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.



- LEGEND**
- A/C AIR CONDITIONING UNIT
 - HPPE HIGH-DENSITY POLYETHYLENE
 - LB LICENSED BUSINESS
 - ORB OFFICIAL RECORDS BOOK
 - PG PAGE
 - NAD NORTH AMERICAN VERTICAL DATUM
 - (M) FIELD MEASUREMENT
 - (D) DEED MEASUREMENT
 - DHP OVERHEAD UTILITIES
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - R/W RIGHT OF WAY
 - RCP REINFORCED CONCRETE PIPE
 - CO- CONTROL LINE ELEVATION
 - N&D NAIL AND DISK
 - RC 5/8" IRON ROD AND CAP
 - NOO NO IDENTIFICATION
 - IRV IRRIGATION CONTROL VALVE
 - WATER METER
 - WATER VALVE
 - BACKFLOW PREVENTER
 - FIRE HYDRANT
 - WOOD UTILITY POLE
 - GLY ANCHOR
 - LI LIGHT POLE
 - S SIGN
 - E ELECTRIC RISER
 - X10.00 SPOT ELEVATION



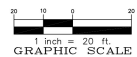
STORM DRAINAGE SCHEDULE

INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	99.00	95.50 N&W 90.00 SE	"F"
102	100.50	97.00	"F"
103	101.50	98.18	"F"
104	102.50	99.00	"F"
105	102.00	97.00	"F"
106	102.50	99.00	"F"

STORM SEWER NOTE:
ALL STORM INLETS SHALL BE TYPE "T" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N. ALL STORM PIPING SHALL BE HANCOCK AKASITO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

ALL GRADING OF THIS SITE SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY TERRACON DATED MARCH 14, 2025. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND SHALL BE RESPONSIBLE FOR GRADING AND EARTHWORK WORK ALL IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE REPORT.



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE: (352) 787-7412
 FAX: (352) 787-7412
 keith@riddlenewman.com
 Calif. C0022853

RIDDLE NEWMAN ENGINEERING INC.
 REGISTERED PROFESSIONAL ENGINEER

REV # 1
 REV # 2
 REV # 3
 REV # 4

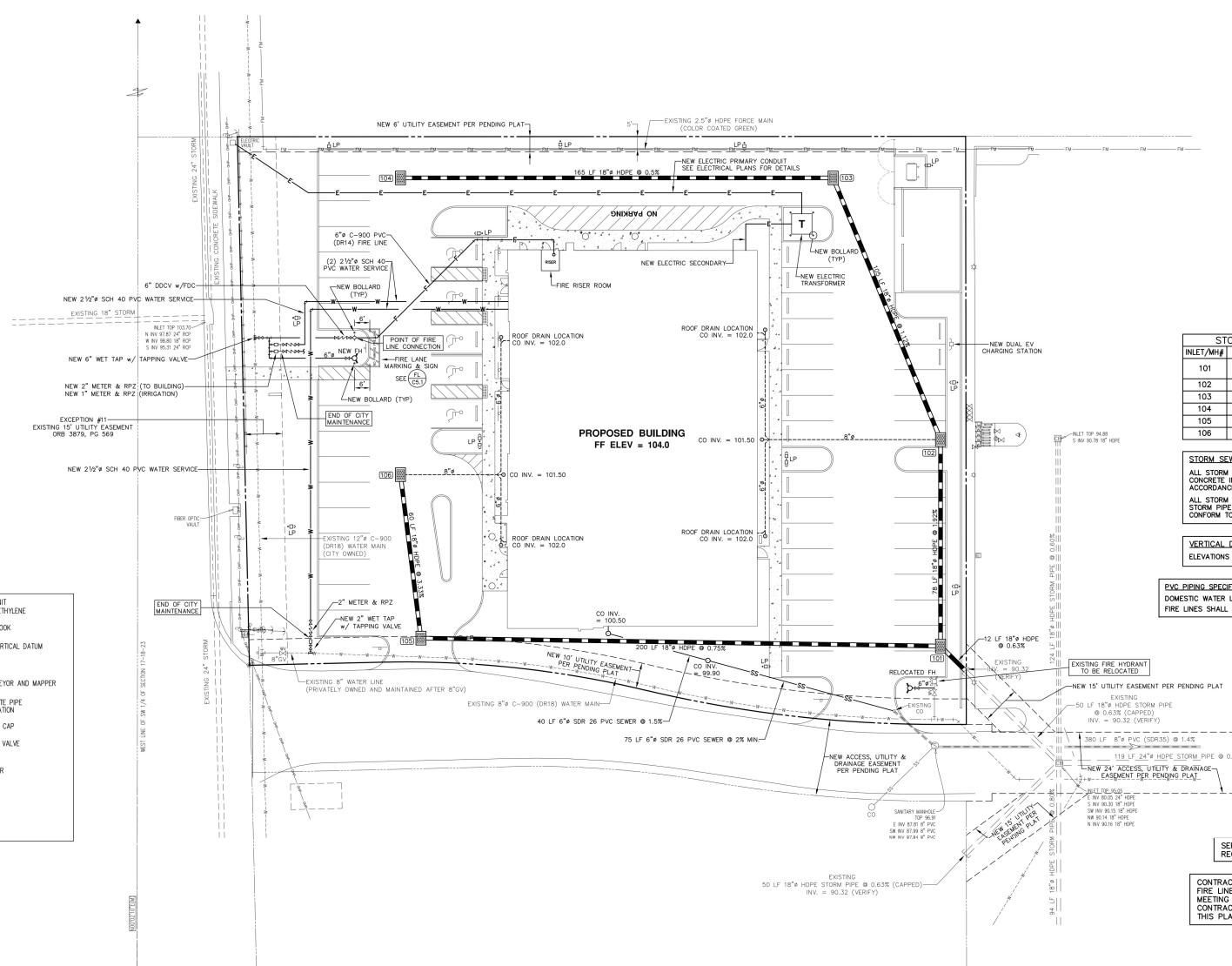
DATE: 6/19/25
 BY: JLD
 CHECKED: JLD
 DATE: 5/29/25
 BY: JLD
 CHECKED: JLD
 DATE: 3/17/25
 BY: JLD
 CHECKED: JLD

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38860

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: 1"=20'
 DATE: 2/27/25
 PROJECT NO. 24119

GRADING & DRAINAGE PLAN
UF HEALTH OXFORD FSED
 WILDWOOD FLORIDA

SHEET NO. **C3.1**



STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	99.00	95.50 N&W 90.00 SE	"F"
102	100.50	97.00	"F"
103	101.50	98.18	"F"
104	102.50	99.00	"F"
105	102.00	97.00	"F"
106	102.50	99.00	"F"

STORM SEWER NOTE:
 ALL STORM INLETS SHALL BE TYPE "T" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N. ALL STORM PIPING SHALL BE HANCOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

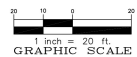
PVC PIPING SPECIFICATIONS
 DOMESTIC WATER LINES SHALL BE C-900 PVC, DR18, CLASS 235. FIRE LINES SHALL BE C-900 PVC, DR14, CLASS 305.

SEPARATE FIRE LINE PERMITTING REQUIRED PER NFPA.

CONTRACTOR SHALL PROVIDE ENGINEERED FIRE LINE PLAN FOR FIRE LINE PERMITTING MEETING THE REQUIREMENTS OF NFPA. CONTRACTOR TO INCLUDE THE COST OF THIS PLAN IN HIS COST FOR CONSTRUCTION.

LEGEND

A/C	AIR CONDITIONING UNIT
HPPE	HIGH-DENSITY POLYETHYLENE
LB	LICENSED BUSINESS
ORB	OFFICIAL RECORDS BOOK
PC	FACE
NAVD	NORTH AMERICAN VERTICAL DATUM
(M)	FIELD MEASUREMENT
(D)	DEED MEASUREMENT
OHP	OVERHEAD UTILITIES
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R/W	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
CO	CONTOUR LINE ELEVATION
M&D	MAIL AND DOK
IRC	5/8" IRON ROD AND CAP
IND	NO IDENTIFICATION
IRV	IRRIGATION CONTROL VALVE
W	WATER METER
WV	WATER VALVE
BP	BACKFLOW PREVENTOR
FH	FIRE HYDRANT
CU	WOOD UTILITY POLE
CA	CUT ANCHOR
CP	CONCRETE PILE
EL	ELECTRIC RISER
101.00	SPOT ELEVATION



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESSBURG, FLORIDA 34748
 PH: (352) 787-7412
 FAX: (352) 787-7412
 keith@riddlenewman.com
 Calif. C00028263

RIDDLE NEWMAN ENGINEERING INC.

REV. # 1
 REV. # 2
 REV. # 3
 REV. # 4
 REV. # 5

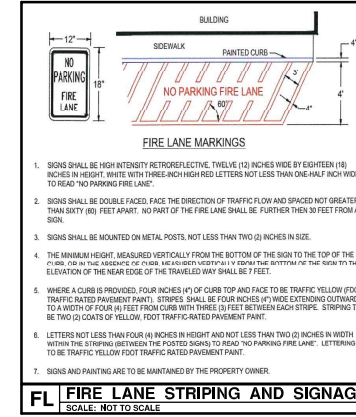
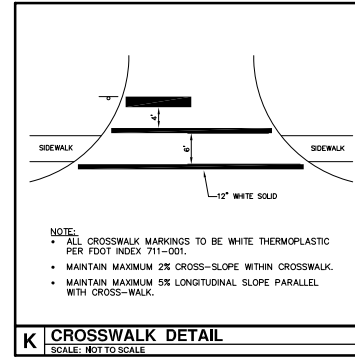
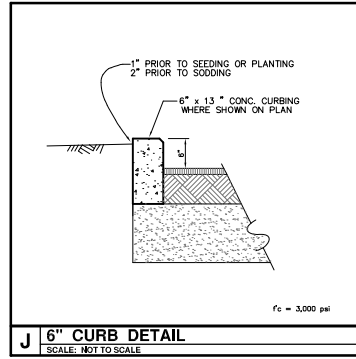
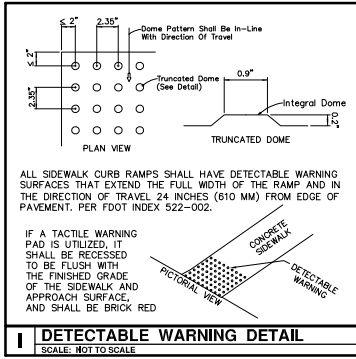
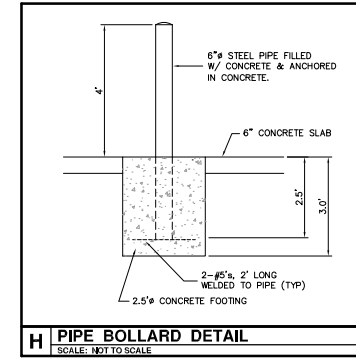
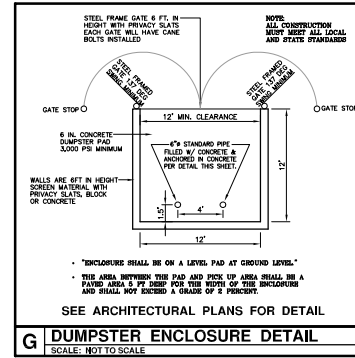
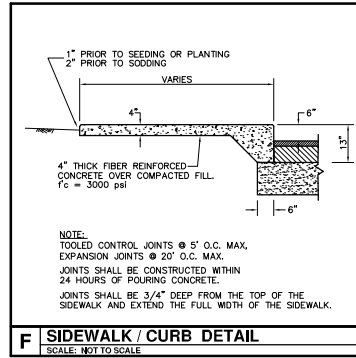
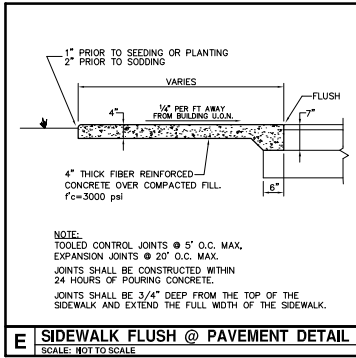
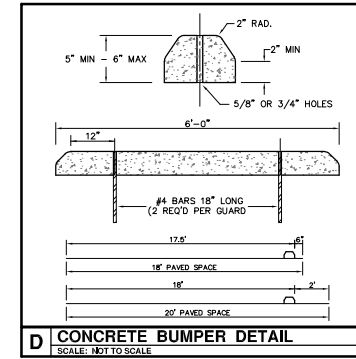
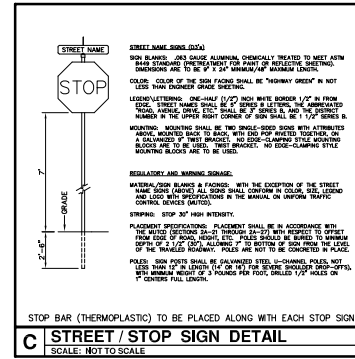
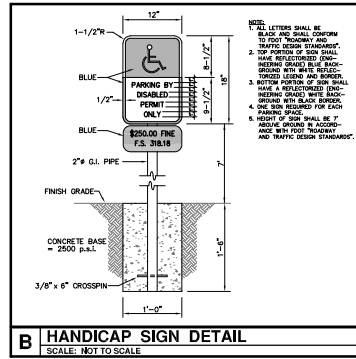
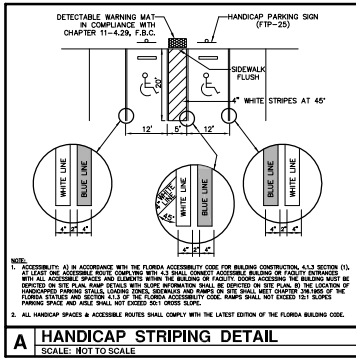
DATE: 6/19/25
 PROJECT: UF HEALTH OXFORD FSED WILDWOOD
 SHEET NO. C4.1

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

DATE: 2/27/25
 PROJECT NO. 24119

UTILITY PLAN
 UF HEALTH OXFORD FSED
 WILDWOOD
 FLORIDA

© 2025 RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.

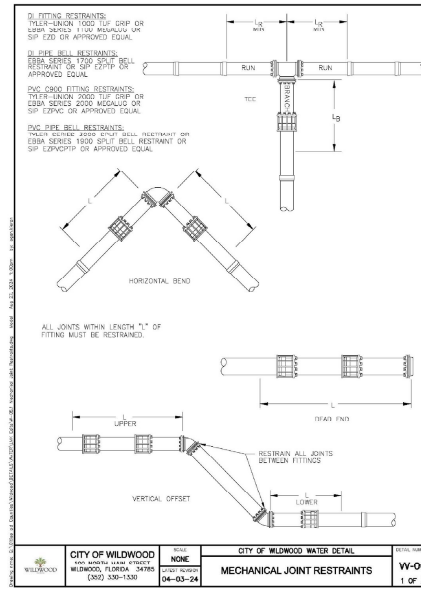
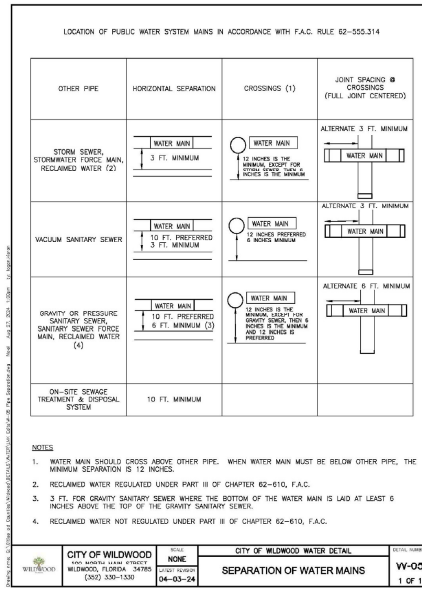
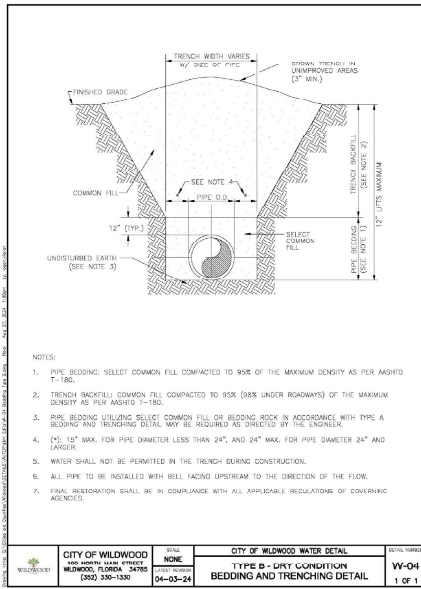
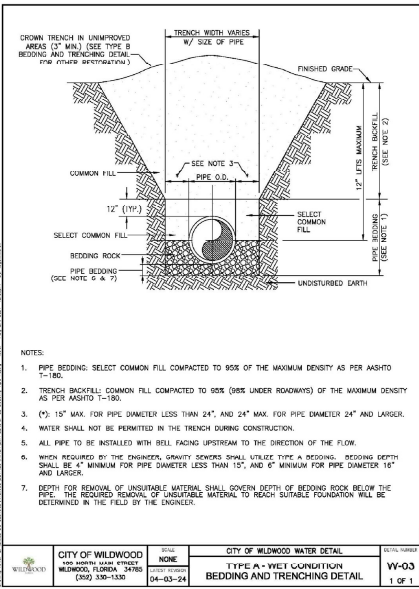


RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 33748
PHONE: (352) 781-7412
FAX: (352) 781-7412
keith@riddlenewman.com
Ced. # 00020200

RIDDLE NEWMAN ENGINEERING INC.

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

DATE: 2/27/20
SHEET NO. C5.1



MINIMUM LENGTH OF PIPE "L" (FEET) TO BE RESTRAINED

(SOURCES: ASCE REINFORCEMENT LENGTH CALCULATION PROGRAM FOR PIPE RELEASE 3.1, AND ASPRA THREAT RESTRAINT FOR DUCTILE IRON PIPE RELEASE 3.2)

FITTING TYPE	PIPE SIZE									
	4"	6"	8"	10"	12"	15"	18"	24"	30"	36"
90° HORIZ. BEND	17	24	31	37	43	49	55	68	78	89
45° HORIZ. BEND	9	7	10	13	15	18	20	23	28	32
22.5° HORIZ. BEND	3	3	6	7	8	9	10	11	13	15
11.25° HORIZ. BEND	2	2	3	4	4	5	6	7	8	9
45° VERT. OFFSET	16	22	29	34	41	46	52	64	74	89
LOWER BEND	7	10	13	15	18	20	23	28	32	37
UPPER BEND	7	12	15	17	20	22	25	31	38	43
11.25° VERT. OFFSET	4	5	6	7	8	11	14	16	18	22
LOWER BEND	2	2	3	4	4	5	7	7	8	9
UPPER BEND	2	2	3	4	4	5	7	7	8	9
VALVE (DRAIN END)	28	30	35	40	45	50	55	65	75	85
VALVE (TOP)	38	37	42	47	52	57	62	72	82	92
4" x 4"	18	18	18	18	18	18	18	18	18	18
TEE	80	1	29	61	—	—	—	—	—	—
12" x 4"	78	28	48	64	—	—	—	—	—	—
12" x 4"	1	10	40	60	78	—	—	—	—	—
14" x 4"	1	8	30	50	75	92	—	—	—	—
14" x 4"	1	1	79	51	71	80	106	106	—	—
20" x 4"	1	1	18	52	64	85	101	133	—	—
24" x 4"	1	1	1	3	35	37	50	100	158	—
30" x 4"	1	1	1	1	15	42	85	86	120	192
REDUCER (LARGER PIPE RESTRAINT)	87	55	29	—	—	—	—	—	—	—
10" x 4"	68	41	28	—	—	—	—	—	—	—
12" x 4"	85	71	52	48	—	—	—	—	—	—
14" x 4"	101	89	73	68	—	—	—	—	—	—
18" x 4"	117	108	92	89	54	29	—	—	—	—
20" x 4"	131	128	108	114	79	54	—	—	—	—
24" x 4"	155	149	129	140	102	68	97	54	—	—
30" x 4"	209	204	192	188	128	105	111	75	—	—

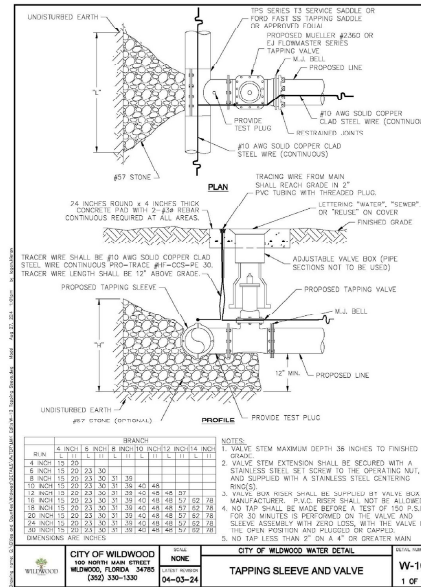
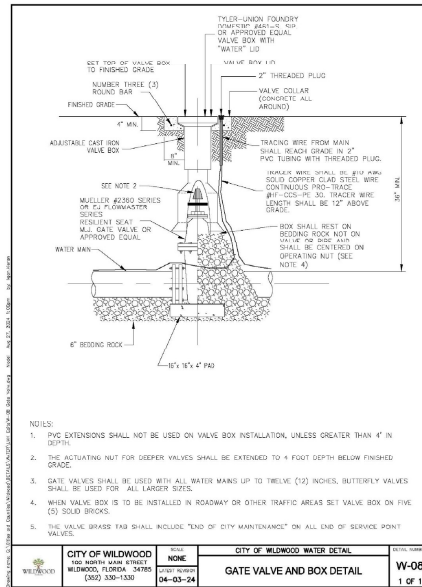
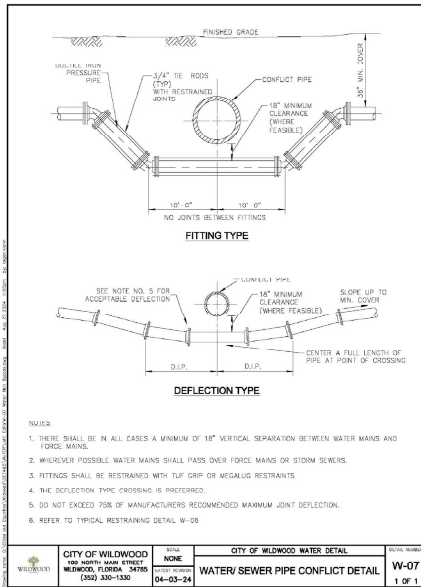
CITY OF WILDWOOD
140 NORTH MAIN STREET
WILDWOOD, FLORIDA 34785
(882) 330-1330

CITY OF WILDWOOD WATER DETAIL
MECHANICAL JOINT RESTRAINTS

DATE: 04-03-24

SCALE: NONE

REVISED: W-06
2 OF 2



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE: (882) 781-7412
 FAX: (882) 781-7412
 keith@riddlenewman.com
 keith@riddlenewman.com
 (882) 781-7412

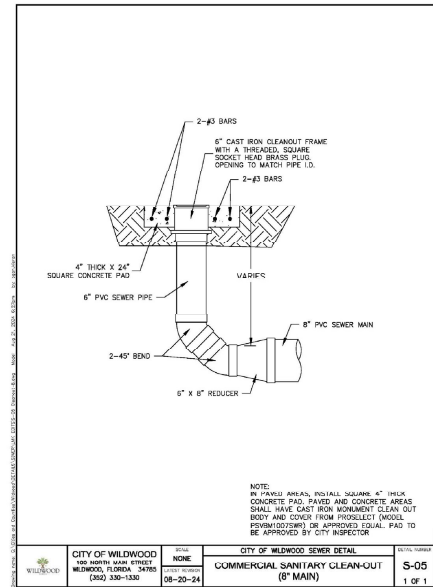
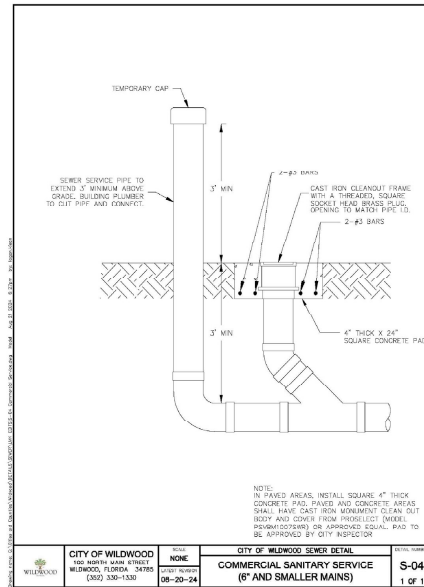
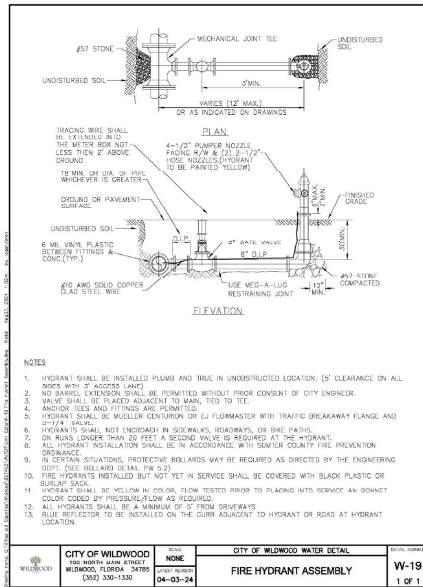
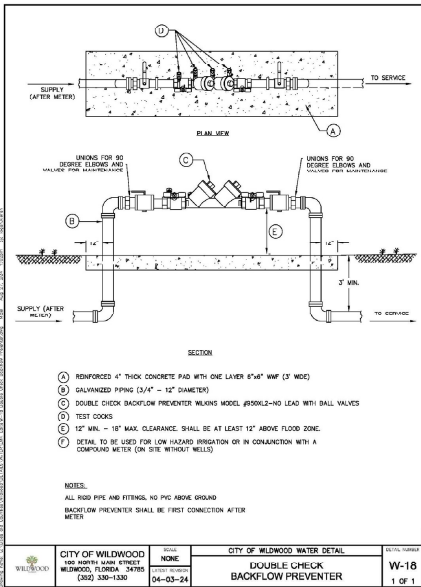
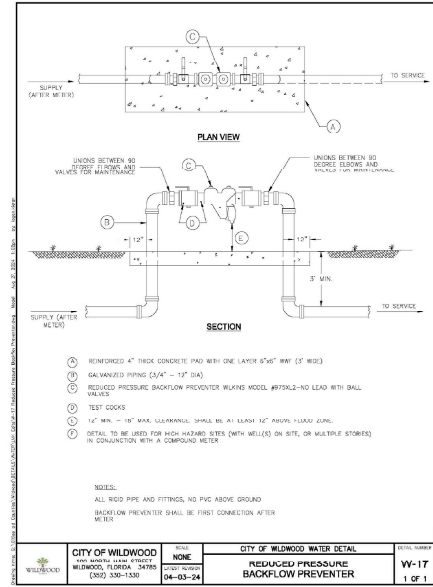
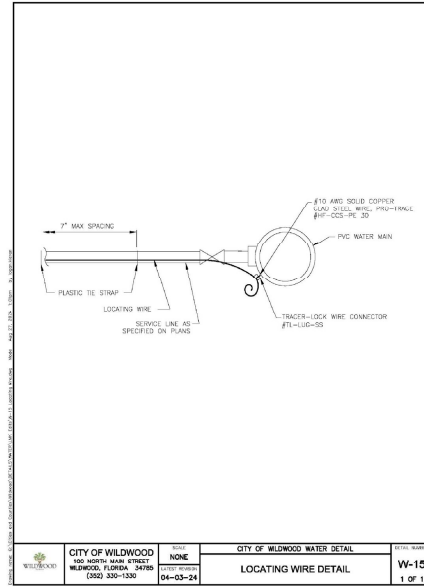
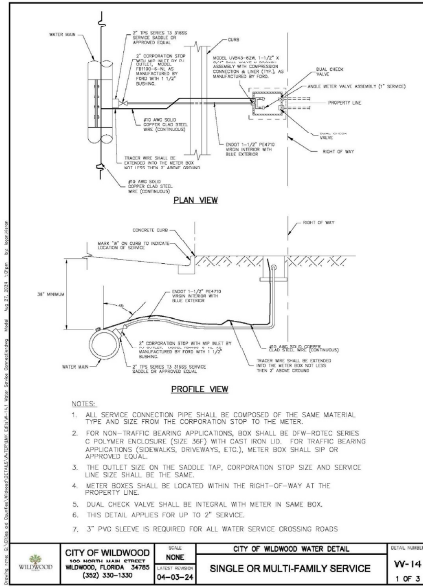
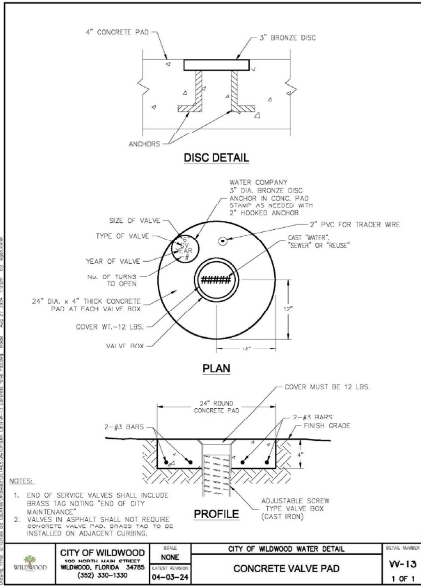
RIDDLE NEWMAN ENGINEERING INC.

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

TYPICAL WATER DETAILS
 UF HEALTH OXFORD FSED
 WILDWOOD FLORIDA

DATE: 2/27/23
 PROJECT NO: 24119

SHEET NO: C6.2



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE: (352) 787-7412
 FAX: (352) 787-7412
 keith@riddlenewman.com
 www.riddlenewman.com

RIDDLE NEWMAN ENGINEERING INC.

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

TYPICAL WATER & SEWER DETAILS
 UF HEALTH OXFORD FSED
 WILDWOOD FLORIDA

SHEET NO. C6.3

© 2025 RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.

INSTALLATION AND MAINTENANCE NOTES

- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and the performing of all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintenance of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, bearing relationships to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to avoid any misunderstanding and facilitate a trouble free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is re-inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", as published by the Florida Department of Agriculture and Consumer Services, most current edition.
- All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
- All trees 6" or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- Planting soil shall consist of the existing soil amended if required.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida and City of Wildwood fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.
- All plants shall be watered thoroughly when planted.
- Sod shall be well matted with grass roots. The sod shall be taken up in rectangles preferably 12" by 24" a minimum of 2" in thickness, and shall be reasonably free of weeds and other grasses and shall have a soil mat of sufficient thickness adhering firmly to the roots to withstand all necessary handling. The sod shall be shaded and kept moist until it is planted. Damaged sod will be rejected. Replanting shall be done within 48 hours after time of harvesting or kept damp until planted.
- Sodding schedule:
 - All lawn areas shall be planted with a species specified by the Owner (limits determined by Owner).
 - Soft spots and irregularities in grade shall be corrected before starting work.
 - Lay sod without voids. Thoroughly water after planting. The surface shall be true to finish grade lines and even and firm at all points.
 - Place sod with staggered joints closely butted, tamped or rolled to an even surface. Erosion control measures are mandatory in swales, bights of ways, or any other areas subject to erosion.
- All shrub areas and areas to be sodded will be automatically irrigated. Verify areas to be irrigated with owner prior to commencing work.
- Contractor shall clean up and remove from the premises all surplus materials and rubbish.
- All shrubs and sod shall be guaranteed for one hundred eighty (180) days after final acceptance of the final phase by owner. All trees shall be guaranteed for one (1) year after final acceptance of the final phase.
- Protective barricades shall be placed around all protected trees to be saved and shall remain in place until construction is complete. Barricades shall be constructed as detailed.
- Final Inspection will not take place until all materials have been planted/installed properly.
- Contractor will be notified by letter of the final acceptance of each phase within ten (10) days after final phase inspection or ten (10) days after reinspection should that be necessary.
- Upon final notice of final acceptance of each phase, the owner will assume maintenance.
- If trees are wrapped in burlap and wire, remove wire and burlap from the surface of the root ball.

Landscape Notes:

All plant material to be Florida #1 or better as defined in the Florida Grades and Standards for Nursery Plants, most current edition.

Required canopy trees shall have a single straight trunk to a minimum of four feet (4'), and a minimum DBH of two inches (2"), and be a minimum of eight feet (8') tall at the time of planting.

Required ornamental trees may be single stemmed or multi-stemmed, a minimum DBH of two inches (2"), and be a minimum of eight feet (8') tall at the time of planting.

Required shrubs and hedges shall have a container size of 3 gallon minimum, have a minimum height of 30 inches (30") at the time of planting and shall reach an average height of three feet (3') within 1 year of planting. When a continuous hedge is required, the plants shall be planted at a maximum spacing of thirty inches (30") on center.

Landscape plants and features that are not required by code shall be optional to install at owner's discretion without plan revision.

All Landscape trees to be from preferred tree list or approved alternatives.

All landscape shrubs to be from preferred shrub list or approved alternatives.

Installation of trees and shrubs shall comply with standard nursery practice.

Landscape to meet all applicable Florida Friendly and City requirements.

Required landscape buffers to utilize existing plant material where applicable.

All landscape planting in the WRAs will be above the designated high water elevation.

See engineering plans for details and dimensions.

Ground cover hatch patterns illustrate differences in mass planted areas, hatch pattern is not associated with any particular ground cover type.

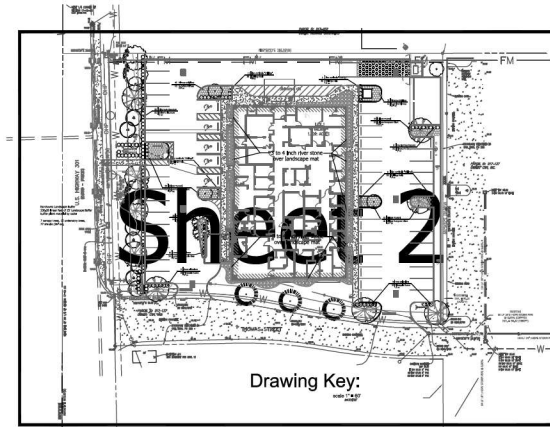
Minor changes to tree locations are possible to avoid conflict with Photometric plan.

All landscaped areas will be 100% irrigated by an automatic system.

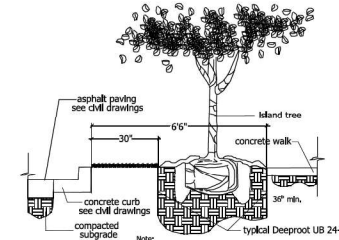
Trees with invasive root systems will maintain a 12' setback from utilities.

All foundation plantings to be a minimum of 3' from building walls.

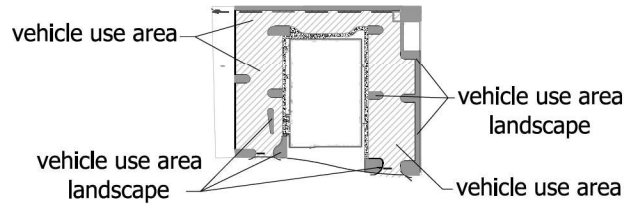
No protected trees to be removed.



Drawing Key:



Island Tree Planting With Root Barrier Detail
not to scale



Vehicle Use Area Diagram

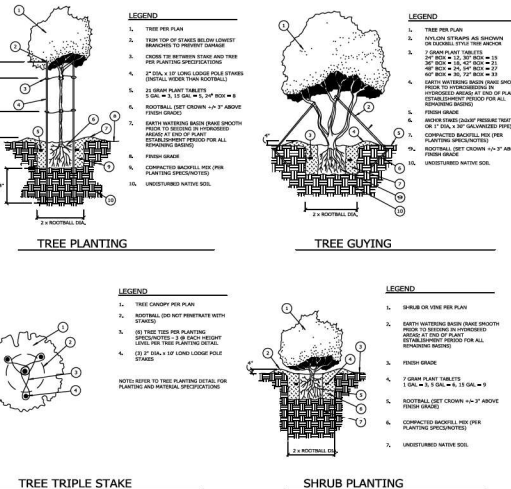
Landscape Area Within Vehicle Use Areas:

Vehicle use area: 26,816 sf. Landscape area required (10%) = 2,681 sf.
Landscape area provided (15.5%) = 5,490 sf (see diagram)

Tree Symbol Legend:

- 1 Quercus virginiana
Live Oak
- 1 Acer rubrum
Florida Flame Red Maple
- 1 Taxodium distichum
Bald Cypress
- 1 Ilex attenuata 'Eagleston'
Eagleston Holly
- 1 Lagerstroemia indica
Muscooge Crape Myrtle
- 1 Sabal palmetto
Sabal Palm

Planting Details:



Plant List:

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
TREES						
9	Southern Live Oak	Quercus virginiana	L, M	Yes	as shown	2" DBH, 8'x4'
3	Bald Cypress	Taxodium distichum	L, M	Yes	as shown	2" DBH, 8'x4'
2	Cabbage palm, sabal palm, cabbage palmetto	Sabal palmetto	L, M	Yes	as shown	regenerated head, sick trunk
3	Florida Flame Red Maple	Acer rubrum	L, M	Yes	as shown	2" DBH, 8'x4'
6	Muscooge Crape myrtle	Lagerstroemia indica 'Muscooge'	L, M	No	as shown	2" DBH, 8'x4'
7	Eagleston Holly	Ilex attenuata 'Eagleston'	L, M	Yes	as shown	2" DBH, 8'x4'
SHRUBS						
10	Loropetalum Purple Flare	Loropetalum chinense 'Purple Flare'	L, M	No	3' oc	3G, 30"
16	Pineapple Guava	Acca sellowiana	L, M	No	3' oc	3G, 30"
30	Shillings Holly	Ilex vomitoria 'Shillings Dwarf'	L	Yes	3' oc	3G, 30"
8	Simpson stopper, Iwi-berry	Myciartnes fragrans	L, M	Yes	3' oc	3G, 30"
93	Water's viburnum	Viburnum obtovatum	L, M, H	Yes	3' oc	3G, 30"
GROUND COVER						
189	Liriope Evergreen Giant	Liriope muscari 'Evergreen Giant'	L	No	24" oc	1G
96	Sunshine Mimosa	Mimosa stipulacea	M	Yes	24" oc	1G
SOD						
9284 sf	Argentine Baha	Paspalum notatum	L, M	No		sod

HUFFSTETLER
Landscape Architecture & Planning
Grand Island, FL 32725
Tel: 408.833.4444 (352) 516-5254
www.huffstetler.com

Digitally signed by Leslie R Huffstetler
Date: 2025.05.18 12:55:09 -0400

Landscape Plan

UF Health Oxford
Wildwood, Florida

scale: N/A when plotted on 24" x 36" sheet
sheet: L1 of 2



L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
3695 Lake Yale Drive
Grand Island, FL 32725
(352) 516-5254

L.R. Huffstetler 01-13c, # 0002044

IRRIGATION DESIGN NOTES

A. GENERAL NOTES

- The plans and drawings are diagrams of the work to be performed. The work shall be executed in a manner which complies with all codes and regulations, including landscape maintenance. Any and all deviations shall be brought to the attention of the owner or owners representative. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings when it is obvious in the field that circumstances, grade differences, or discrepancies exist that might not have been taken into account in the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will assume full responsibility for any deviations.
- Irrigation system shall be installed in accordance with the plans, Irrigation System Specifications and all contract documents. Contractor shall comply with all prevailing local codes, ordinances and regulations.
- Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and/or new plantings to avoid conflicts with location, planting, shading, cables and services. The irrigation contractor is responsible for coordinating installation with all other construction on the specifically landscaped installations. Irrigation system to be relocated for no additional cost for any conflict with landscape installation or for any other site construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will be accepted. All piping and other components are to remain within the property of the OWNER.
- Where existing or new trees, light standards, signs, electronic controllers and/or other objects are on obstruction to an Irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. The Landscape Architect or representative is to determine if obstruction occurs or not.
- Component spacing to maximum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacing does not exceed the spacing shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
- All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by the manufacturer.
- Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operating time, as indicated on the drawings and on the Irrigation system specifications. Adjust all sprinklers to avoid overwater of water onto buildings, roadways, sidewalks or existing native vegetation.
- Contractor to provide installation shop drawings and manufacturer product information for all Irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and summary sheets shall not be used for bidding purposes. The contractor will be responsible for rounding a comprehensive takeoff of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
- All trenches shall be backfilled with clean, debris-free materials. Clean sand shall be used for bedding materials to prevent soil compaction adequately fill of rock or other extraneous debris. Pulling pipe may be utilized where applicable.
- Solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.
- Contractor and laborer/number all zone valve covers with corresponding controller zone number and location valve box with recording drawing details.

B. MAINLINE & PIPING

- All Irrigation main(s) & sub main(s) and lateral piping shall be CLASS 200 PVC Purple Pantone (Reclaimed) pipe with blue fittings. All
- The depth of all lines shall be 18" minimum cover for mainline and 12" minimum cover for lateral lines as specified per plans and details. Measurements shall be from top of pipe(s) to finish grade. Contractor will be responsible for re-trenching and relaying any piping not meeting specified depths.

C. SLEEVING

- All sleeves SCH-40 PVC size as per plan. All sleeves to be twice the diameter of piping to be sleeved.
- Irrigation contractor shall coordinate with general contractor for the location of sleeving crossings whether shown or not. At no time shall sleeving cross the same sleeve with main(s) or other piping unless sleeving is installed in conduit inside of sleeve for protection.
- All sleeving shall extend 12" beyond the edge of the surface requiring sleeving.
- All sleeving sleeves shall be SCH-40 (1") or as stated per plan.

D. ISOLATION VALVES

Not applicable on this project

E. QUICK COUPLER VALVES

Not applicable on this project

F. CONTROL SYSTEM WEATHERMASTERS SL-1600 Rain-Sensor

SL1600 CONTROLLER(S) shall be model SL1600 as manufactured by Weatherma's Sprinkler Division of Telco Industries, or approved equal. Controller(s) shall be modular.

OPERATION: Controller shall be capable of standard 180° wetting or auto adjust wetting lines when equipped with an optional SLW weather monitor manufactured by Weatherma's. Auto Adjust wetting shall be based on real time, on-site weather data and system output data entered by the user. Auto adjust timing shall be based on the proprietary ET calculation formula. Controller shall provide reversible wetting cycles, scheduled run times by zone and a total run time relay for each zone which is resettable by the user. A more or less function shall be provided to allow 10 min adjustment by timer for standard/light system efficiency and other local functions. Auto adjust mode shall also include automatic calculation of runtimes based on both soil type and zone elevation.

Each program shall have eight independent start times, calendar schedules, watering budgets by month and a schedule for verifying all installation rates.

Controller shall have a pump start/stop valve position which will be programmable to operate on demand for any selected zone. A programmable safety delay shall be included for zone to zone delay and master valve to zone delay for opening or closing.

Controller shall have input for rain and freeze sensor devices. Use of the optional SLW weather monitor shall incorporate the rain and freeze shutdown functions and shall incorporate a 48 hour delay after closure of the rain sensor switch.

Controller shall have self-diagnostic capabilities to detect "short" or "open" zones and the ability to display lists of faults on an LCD display for the user. Diagnostics shall also include LCD display of voltage readings by zone and for transformer output as well as backup battery reading. A chatter function shall also be provided to assist in locating buried valves. The controller shall automatically prevent master valve opening or pump start when the valve locator diagnostic is used.

Display shall be backlit for clear viewing in all lighting conditions. Zone timing shall be settable from 1 minute to 9 hours and 55 minutes.

Program D shall operate concurrently with programs A, B, and C. Programs A, B, and C shall check in sequence at start time operation.

Program schedules shall include options for days of the week, odd days, even days and an interval of 1 to 30 days. A 'no water' window shall be available to inhibit daily operations of a program between two selected times on a given day combination of up to 7 specified calendar dates or specific days of the week. Adjustments for leap year shall be automatic.

Program schedules shall include options for days of the week, odd days, even days and an interval of 1 to 30 days. A 'no water' window shall be available to inhibit daily operations of a program between two selected times on a given day combination of up to 7 specified calendar dates or specific days of the week. Adjustments for leap year shall be automatic.

Manual operation shall be provided by program, by station, or on a programmable test program with durations from ten (10) seconds to ten (10) minutes. The programmable test program shall also check for short and open conditions on each zone each time it runs.

Non-volatile memory shall retain all programming and real-time clock shall be provided to maintain date and time.

CONSTRUCTION: Controller shall be enclosed in a U.L., C.E. and C-Mark, listed rainproof plastic enclosure with optional key lock. The enclosure shall be used for outdoor or indoor use. Enclosure shall be a wall mount (optional model) with removable knockouts on the lower side and back of the housing for choice of wiring location. The opening panel shall be a totally enclosed knockout that is removable from the housing for programming a separate location. A test post for 24V ac operation shall be accessible with or without the opening panel. Zone modules (SLM) shall be self-contained modules that can be installed without turning off power to the unit and programming of the zones shall not be required. Module wiring connections shall be of the type that allow insertion of solid wires without any tool. Each module shall contain its own surge protection.

ELECTRIC: Controller shall be completely electric in operation. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from an independent power supply. Primary shall be 115V ac, 60Hz or 230V, 50Hz.

WARRANTY: Controller shall have a manufacturer's limited warranty of three (3) years.

G. RAIN SENSOR SmartLine® Weather Stations SLWS

WEATHER STATION(s) shall be model SLWS manufactured by Weatherma's Sprinkler Division of Telco Industries. Weather stations must be compatible for use with SmartLine Irrigation controls.

CONSTRUCTION: Weather station shall be wireless in design using radio-frequency communication. Weather station shall have integrated enable sensors for rain-outlet, freeze shut-off and substitution of daily evapotranspiration irrigation deficits. Weather station shall have an integral mounting bracket with a two-point articulating arm made from aircraft grade metal. Weather station shall be suitable for outdoor mounting in light-commercial or residential environments. Weather station shall be capable of two-way communications with the SmartLine controls and have independent power supply, self-diagnostic shut-off and interprocessor.

OPERATION: Weather station rain sensor shall be adjustable to interrupt irrigation after a user selected precipitation amount of 1/8", 1/4" or 1/2". Weather station shall be capable of interrupting irrigation after temperatures reach below 37 degrees Fahrenheit. Weather station shall provide instant notification to the controller of either a rain or freeze event and upon ending of the same. Evapotranspiration deficits shall be calculated daily and transmitted to the SmartLine controller each day.

WARRANTY: Weather station shall have a manufacturer's limited warranty of two (2) years

L. IRRIGATION CONTROL WIRES

Irrigation Control wires shall be minimum of 18 Gauge Direct Burial wire approved for use in irrigation.

CONSTRUCTION: Conductors must be soft drawn, annealed, solid copper conforming to ASTM 33.

Controller insulation must be polyvinyl chloride (PVC) conforming to UL #443.

Multiple insulated conductors shall be laid in and enclosed in a single outer jacket of thick, high-density, sunlight resistant polyethylene conforming to IEC6A 545-402 and NEMA WCS. The conductors must be color-coded: normally one conductor wire for common and the other three colored. All conductors shall be the same size.

A. REMOTE CONTROL VALVES Hunter ICV® Filter Safety

The valve shall be available in a globe body style with 1 inch Female National Pipe Thread (NPT) inlet and outlet. The 3/4 inch model shall be available in a combination globe/angle configuration. When specified, the valve shall be configured with British Standard Pipe threads. The valve shall be equipped with a flow control mechanism with removable handle that will regulate flow from full on to completely off. When specified for use with reclaimed water, a retained water backflow handle shall be available.

The body and bonnet shall be molded of non-corrosible, glass-reinforced nylon, rated to 220 PSI (15 bars, 1500 KPA). The body of the valve shall have brass inserts, with through-bolts, which will accept the bonnet bolts. The bonnet bolts shall be available with a slotted screwdriver, Phillips screwdriver, or a hex wrench, and shall be held captive in the bonnet when the bonnet is removed from the valve body. The diaphragm assembly shall be molded EPDM construction, reinforced with nylon fabric and have a EPDM seating method. The valve shall be equipped with an internal filter as well as a self-cleaning metering rod, so only clean water can enter the solenoid chamber. An optional filter cleaning system that cleans a stainless steel filter each time the valve opens and closes shall be available. All metal parts internal to the valve shall be manufactured from corrosion-resistant stainless steel.

The standard solenoid shall be 24 VAC with a 370mA Inrush current and 180mA holding current at 60 cycles and a 475 mA Inrush current and 230 mA holding current at 50 cycles. When specified, the unit shall be equipped with a DC latching solenoid for use with battery-operated controllers. The solenoid shall be an encapsulated, one-piece unit with captive plunger. It shall be equipped with manual internal and external bleed capability to release the upper chamber water to the downstream piping, or to atmosphere, allowing the valve to open.

The valve shall carry a five-year, exchange warranty (not promoted). The valve shall be manufactured by Hunter Industries Incorporated, San Marcos, California.

B. VALVE & SPLICE BOXES

All valve boxes shall meet specifications, be sized 1" valves in 7" valve box 1.5" and larger valves in 10 inch valve boxes. Boxes shall be installed as shown and detailed herein. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.

Where possible and feasible install valve boxes with surface flaring. No valve boxes shall be installed closer than 3" of any sidewalk or other pedestrian use paving, 6" from any vehicular roadway, walkway or any other low-point.

K. POP-UP SPRAY HEADS Hunter PRO Series PPS 40 PSI as per plan

The sprinkler shall be available with a 6 or 12-inch pop-up stroke, depending on the body specified, to bring the nozzle into a clean environment. The sprinkler shall be available as an aboveground shrub head. The sprinkler shall have the option of either a factory-installed or field-adjustable heads. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.

Where possible and feasible install valve boxes with surface flaring. No valve boxes shall be installed closer than 3" of any sidewalk or other pedestrian use paving, 6" from any vehicular roadway, walkway or any other low-point.

The sprinkler shall be available with a 6 or 12-inch pop-up stroke, depending on the body specified, to bring the nozzle into a clean environment. The sprinkler shall be available as an aboveground shrub head. The sprinkler shall have the option of either a factory-installed or field-adjustable heads. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.

A standard 1/2" check valve shall be available as an option. The sprinkler shall have the words "CHECK VALVE" stamped in the lettering on the body cap. The sprinkler shall have available an optional, snap-on cap, molded in polypropylene resin, or replacement body cap, molded in purple to indicate the use of reclaimed water. A valve-resistant locking cap shall be available as a field-installed option.

The sprinkler shall have a standard pressure-regulating device as an integral part of the pop-up head. This regulator will prevent fogging or misting of the nozzle spray pattern by maintaining a constant nozzle outlet pressure of 30 PSI for use with Spray Nozzles and constant nozzle outlet pressure of 40 PSI for MP Rotator Nozzles with built-in pressures of up to 100 PSI, regardless of the radius of the nozzle.

The body of the sprinkler shall be constructed of corrosion and UV-resistant, heavy-duty A.B.S. The floor of the sprinkler shall be constructed of abrasion and UV-resistant A.B.S. and shall be adjustable for pattern alignment. The floor shall be compatible with threaded nozzles and shall have a stainless steel spring for positive retraction when irrigation is complete.

The sprinkler shall have a pressure-activated, multi-function, UV stable valve seal that will clean debris from the pop-up stem while it retracts. The seal shall be molded around a rigid plastic ring to prevent seal deformation. This seal shall prevent the sprinkler from sitting in the up position and be capable of sealing the sprinkler floor stem to the sprinkler cap under normal operating pressures. The seal shall be removable from the cap for easy service and shall be replaceable.

The sprinkler shall have a factory-installed, removable flush cap with a pull-tab that shall prevent debris from entering the sprinkler during installation and allow the system to be flushed before installing the nozzle. The flush cap shall have a directional flushing action that allows the water to escape only in one direction. The flush cap shall open as the stem extends and completely close when the stem is in its retracted position.

The sprinkler shall have an exposed surface diameter after installation of 2-1/4 inches (6 cm). In addition, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers shall be available with a 1/2-inch FNPT side inlet. When specified with a factory-installed check valve, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers will be supplied without the side inlet.

The sprinkler shall carry a five-year, exchange warranty (not promoted).

The sprinkler shall be manufactured by Hunter Industries Incorporated, San Marcos, California.

2. Hunter MP Rotator Nozzles

The sprinkler shall produce and maintain a matched precipitation rate no greater than 0.6" per hour throughout the arc adjustment range and radius adjustment range, (up to 25% of radius reduction), when spaced at 50% of wetted diameter.

The part drive sprinkler shall have an infinitely adjustable arc: from 45° to 105°, 90° to 210° or between 210° to 270° depending on the model selected. The full drive sprinkler shall irrigate a full 360°. The 45° to 105° model shall not require coverage from adjacent sprinklers closer than 3' from the head.

Full arc drive sprinklers shall be capable of up to 25% radius reduction using a stainless-steel radius adjustment screw. The radius reduction screw shall have a slip clutch mechanism to prevent internal damage if turned past the minimum or maximum radius settings. The radius reduction screw shall reduce the pressure and flow upstream of the adjustable orifice thereby maintaining stream integrity.

Part drive sprinklers shall have an adjustment capability using a stainless-steel tip. The adjustment tip shall be effective only while the sprinkler is popped up and shall be effective while the sprinkler is popped down. When turned past the minimum or maximum arc limits the adjustment mechanism shall have a ratcheting action to prevent internal damage.

This same ratcheting action shall allow the orientation of the left edge of the wettable arc when installed on a fixed riser in a pop-up body. This is independent of and in addition to any ratchet that may exist in a pop-up body.

The sprinkler shall pop-up at approximately 15 psi of water pressure. Upon cessation of water pressure, the sprinkler shall fully retract. When installed in a pop-up body the sprinkler shall pop-up after the body stem is almost fully extended. Upon decreasing pressure, the sprinkler shall pop-down before the pop-down of the body stem is complete.

The sprinkler's adjustable orifice shall be manufactured from polyurethane and acetyl plastic materials for durability.

The sprinkler shall be fitted with a detachable filter.

Sprinkler Assembly models MP Corner, MP Side Stk, MP Left Stk, MP Right Stk, MP100, MP300, MP300A, MP300B shall be able to be installed in pop-up bodies having a 5/8-27 UNS male threaded stem, at all common pop-up heights.

Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-27 UNS male threaded adapter for use on fixed flow stems. Models MP Corner, MP Side Stk, MP Left Stk, MP Right Stk, MP100, MP300, MP300A, MP300B, MP200H1 & MP200H2 shall be able to be installed in pop-up spray head bodies having a 5/8-28 UNS female threaded stem, at all common pop-up heights. Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-28 UNS female threaded adapter for use on fixed flow stems.

L. DripLine Tubing Hunter HDL

The Hunter DripLine (HDL) family of products includes HDL-PC, HDL-CV, and HDL-R. HDL provides constant irrigation at designated flows and emitter spacing and conforms to an inside diameter (ID) of 0.600" (14.2 mm) and an outside diameter (OD) of 0.607" (16.8 mm). The HDL-CV incorporates a check valve function that will hold back up to 6" (1.5 m) of elevation (2.0 PSI, 0.2 bar check valve).

2-Tube/Emitter, counter-drain, pressure-compensating HDL dripLine manufactured by Hunter Industries. Pressure-compensating inline emitters installed during extrusion process at factory shall have regular intervals and flows as specified by model.

DripLine shall be available in the following options:

M. Contractor to verify quantites of materials. Quantities supplied are a courtesy and Consultant is not responsible for errors in quantities or dimensional errors in design.

The sprinkler shall have a standard pressure-regulating device as an integral part of the pop-up head. This regulator will prevent fogging or misting of the nozzle spray pattern by maintaining a constant nozzle outlet pressure of 30 PSI for use with Spray Nozzles and constant nozzle outlet pressure of 40 PSI for MP Rotator Nozzles with built-in pressures of up to 100 PSI, regardless of the radius of the nozzle.

The body of the sprinkler shall be constructed of corrosion and UV-resistant, heavy-duty A.B.S. The floor of the sprinkler shall be constructed of abrasion and UV-resistant A.B.S. and shall be adjustable for pattern alignment. The floor shall be compatible with threaded nozzles and shall have a stainless steel spring for positive retraction when irrigation is complete.

The sprinkler shall have a pressure-activated, multi-function, UV stable valve seal that will clean debris from the pop-up stem while it retracts. The seal shall be molded around a rigid plastic ring to prevent seal deformation. This seal shall prevent the sprinkler from sitting in the up position and be capable of sealing the sprinkler floor stem to the sprinkler cap under normal operating pressures. The seal shall be removable from the cap for easy service and shall be replaceable.

The sprinkler shall have a factory-installed, removable flush cap with a pull-tab that shall prevent debris from entering the sprinkler during installation and allow the system to be flushed before installing the nozzle. The flush cap shall have a directional flushing action that allows the water to escape only in one direction. The flush cap shall open as the stem extends and completely close when the stem is in its retracted position.

The sprinkler shall have an exposed surface diameter after installation of 2-1/4 inches (6 cm). In addition, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers shall be available with a 1/2-inch FNPT side inlet. When specified with a factory-installed check valve, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers will be supplied without the side inlet.

The sprinkler shall carry a five-year, exchange warranty (not promoted).

The sprinkler shall be manufactured by Hunter Industries Incorporated, San Marcos, California.

2. Hunter MP Rotator Nozzles

The sprinkler shall produce and maintain a matched precipitation rate no greater than 0.6" per hour throughout the arc adjustment range and radius adjustment range, (up to 25% of radius reduction), when spaced at 50% of wetted diameter.

The part drive sprinkler shall have an infinitely adjustable arc: from 45° to 105°, 90° to 210° or between 210° to 270° depending on the model selected. The full drive sprinkler shall irrigate a full 360°. The 45° to 105° model shall not require coverage from adjacent sprinklers closer than 3' from the head.

Full arc drive sprinklers shall be capable of up to 25% radius reduction using a stainless-steel radius adjustment screw. The radius reduction screw shall have a slip clutch mechanism to prevent internal damage if turned past the minimum or maximum radius settings. The radius reduction screw shall reduce the pressure and flow upstream of the adjustable orifice thereby maintaining stream integrity.

Part drive sprinklers shall have an adjustment capability using a stainless-steel tip. The adjustment tip shall be effective only while the sprinkler is popped up and shall be effective while the sprinkler is popped down. When turned past the minimum or maximum arc limits the adjustment mechanism shall have a ratcheting action to prevent internal damage.

This same ratcheting action shall allow the orientation of the left edge of the wettable arc when installed on a fixed riser in a pop-up body. This is independent of and in addition to any ratchet that may exist in a pop-up body.

The sprinkler shall pop-up at approximately 15 psi of water pressure. Upon cessation of water pressure, the sprinkler shall fully retract. When installed in a pop-up body the sprinkler shall pop-up after the body stem is almost fully extended. Upon decreasing pressure, the sprinkler shall pop-down before the pop-down of the body stem is complete.

The sprinkler's adjustable orifice shall be manufactured from polyurethane and acetyl plastic materials for durability.

The sprinkler shall be fitted with a detachable filter.

Sprinkler Assembly models MP Corner, MP Side Stk, MP Left Stk, MP Right Stk, MP100, MP300, MP300A, MP300B shall be able to be installed in pop-up bodies having a 5/8-27 UNS male threaded stem, at all common pop-up heights.

Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-27 UNS male threaded adapter for use on fixed flow stems. Models MP Corner, MP Side Stk, MP Left Stk, MP Right Stk, MP100, MP300, MP300A, MP300B, MP200H1 & MP200H2 shall be able to be installed in pop-up spray head bodies having a 5/8-28 UNS female threaded stem, at all common pop-up heights. Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-28 UNS female threaded adapter for use on fixed flow stems.

L. DripLine Tubing Hunter HDL

The Hunter DripLine (HDL) family of products includes HDL-PC, HDL-CV, and HDL-R. HDL provides constant irrigation at designated flows and emitter spacing and conforms to an inside diameter (ID) of 0.600" (14.2 mm) and an outside diameter (OD) of 0.607" (16.8 mm). The HDL-CV incorporates a check valve function that will hold back up to 6" (1.5 m) of elevation (2.0 PSI, 0.2 bar check valve).

2-Tube/Emitter, counter-drain, pressure-compensating HDL dripLine manufactured by Hunter Industries. Pressure-compensating inline emitters installed during extrusion process at factory shall have regular intervals and flows as specified by model.

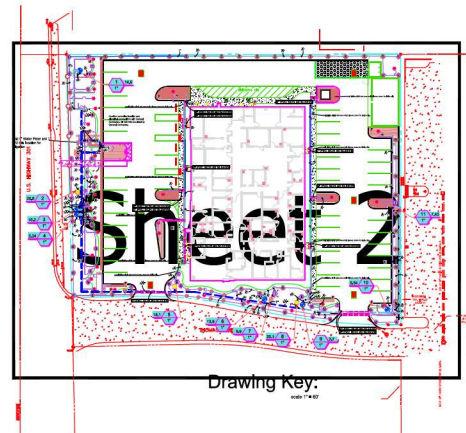
DripLine shall be available in the following options:

M. Contractor to verify quantites of materials. Quantities supplied are a courtesy and Consultant is not responsible for errors in quantities or dimensional errors in design.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1	Hunter IC2-101-254-FAR 1" Drip Control Zone Kit, 1in. ICV Globe Valve with 1in. HY100 filter system, Pressure Regulation: 25psi, Flow Range: 2 GPM to 20 GPM, 150 mesh stainless steel screen.	5	
2	Hunter PL-EV Manual flush/shut off valve, barbed insert, Typically Installed in 10in. box, with adequate marking leading to entire valve out of valve box. Use with HDL or other 3/4in. diameter.	14	
3	Hunter ECO4D-12 ECO4D: 1/2in. FIPt connection with 15 psi - 100 psi operating pressure. Specify with Hunter SU swing link.	5	
4	Hunter HDL-20-12-220-R Rig Drip Ring 2 Row 13 Drip Line	55	25
5	Area to Receive DripLine Hunter HDL-20-12-220-R HDL-20-12-220-R Hunter DripLine with 0.2 GPH flow, Light brown tubing with black striping, Emitters at 12" O.C. DripLine emitters spaced at 12" apart, with emitters offset for irregular pattern. Install with Hunter P.D. barbed or P.S. DA-OC fittings.	3,094 #	25
6	Hunter ICV-64-RS 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Safety.	6	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
1	Hunter MP Corner PROCS-06-PRS40-CV-F-R Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, Yellow with arc 90-210, Green with arc 210-270, RCSC-Copper right strip.	5
2	Hunter MP Side PROCS-06-PRS40-CV-F-R LCS Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	1
3	Hunter MP Side PROCS-06-PRS40-CV-F-R RCS Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	2
4	Hunter MP Side PROCS-06-PRS40-CV-F-R S Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	28
5	Hunter MP1000 PROCS-06-PRS40-CV-F-R M Turf Rotator, 6in. pop-up with check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, M/Maroon adj arc 90 to 210, L/Light Blue 210 to 270 arc, CO-Blue 360 arc.	9
6	Hunter MP2000 PROCS-06-PRS40-CV-F-R K Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, K/Black adj arc 90-210, G/Green adj arc 210-270, R/Red 360 arc.	28
7	Hunter MP3000 PROCS-06-PRS40-CV-F-R B Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, B/Blue adj arc 90-210, Y/Yellow adj arc 210-270, A/Gray 360 arc.	8
8	Hunter MP600SR PROCS-06-PRS40-CV-F-R ADJ Turf Rotator, 6in. pop-up with check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, ADJ/Orange and Gray (arc 90-210), 360in./Blue Green and Gray (arc 360)	10

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
1	Hunter ICV-64-RS 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Safety.	6



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
1	Hunter MP Corner PROCS-06-PRS40-CV-F-R Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, Yellow with arc 90-105.	5	Adj	Hunter ICV-64-RS 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Safety.	6
2	Hunter MP Side PROCS-06-PRS40-CV-F-R LCS Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	1	LCS	Hunter ICV-64-RS 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Safety Factory Installed Option, and Reclaimed Water ID, Purple Handle.	1
3	Hunter MP Side PROCS-06-PRS40-CV-F-R RCS Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	2	RCS	Watts OD 1" max. flow rate is 7.5 lpm.	1
4	Hunter MP Side PROCS-06-PRS40-CV-F-R S Turf Rotator, 6in. pop-up with factory installed check valve, floogard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS/gray left strip, SB-Brown side strip, RCSC-Copper right strip.	28	SST	Weatherma's SL1600 with (3) SLM4 SmartLine 2-zone controller, Internal 120	

IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
T	Hunter MP Corner PROS-06-PRS40-CV-F-R 1 Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, T=Turquoise adj arc 45-105.
L	Hunter MP Strip PROS-06-PRS40-CV-F-R LCS Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS=Ivory left strip, SS=Brown slide strip, RCS=Copper right strip.
R	Hunter MP Strip PROS-06-PRS40-CV-F-R RCS Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS=Ivory left strip, SS=Brown slide strip, RCS=Copper right strip.
S	Hunter MP Strip PROS-06-PRS40-CV-F-R SS Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, LCS=Ivory left strip, SS=Brown slide strip, RCS=Copper right strip.
M	Hunter MP1000 PROS-06-PRS40-CV-F-R M Turf Rotator, 6in. pop-up with check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.
K	Hunter MP2000 PROS-06-PRS40-CV-F-R K Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
B	Hunter MP3000 PROS-06-PRS40-CV-F-R B Turf Rotator, 6in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.
O	Hunter MP800SR PROS-06-PRS40-CV-F-R ADJ Turf Rotator, 6in. pop-up with check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[Symbol]	Hunter ICZ-101-25-LF-R 1" Drip Control Zone Kit, 1in. ICV Globe Valve with 1in. HY100 filter system, Pressure Regulation: 25psi, Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.
[Symbol]	Hunter PLD-BV Manual flush/shut off valve, barbed Insert, Typically Installed in 10in. box, with adequate blank tubing to extend valve out of valve box. Use with HDL or other 3/4in. dripline.
[Symbol]	Hunter ECO-ID-12 ECO-ID: 1/2in. FPT connection with 15 psi - 100 psi operating pressure. Specify with Hunter SJ swing joint.
[Symbol]	Hunter HDL-09-12-250-R Drip Ring Drip Ring 2 Row 12" Drip Line
[Symbol]	Area to Receive Dripline Hunter HDL-09-12-250-R HDL-09-12-PC: Hunter Dripline with 0.9 GPH flow, light brown tubing with black striping. Emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[Symbol]	Hunter ICV-G-FS-R 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry.
[Symbol]	Hunter ICV-G-FS-R 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry Factory Installed Option, and Reclaimed Water ID, Purple Handle.
[Symbol]	Watts 007 1" max. flow rate is 7.5 ft/s.
[Symbol]	Weathematic SL1600 with (3) SLM4 SmartLine 12-zone controller. Internal 120VAC/230VAC transformer, large backlit LCD display
[Symbol]	Weathematic SLW5 Wireless Weather Sensor for ET Based Watering, 900mhz - 1500ft. line of site range
[Symbol]	Water Meter 1"

CRITICAL ANALYSIS

Generated: 2025-02-28 14:25

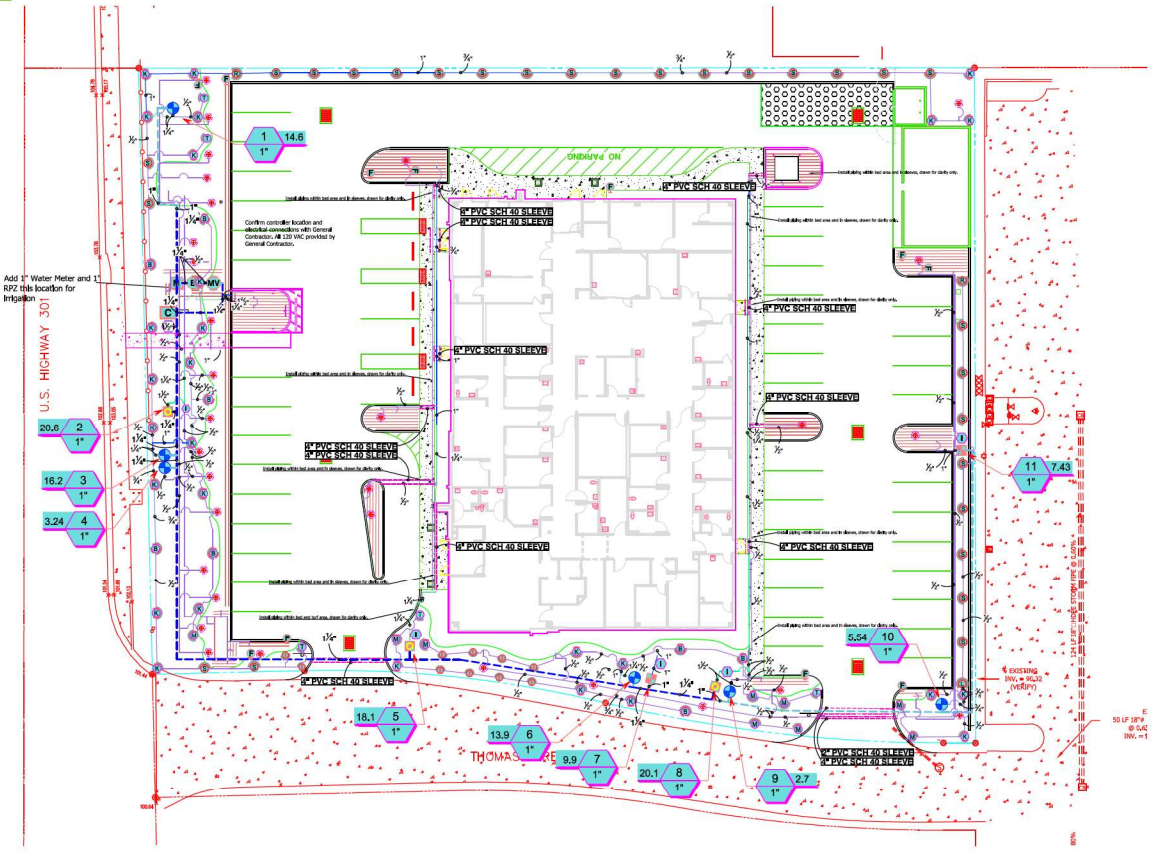
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 60 PSI
Elevation Change: 5.00 ft
Service Line Size: 4"
Length of Service Line: 20 ft
Pressure Available: 57 PSI

DESIGN ANALYSIS
Maximum Station Flow: 16.23 GPM
Flow Available at POC: 37.5 GPM
Residual Flow Available: 21.27 GPM

Critical Station: 1
Design Pressure: 40 PSI
Friction Loss: 3.4 PSI
Fittings Loss: 0.34 PSI
Elevation Loss: 0 PSI
Loss through Valve: 3 PSI
Pressure Req. at Critical Station: 46.7 PSI
Loss for Fittings: 0.05 PSI
Loss for Main Line: 0.49 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 3 PSI
Loss for Master Valve: 3 PSI
Loss for Water Meter: 1.16 PSI
Critical Station Pressure at POC: 54.4 PSI
Pressure Available: 57 PSI
Residual Pressure Available: 2.57 PSI



Contractor to verify quantities of materials. Quantities supplied are a courtesy and Consultant is not responsible for errors in quantities or dimensional errors in design.

LEGEND

- 1. 1/2" (1/2" x 1/2")
- 2. 1/2" (1/2" x 1/2")
- 3. 1/2" (1/2" x 1/2")
- 4. 1/2" (1/2" x 1/2")
- 5. 1/2" (1/2" x 1/2")
- 6. 1/2" (1/2" x 1/2")
- 7. 1/2" (1/2" x 1/2")
- 8. 1/2" (1/2" x 1/2")
- 9. 1/2" (1/2" x 1/2")
- 10. 1/2" (1/2" x 1/2")
- 11. 1/2" (1/2" x 1/2")
- 12. 1/2" (1/2" x 1/2")
- 13. 1/2" (1/2" x 1/2")
- 14. 1/2" (1/2" x 1/2")
- 15. 1/2" (1/2" x 1/2")
- 16. 1/2" (1/2" x 1/2")
- 17. 1/2" (1/2" x 1/2")
- 18. 1/2" (1/2" x 1/2")
- 19. 1/2" (1/2" x 1/2")
- 20. 1/2" (1/2" x 1/2")
- 21. 1/2" (1/2" x 1/2")
- 22. 1/2" (1/2" x 1/2")
- 23. 1/2" (1/2" x 1/2")
- 24. 1/2" (1/2" x 1/2")
- 25. 1/2" (1/2" x 1/2")
- 26. 1/2" (1/2" x 1/2")
- 27. 1/2" (1/2" x 1/2")
- 28. 1/2" (1/2" x 1/2")
- 29. 1/2" (1/2" x 1/2")
- 30. 1/2" (1/2" x 1/2")
- 31. 1/2" (1/2" x 1/2")
- 32. 1/2" (1/2" x 1/2")
- 33. 1/2" (1/2" x 1/2")
- 34. 1/2" (1/2" x 1/2")
- 35. 1/2" (1/2" x 1/2")
- 36. 1/2" (1/2" x 1/2")
- 37. 1/2" (1/2" x 1/2")
- 38. 1/2" (1/2" x 1/2")
- 39. 1/2" (1/2" x 1/2")
- 40. 1/2" (1/2" x 1/2")
- 41. 1/2" (1/2" x 1/2")
- 42. 1/2" (1/2" x 1/2")
- 43. 1/2" (1/2" x 1/2")
- 44. 1/2" (1/2" x 1/2")
- 45. 1/2" (1/2" x 1/2")
- 46. 1/2" (1/2" x 1/2")
- 47. 1/2" (1/2" x 1/2")
- 48. 1/2" (1/2" x 1/2")
- 49. 1/2" (1/2" x 1/2")
- 50. 1/2" (1/2" x 1/2")
- 51. 1/2" (1/2" x 1/2")
- 52. 1/2" (1/2" x 1/2")
- 53. 1/2" (1/2" x 1/2")
- 54. 1/2" (1/2" x 1/2")
- 55. 1/2" (1/2" x 1/2")
- 56. 1/2" (1/2" x 1/2")
- 57. 1/2" (1/2" x 1/2")
- 58. 1/2" (1/2" x 1/2")
- 59. 1/2" (1/2" x 1/2")
- 60. 1/2" (1/2" x 1/2")
- 61. 1/2" (1/2" x 1/2")
- 62. 1/2" (1/2" x 1/2")
- 63. 1/2" (1/2" x 1/2")
- 64. 1/2" (1/2" x 1/2")
- 65. 1/2" (1/2" x 1/2")
- 66. 1/2" (1/2" x 1/2")
- 67. 1/2" (1/2" x 1/2")
- 68. 1/2" (1/2" x 1/2")
- 69. 1/2" (1/2" x 1/2")
- 70. 1/2" (1/2" x 1/2")
- 71. 1/2" (1/2" x 1/2")
- 72. 1/2" (1/2" x 1/2")
- 73. 1/2" (1/2" x 1/2")
- 74. 1/2" (1/2" x 1/2")
- 75. 1/2" (1/2" x 1/2")
- 76. 1/2" (1/2" x 1/2")
- 77. 1/2" (1/2" x 1/2")
- 78. 1/2" (1/2" x 1/2")
- 79. 1/2" (1/2" x 1/2")
- 80. 1/2" (1/2" x 1/2")
- 81. 1/2" (1/2" x 1/2")
- 82. 1/2" (1/2" x 1/2")
- 83. 1/2" (1/2" x 1/2")
- 84. 1/2" (1/2" x 1/2")
- 85. 1/2" (1/2" x 1/2")
- 86. 1/2" (1/2" x 1/2")
- 87. 1/2" (1/2" x 1/2")
- 88. 1/2" (1/2" x 1/2")
- 89. 1/2" (1/2" x 1/2")
- 90. 1/2" (1/2" x 1/2")
- 91. 1/2" (1/2" x 1/2")
- 92. 1/2" (1/2" x 1/2")
- 93. 1/2" (1/2" x 1/2")
- 94. 1/2" (1/2" x 1/2")
- 95. 1/2" (1/2" x 1/2")
- 96. 1/2" (1/2" x 1/2")
- 97. 1/2" (1/2" x 1/2")
- 98. 1/2" (1/2" x 1/2")
- 99. 1/2" (1/2" x 1/2")
- 100. 1/2" (1/2" x 1/2")

INSTALLATION DETAILS:

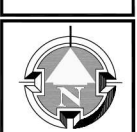
- A. Sprinkler Controller with SL & Alarm with Flow**
- B. Master Valve and Flow Sensor**
- C. PROS-06-PRS40-CV-F-R MP ROTATOR SPRINKLER**
- D. Watts 007 DOUBLE CHECK BACKFLOW PREVENTOR**
- E. DRIP CONTROL ZONE KIT (Hunter ICZ-101-25-LF-R 1")**
- F. Hunter HDL-09-12-250-R**
- G. Girth Flush Assembly**
- H. Girth Flush Assembly**
- I. ECO INDICATOR WITH FLEX TUBING**
- J. ECO INDICATOR WITH FLEX TUBING**
- K. MASTER VALVE WITH FLEX TUBING**
- L. MASTER VALVE WITH FLEX TUBING**

L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
3665 Lake View Drive
Grand Island, FL 32735
(352) 516-5374
huff@lrfai.com



Irrigation Plan

UF Health Oxford
Wildwood, Florida



Scale: 1"=20'
24" x 36" sheet
sheet of: 2

Sunshine State One Call
of Florida, Inc.
CALL 811 BEFORE YOU DIG

UF Health Central Florida

John Maze
Associate Vice President Support Services
UF Health Central Florida
600 East Dixie Avenue
Leesburg, FL 34748

January 27, 2025

Melanie Strickland
Development Services Director – Project Review Committee
City Hall
100 N. Main Street
Wildwood, FL 34785
dsdinfo@wildwood-fl.gov

Subject: Technical Standards Waiver Request for proposed UF Health/Intuitive Health Oxford Freestanding Emergency Department (FSED), Wildwood, FL. Parcel ID D17-134 (north 1.40 acre portion). Project #Pending

Dear Ms. Strickland,

Thank you for taking the time to review the site plan for the proposed UF Health Freestanding Emergency Department (FSED) project in Wildwood, FL. Enclosed, you will find:

- Exhibit A – Site plan detailing the building layout, parking spaces, and the associated floor plan for our proposed facility.
- Exhibit B – Plans from other facilities along with historical parking data for your reference.

1. Description of Waiver Request

We are requesting a waiver to reduce the number of parking stalls required under the City of Wildwood’s LDR 6.6 (G) Table 6-12 Minimum Standards for Off-Street Parking Requirements for Non-Residential Land Uses. Specifically, Table 6-12 requires 1 parking stall per 250 square feet of gross floor area (GFA). Based on the proposed building size of ~14,211 square feet, 57 stalls would typically be required, while our site plan provides 52.

2. Regulation Subsection to be Waived

We are requesting a waiver to LDR 6.6 (G) Table 6-12, which stipulates minimum parking requirements based on GFA, to allow approval of our proposed 52 parking stalls for the Wildwood FSED.

3. Justification for Waiver Request

a. Surplus Parking Based on Historical Operational Data:

Historical data from other UF Health/Intuitive Health FSED locations supports that the proposed parking count will adequately meet operational demands & handle peak patient and staff volumes without exceeding available parking. Across comparable facilities, parking usage is consistently well below the number of provided stalls, even during peak patient volumes. See Exhibit A table attached for more information.

- Campfield Commons (12,490 sq. ft., 65 stalls provided): 27 surplus stalls based on actual usage.
- Dunn Avenue (12,274 sq. ft., 53 stalls provided): 17 surplus stalls based on actual usage.
- Clermont (14,281 sq. ft., 54 stalls provided): 26 surplus stalls based on actual usage.
- Proposed Wildwood (14,200 sq. ft., 52 stalls provided): Estimated 19 surplus stalls based on patient/staff projections.



b. Usable Floor Area (UFA) vs. Gross Floor Area (GFA)

The parking calculation based on GFA overestimates the actual parking demand for this facility. Non-active spaces such as the mechanical/plumbing/electrical rooms do not contribute to occupancy load and therefore do not generate parking demand. Additionally, the square footage of the exterior walls should be discounted. 5 parking stalls can be removed from GFA if these spaces are not included.

Additionally, non-occupied equipment storage, C.T. computer equipment, med. gas tank storage, clean storage, soil holding, EVS, and deliveries breakdown rooms are not typically found in medical office buildings or clinics. Not including these rooms in the parking calculation would further reduce the need for 4 stalls.

Deductions:

1. Exterior walls: 528 SF
2. MPE and TDR spaces: 772 SF
3. Non-occupied equipment storage, C.T. computer equipment, med. gas tank storage, clean storage, soil holding, EVS, and deliveries breakdown rooms: 970 SF
4. Total of items 1-3: 2,270 SF
5. Parking space reduction at 1# per 250 SF, using exterior walls and MPE/TDR spaces only: $1,300/250 = 5$ (rounded)
6. Parking space reduction at 1# per 250 SF: $2,270/250 = 9$ (rounded)

When recalculating parking based on Usable Floor Area (UFA)—which excludes these non-active spaces listed 1-3 above—the required stall count aligns more closely with our proposed 52 spaces. This approach reflects the actual usage patterns observed at our other facilities and ensures that parking supply meets but does not exceed demand.

Given the operational data from existing facilities, the proposed 52 parking stalls will sufficiently serve the Wildwood FSED’s needs. Reducing the requirement to reflect UFA rather than GFA more accurately represents real-world demand and avoids unnecessary overbuilding of parking infrastructure.

Thank you for your consideration of our request. We are confident that the justification provided demonstrates the adequacy of our proposed parking count.

If you have any questions or require additional information, please do not hesitate to contact me.

This letter outlines our formal request for a Technical Standards Waiver related to parking requirements for the proposed Wildwood FSED.

Sincerely,
John Maze
Associate Vice President Support Services
UF Health Central Florida

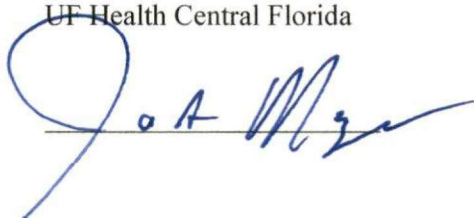


Exhibit B - Historical UF FSED Parking Data & Plans for Reference

UF-Intuitive Health FSED/Urgent Care Parking Statistics

							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Campfield Commons (Greenfield Site) - Jacksonville, FL										
Square Feet: 12,490	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	9	5	16	67	22	38	62	3	65	27

							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Dunn Avenue (Greenfield Site) - Jacksonville, FL										
Square Feet: 12,274	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	9	5	15	64	21	36	50	3	53	17

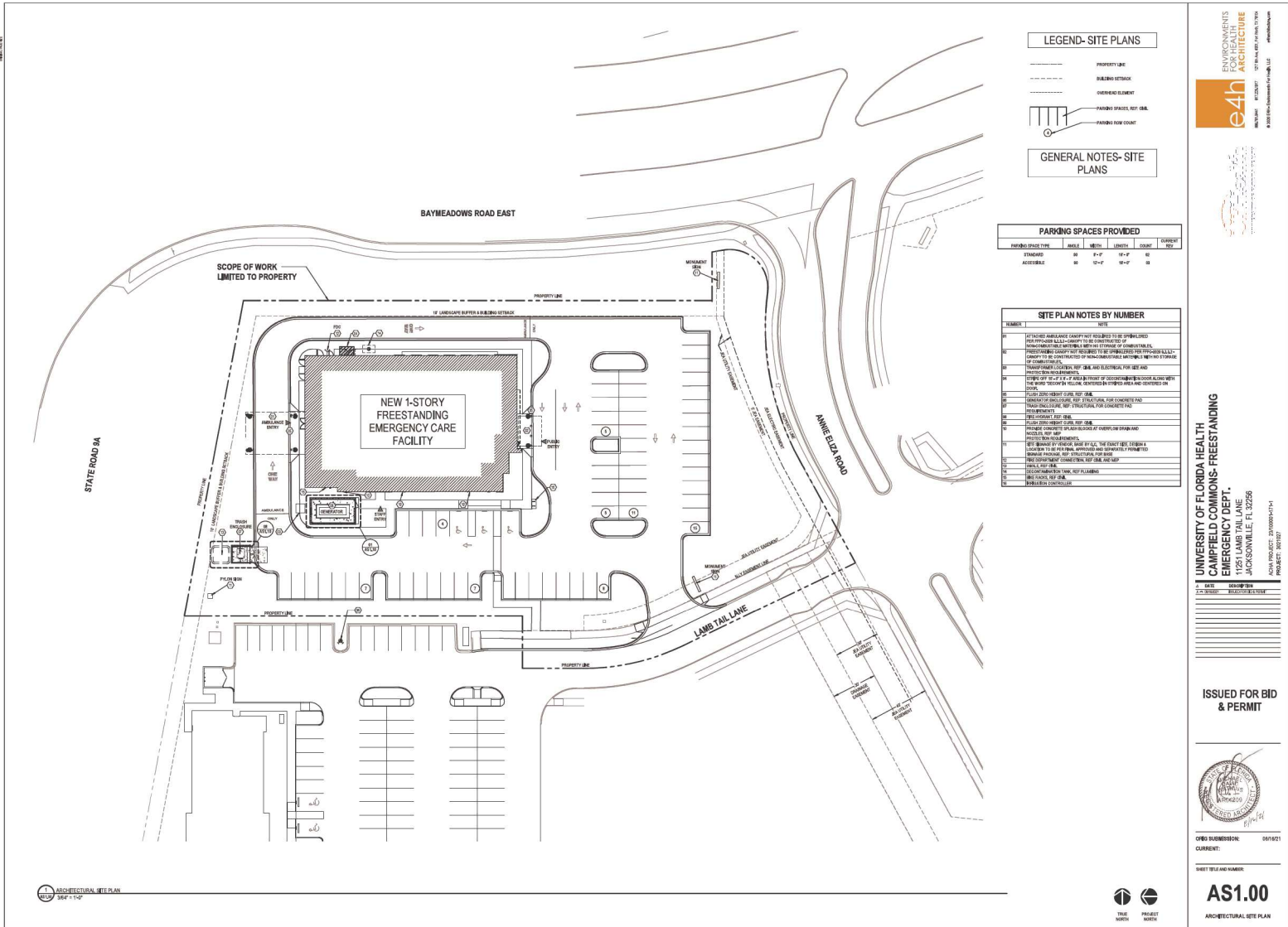
							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Lane Ave (Greenfield Site) - Jacksonville, FL										
Square Feet: 11,718	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	7	5	17	71	21	38	36	2	38	0

							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Eustis (Old CVS Building) - Eustis, FL										
Square Feet: 10,997	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	8	4	14	52	17	31	45	2	47	16

							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Clermont (Old CVS Building) - Clermont, FL										
Square Feet: 14,281	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	10	4	14	50	17	31	54	3	57	26

							Provided Parking			
							Regular Parking Spaces	HC Parking Spaces	Total Parking Spaces	Surplus Stalls
Proposed Wildwood (Greenfield) FSED - Wildwood, FL										
Square Feet: 14,200	ER Exam Rooms	FT Rooms	Avg Staff/Shift	Avg Patients/24 hrs	Patients at Peak Flow	Minimum Parking				
Count	10	4	14	56	19	33	46	6	52	19

Campfield Commons



LEGEND-SITE PLANS

- PROPERTY LINE
- BUILDING SETBACK
- OVERHEAD ELEMENT
- PARKING SPACES, REF. DIM.
- PARKING ROW COUNT

GENERAL NOTES- SITE PLANS

PARKING SPACES PROVIDED					
PARKING POSITION	WHEEL	LENGTH	COUNT	CURRENT	NEW
ACCESSIBLE	8'	14'-4"	14	0	14

SITE PLAN NOTES BY NUMBER	
01	STANDARD BUILDING CODES MUST BE COMPLETED PER APPROVED ALL-CITY OF THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
02	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
03	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
04	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
05	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
06	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
07	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
08	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
09	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
10	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
11	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
12	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
13	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
14	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
15	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
16	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
17	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
18	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
19	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.
20	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE.



UNIVERSITY OF FLORIDA HEALTH
 CAMPFIELD COMMONS-FREESTANDING
 EMERGENCY DEPT.
 JACKSONVILLE, FL 32206

ISSUED FOR BID & PERMIT

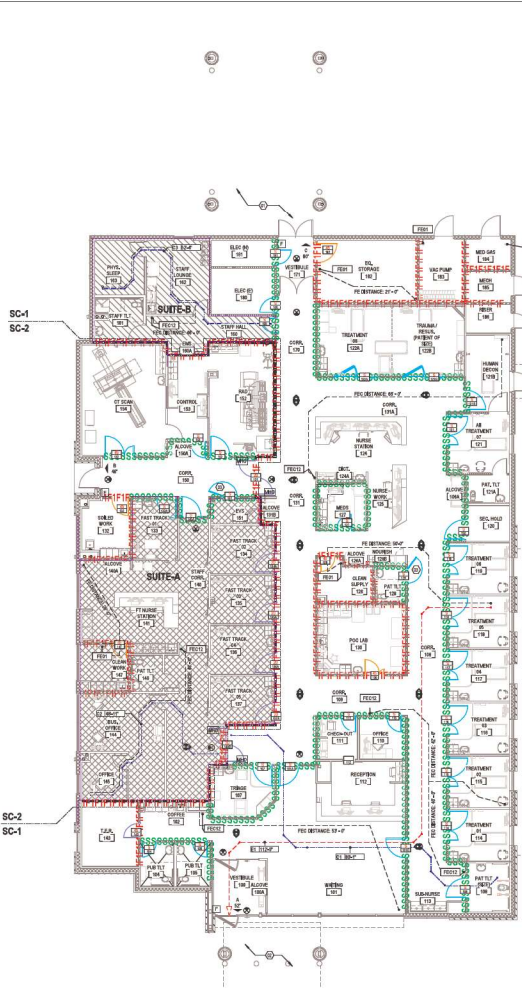


DATE: 06/10/2014
 DRAWN BY: BRADSHAW
 CHECKED BY: BRADSHAW

DATE SUBMITTED: 06/10/2014
 CURRENT:

SHEET TITLE AND NUMBER:
AS1.00
 ARCHITECTURAL SITE PLAN

Campfield Commons

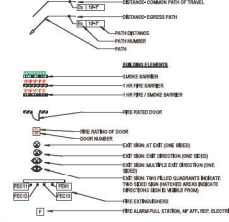


01 CODE COMPLIANCE PLAN
SCALE: 1/8" = 1'-0"

CODE COMPLIANCE - PROJECT INFO

THE SCOPE OF WORK INCLUDES A NEW CONSTRUCTION PROJECT WITH THE SCOPE OF WORK INCLUDING THE CONSTRUCTION OF THE BUILDING AND THE INSTALLATION OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 INTERNATIONAL FIRE CODE (IFC). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL PLUMBING CODE (IPC) AND THE 2010 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE 2010 INTERNATIONAL SCHEDULE OF MATERIALS (ISM). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL CODE OF BOATS (ICB) AND THE 2010 INTERNATIONAL CODE OF SYMBOLS (ICS). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL CODE OF UNIFORM CHURCH AND CONGREGATIONAL BUILDINGS (ICUC) AND THE 2010 INTERNATIONAL CODE OF UNIFORM SCHOOL BUILDINGS (ICUS). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL CODE OF UNIFORM STOREFRONT BUILDINGS (ICUSF) AND THE 2010 INTERNATIONAL CODE OF UNIFORM THEATRE BUILDINGS (ICUT). THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 INTERNATIONAL CODE OF UNIFORM ZONING ORDINANCES (ICZO) AND THE 2010 INTERNATIONAL CODE OF UNIFORM ZONING ORDINANCES (ICZO).

LEGEND- CODE COMP PLANS



GENERAL NOTES- CODE PLANS

1. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE ARCHITECT AND THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

CODE COMPLIANCE NOTES BY NUMBER

NUMBER	NOTE
01	VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE ARCHITECT AND THE OWNER.
02	VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE ARCHITECT AND THE OWNER.
03	VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE ARCHITECT AND THE OWNER.

OCCUPANT LOAD CALCULATIONS

OCCUPANCY	AREA	FLOOR FACTOR	OCCUPANT LOAD	REQUIREMENT	MEETS	NOT MEETS
OFFICE	1000	1.0	1000	1000	YES	NO
RECEPTION	500	1.0	500	500	YES	NO
CONFERENCE	200	1.0	200	200	YES	NO
LABORATORY	1000	1.0	1000	1000	YES	NO
EXAM ROOMS	1000	1.0	1000	1000	YES	NO
TOTAL	3700	1.0	3700	3700	YES	NO

LIFE SAFETY SUITES

SUITE	AREA	EJECT TYPE	PROTECTED	ROOM-NO.	MEETS	NOT MEETS
01	1000	NO	NO	1000	YES	NO
02	500	NO	NO	500	YES	NO
03	200	NO	NO	200	YES	NO
04	1000	NO	NO	1000	YES	NO
05	1000	NO	NO	1000	YES	NO
TOTAL	3700	NO	NO	3700	YES	NO

EGRESS PATHS- LEVEL 1

NO.	NO.	NO.	NO.	NO.	NO.
01	1000	1000	1000	1000	1000
02	500	500	500	500	500
03	200	200	200	200	200
04	1000	1000	1000	1000	1000
05	1000	1000	1000	1000	1000
TOTAL	3700	3700	3700	3700	3700

FIRE EXTINGUISHER

TAG	DESCRIPTION	MODEL	NET TONNAGE	NET WEIGHT	PL LOCATION
FE01	2A:10 ABC	MALIBON	10	10	RECEPTION
FE02	2A:10 ABC	MALIBON	10	10	CONFERENCE
FE03	2A:10 ABC	MALIBON	10	10	LABORATORY
FE04	2A:10 ABC	MALIBON	10	10	EXAM ROOMS
FE05	2A:10 ABC	MALIBON	10	10	TREATMENT
FE06	2A:10 ABC	MALIBON	10	10	TREATMENT
FE07	2A:10 ABC	MALIBON	10	10	TREATMENT
FE08	2A:10 ABC	MALIBON	10	10	TREATMENT
FE09	2A:10 ABC	MALIBON	10	10	TREATMENT
FE10	2A:10 ABC	MALIBON	10	10	TREATMENT
FE11	2A:10 ABC	MALIBON	10	10	TREATMENT
FE12	2A:10 ABC	MALIBON	10	10	TREATMENT
FE13	2A:10 ABC	MALIBON	10	10	TREATMENT
FE14	2A:10 ABC	MALIBON	10	10	TREATMENT
FE15	2A:10 ABC	MALIBON	10	10	TREATMENT
FE16	2A:10 ABC	MALIBON	10	10	TREATMENT
FE17	2A:10 ABC	MALIBON	10	10	TREATMENT
FE18	2A:10 ABC	MALIBON	10	10	TREATMENT
FE19	2A:10 ABC	MALIBON	10	10	TREATMENT
FE20	2A:10 ABC	MALIBON	10	10	TREATMENT
FE21	2A:10 ABC	MALIBON	10	10	TREATMENT
FE22	2A:10 ABC	MALIBON	10	10	TREATMENT
FE23	2A:10 ABC	MALIBON	10	10	TREATMENT
FE24	2A:10 ABC	MALIBON	10	10	TREATMENT
FE25	2A:10 ABC	MALIBON	10	10	TREATMENT
FE26	2A:10 ABC	MALIBON	10	10	TREATMENT
FE27	2A:10 ABC	MALIBON	10	10	TREATMENT
FE28	2A:10 ABC	MALIBON	10	10	TREATMENT
FE29	2A:10 ABC	MALIBON	10	10	TREATMENT
FE30	2A:10 ABC	MALIBON	10	10	TREATMENT
FE31	2A:10 ABC	MALIBON	10	10	TREATMENT
FE32	2A:10 ABC	MALIBON	10	10	TREATMENT
FE33	2A:10 ABC	MALIBON	10	10	TREATMENT
FE34	2A:10 ABC	MALIBON	10	10	TREATMENT
FE35	2A:10 ABC	MALIBON	10	10	TREATMENT
FE36	2A:10 ABC	MALIBON	10	10	TREATMENT
FE37	2A:10 ABC	MALIBON	10	10	TREATMENT
FE38	2A:10 ABC	MALIBON	10	10	TREATMENT
FE39	2A:10 ABC	MALIBON	10	10	TREATMENT
FE40	2A:10 ABC	MALIBON	10	10	TREATMENT
FE41	2A:10 ABC	MALIBON	10	10	TREATMENT
FE42	2A:10 ABC	MALIBON	10	10	TREATMENT
FE43	2A:10 ABC	MALIBON	10	10	TREATMENT
FE44	2A:10 ABC	MALIBON	10	10	TREATMENT
FE45	2A:10 ABC	MALIBON	10	10	TREATMENT
FE46	2A:10 ABC	MALIBON	10	10	TREATMENT
FE47	2A:10 ABC	MALIBON	10	10	TREATMENT
FE48	2A:10 ABC	MALIBON	10	10	TREATMENT
FE49	2A:10 ABC	MALIBON	10	10	TREATMENT
FE50	2A:10 ABC	MALIBON	10	10	TREATMENT
FE51	2A:10 ABC	MALIBON	10	10	TREATMENT
FE52	2A:10 ABC	MALIBON	10	10	TREATMENT
FE53	2A:10 ABC	MALIBON	10	10	TREATMENT
FE54	2A:10 ABC	MALIBON	10	10	TREATMENT
FE55	2A:10 ABC	MALIBON	10	10	TREATMENT
FE56	2A:10 ABC	MALIBON	10	10	TREATMENT
FE57	2A:10 ABC	MALIBON	10	10	TREATMENT
FE58	2A:10 ABC	MALIBON	10	10	TREATMENT
FE59	2A:10 ABC	MALIBON	10	10	TREATMENT
FE60	2A:10 ABC	MALIBON	10	10	TREATMENT
FE61	2A:10 ABC	MALIBON	10	10	TREATMENT
FE62	2A:10 ABC	MALIBON	10	10	TREATMENT
FE63	2A:10 ABC	MALIBON	10	10	TREATMENT
FE64	2A:10 ABC	MALIBON	10	10	TREATMENT
FE65	2A:10 ABC	MALIBON	10	10	TREATMENT
FE66	2A:10 ABC	MALIBON	10	10	TREATMENT
FE67	2A:10 ABC	MALIBON	10	10	TREATMENT
FE68	2A:10 ABC	MALIBON	10	10	TREATMENT
FE69	2A:10 ABC	MALIBON	10	10	TREATMENT
FE70	2A:10 ABC	MALIBON	10	10	TREATMENT
FE71	2A:10 ABC	MALIBON	10	10	TREATMENT
FE72	2A:10 ABC	MALIBON	10	10	TREATMENT
FE73	2A:10 ABC	MALIBON	10	10	TREATMENT
FE74	2A:10 ABC	MALIBON	10	10	TREATMENT
FE75	2A:10 ABC	MALIBON	10	10	TREATMENT
FE76	2A:10 ABC	MALIBON	10	10	TREATMENT
FE77	2A:10 ABC	MALIBON	10	10	TREATMENT
FE78	2A:10 ABC	MALIBON	10	10	TREATMENT
FE79	2A:10 ABC	MALIBON	10	10	TREATMENT
FE80	2A:10 ABC	MALIBON	10	10	TREATMENT
FE81	2A:10 ABC	MALIBON	10	10	TREATMENT
FE82	2A:10 ABC	MALIBON	10	10	TREATMENT
FE83	2A:10 ABC	MALIBON	10	10	TREATMENT
FE84	2A:10 ABC	MALIBON	10	10	TREATMENT
FE85	2A:10 ABC	MALIBON	10	10	TREATMENT
FE86	2A:10 ABC	MALIBON	10	10	TREATMENT
FE87	2A:10 ABC	MALIBON	10	10	TREATMENT
FE88	2A:10 ABC	MALIBON	10	10	TREATMENT
FE89	2A:10 ABC	MALIBON	10	10	TREATMENT
FE90	2A:10 ABC	MALIBON	10	10	TREATMENT
FE91	2A:10 ABC	MALIBON	10	10	TREATMENT
FE92	2A:10 ABC	MALIBON	10	10	TREATMENT
FE93	2A:10 ABC	MALIBON	10	10	TREATMENT
FE94	2A:10 ABC	MALIBON	10	10	TREATMENT
FE95	2A:10 ABC	MALIBON	10	10	TREATMENT
FE96	2A:10 ABC	MALIBON	10	10	TREATMENT
FE97	2A:10 ABC	MALIBON	10	10	TREATMENT
FE98	2A:10 ABC	MALIBON	10	10	TREATMENT
FE99	2A:10 ABC	MALIBON	10	10	TREATMENT
FE100	2A:10 ABC	MALIBON	10	10	TREATMENT

ENVIRONMENTAL ARCHITECTURE
107 PALM CREEK BLVD, SUITE 100
JACKSONVILLE, FL 32216
TEL: 904.766.1111
WWW.EAARCHITECTURE.COM

**UNIVERSITY OF FLORIDA HEALTH
CAMPFIELD COMMONS- FREESTANDING
EMERGENCY DEPT.
JACKSONVILLE, FL 32206**

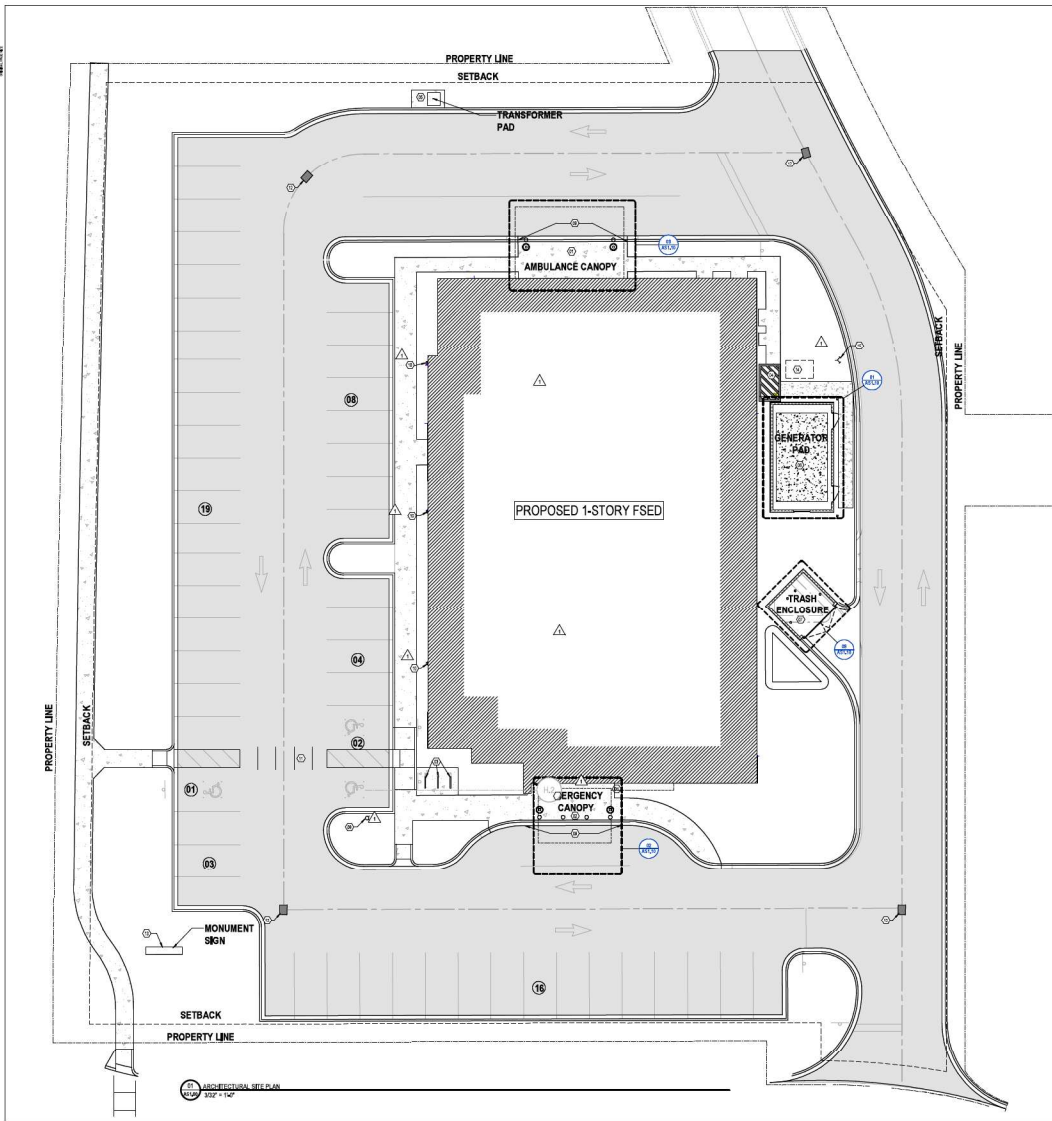
DATE: 08/09/18
TIME: 08:00 AM
PROJECT: 18001

ISSUED FOR BID & PERMIT

01/01/2018

AC1.01
CODE COMPLIANCE PLAN

Dunn Ave



LEGEND-SITE PLANS



GENERAL NOTES-SITE PLANS

- REFER TO GDS DRAWINGS FOR ALL UTILITIES, CHANNEL, PARKING, STORMWATER, AND OTHER UTILITIES, CHANNELS, PARKING, AND STORMWATER.
- REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL WORK. ALL ELECTRICAL WORK SHALL BE INSTALLED TO MEET ALL APPLICABLE CODES AND REGULATIONS. ELECTRICAL WORK SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE AND PLANTING WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL ARCHITECTURAL AND STRUCTURAL WORK. (DIMENSIONS UNLESS OTHERWISE NOTED).
- PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS.
- CONVERT ALL UNITS TO SI UNITS. ALL DIMENSIONS SHALL BE IN METERS. REFER TO LOCAL, STATE, AND FEDERAL REGULATIONS FOR DIMENSIONAL REQUIREMENTS.

PARKING SPACES PROVIDED

PARKING SPACE TYPE	AREA	WIDTH	LENGTH	COUNT	TOTAL
STANDARD	10	3'-0"	18'-0"	18	18
ACCESSIBLE	10	12'-0"	18'-0"	2	2

SITE PLAN NOTES BY NUMBER

- | NO. | DESCRIPTION |
|-----|---------------------------------------------------------------------------------------------------|
| 01 | DETACHED GARAGE SHALL BE PROVIDED TO BE CONSTRUCTED TO MEET ALL APPLICABLE CODES AND REGULATIONS. |
| 02 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 03 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 04 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 05 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 06 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 07 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 08 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 09 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 10 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 11 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 12 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 13 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |
| 14 | PROVIDE CONCRETE FINISH FLOOR AT ALL PAVED AREAS, EXCEPT FOR ASPHALT DRIVEWAYS. |



UNIVERSITY OF FLORIDA HEALTH
 DUNN VILLAGE - PRESTAGING
 EMERGENCY DEPARTMENT
 11277 NEW AVENUE ROAD - JACKSONVILLE, FL 32219

DATE	DESCRIPTION
11/15/2024	ISSUED FOR PERMIT
11/15/2024	ISSUED FOR PERMIT
11/15/2024	ISSUED FOR PERMIT

South Atlantic
 Central Association
 MICHAEL OWEN WATERS 4473231
 CDRD BUSINESS 5432321
 CURRENT: 11/21/2024
 AS IS FOR CONSTRUCTION

AS1.00
 ARCHITECTURAL SITE PLAN

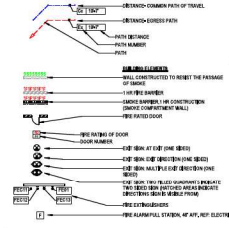
Lane Ave

CODE COMPLIANCE - PROJECT INFO

PROJECT INFORMATION:
 THE SCOPE OF THIS PROJECT IS A NEW CONSTRUCTION PRELIMINARY EMERGENCY DEPARTMENT (ED) AND TREAT AND DIAGNOSTIC CENTER (ED/TC) WITH 100,000 SQ FT OF GROSS FLOOR AREA (GFA) AND AN ADJACENT 100,000 SQ FT OF GROSS FLOOR AREA (GFA) FOR A MEDICAL OFFICE. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2024. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2024. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2024.

THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING CODES:
 1. FLORIDA BUILDING CODE (FBC) - 2021
 2. FLORIDA FIRE CODE (FFC) - 2021
 3. FLORIDA HEALTH CARE FACILITY CODE (FHCC) - 2021
 4. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 5. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 6. FLORIDA EGRESS CODE (FEC) - 2021
 7. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 8. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 9. FLORIDA EGRESS CODE (FEC) - 2021
 10. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 11. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 12. FLORIDA EGRESS CODE (FEC) - 2021
 13. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 14. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 15. FLORIDA EGRESS CODE (FEC) - 2021
 16. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 17. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 18. FLORIDA EGRESS CODE (FEC) - 2021
 19. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 20. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 21. FLORIDA EGRESS CODE (FEC) - 2021
 22. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 23. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 24. FLORIDA EGRESS CODE (FEC) - 2021
 25. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 26. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 27. FLORIDA EGRESS CODE (FEC) - 2021
 28. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 29. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 30. FLORIDA EGRESS CODE (FEC) - 2021
 31. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 32. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 33. FLORIDA EGRESS CODE (FEC) - 2021
 34. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 35. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 36. FLORIDA EGRESS CODE (FEC) - 2021
 37. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 38. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 39. FLORIDA EGRESS CODE (FEC) - 2021
 40. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 41. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 42. FLORIDA EGRESS CODE (FEC) - 2021
 43. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 44. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 45. FLORIDA EGRESS CODE (FEC) - 2021
 46. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 47. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 48. FLORIDA EGRESS CODE (FEC) - 2021
 49. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 50. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 51. FLORIDA EGRESS CODE (FEC) - 2021
 52. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 53. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 54. FLORIDA EGRESS CODE (FEC) - 2021
 55. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 56. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 57. FLORIDA EGRESS CODE (FEC) - 2021
 58. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 59. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 60. FLORIDA EGRESS CODE (FEC) - 2021
 61. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 62. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 63. FLORIDA EGRESS CODE (FEC) - 2021
 64. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 65. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 66. FLORIDA EGRESS CODE (FEC) - 2021
 67. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 68. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 69. FLORIDA EGRESS CODE (FEC) - 2021
 70. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 71. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 72. FLORIDA EGRESS CODE (FEC) - 2021
 73. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 74. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 75. FLORIDA EGRESS CODE (FEC) - 2021
 76. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 77. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 78. FLORIDA EGRESS CODE (FEC) - 2021
 79. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 80. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 81. FLORIDA EGRESS CODE (FEC) - 2021
 82. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 83. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 84. FLORIDA EGRESS CODE (FEC) - 2021
 85. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 86. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 87. FLORIDA EGRESS CODE (FEC) - 2021
 88. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 89. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 90. FLORIDA EGRESS CODE (FEC) - 2021
 91. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 92. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 93. FLORIDA EGRESS CODE (FEC) - 2021
 94. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 95. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 96. FLORIDA EGRESS CODE (FEC) - 2021
 97. FLORIDA LIFE SAFETY CODE (FLSC) - 2021
 98. FLORIDA OCCUPANT LOAD CODE (FOC) - 2021
 99. FLORIDA EGRESS CODE (FEC) - 2021
 100. FLORIDA LIFE SAFETY CODE (FLSC) - 2021

LEGEND-CODE COMP PLANS



GENERAL NOTES-CODE PLANS

1. FIRE EXTINGUISHER SCHEDULE (FES) SHALL BE AS FOLLOWS:
 - A. TYPE: ABC
 - B. WEIGHT: 10 LB
 - C. NUMBER: 1 PER 100 SQ FT OF FLOOR AREA
2. EGRESS PATHS (EP) SHALL BE AS FOLLOWS:
 - A. WIDTH: 44 IN
 - B. CLEARANCE: 6 FT
 - C. SIGNAGE: EGRESS PATH
3. LIFE SAFETY SUITES (LSS) SHALL BE AS FOLLOWS:
 - A. TYPE: 1
 - B. NUMBER: 1 PER 100 SQ FT OF FLOOR AREA
4. EXITS (EX) SHALL BE AS FOLLOWS:
 - A. TYPE: 1
 - B. NUMBER: 1 PER 100 SQ FT OF FLOOR AREA
5. SMOKE COMPARTMENTS (SC) SHALL BE AS FOLLOWS:
 - A. TYPE: 1
 - B. NUMBER: 1 PER 100 SQ FT OF FLOOR AREA

CODE COMPLIANCE NOTES BY NUMBER

NOTE NUMBER	DESCRIPTION
1	Fire Extinguisher Schedule (FES) shall be as follows: Type: ABC, Weight: 10 LB, Number: 1 per 100 sq ft of floor area.
2	Egress Paths (EP) shall be as follows: Width: 44 in, Clearance: 6 ft, Signage: Egress Path.
3	Life Safety Suites (LSS) shall be as follows: Type: 1, Number: 1 per 100 sq ft of floor area.
4	Exits (EX) shall be as follows: Type: 1, Number: 1 per 100 sq ft of floor area.
5	Smoke Compartments (SC) shall be as follows: Type: 1, Number: 1 per 100 sq ft of floor area.

OCCUPANT LOAD CALCULATIONS

OCCUPANCY	OCCUPANT LOAD	OCCUPANT LOAD PER 100 SQ FT
ED/TC	100	1.0
Medical Office	100	1.0
RECEIVING AREA	100	1.0
WAITING AREA	100	1.0
RECEPTION AREA	100	1.0
LABORATORY	100	1.0
PHARMACY	100	1.0
STORAGE	100	1.0
OFFICE	100	1.0
RESTROOM	100	1.0
MEETING ROOM	100	1.0
CONFERENCE ROOM	100	1.0
TRAINING ROOM	100	1.0
RECEPTION AREA	100	1.0
LABORATORY	100	1.0
PHARMACY	100	1.0
STORAGE	100	1.0
OFFICE	100	1.0
RESTROOM	100	1.0
MEETING ROOM	100	1.0
CONFERENCE ROOM	100	1.0
TRAINING ROOM	100	1.0

EGRESS PATHS-LEVEL 1

PATH	LENGTH	WIDTH
EP-1	100	44
EP-2	100	44
EP-3	100	44
EP-4	100	44
EP-5	100	44

LIFE SAFETY SUITES

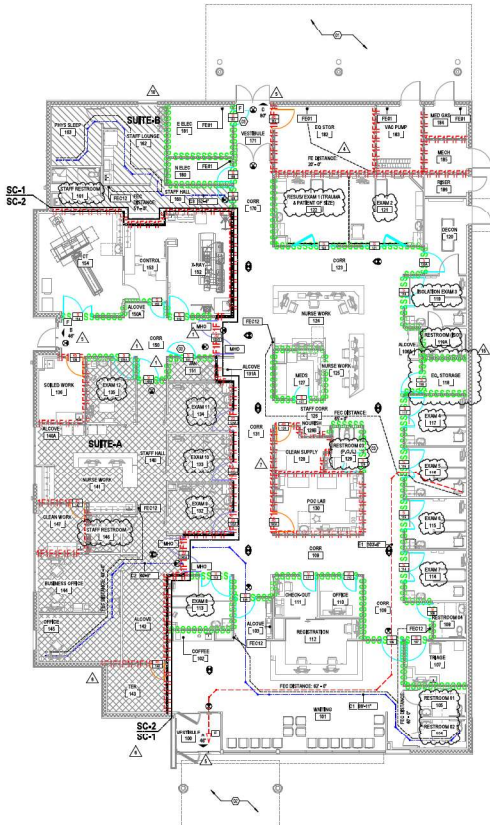
SUITE	AREA	SUITE TYPE	TYPE
LSS-1	100	1	1
LSS-2	100	1	1
LSS-3	100	1	1
LSS-4	100	1	1
LSS-5	100	1	1

EXITS

EXIT	AREA	TYPE
EX-1	100	1
EX-2	100	1
EX-3	100	1
EX-4	100	1
EX-5	100	1

FIRE EXTINGUISHER SCHEDULE

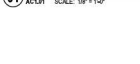
NO.	DESCRIPTION	TYPE	WEIGHT	NUMBER	FE LOCATION
FES-1	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	ED/TC
FES-2	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	Medical Office
FES-3	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	RECEIVING AREA
FES-4	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	WAITING AREA
FES-5	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	RECEPTION AREA
FES-6	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	LABORATORY
FES-7	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	PHARMACY
FES-8	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	STORAGE
FES-9	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	OFFICE
FES-10	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	RESTROOM
FES-11	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	MEETING ROOM
FES-12	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	CONFERENCE ROOM
FES-13	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	TRAINING ROOM
FES-14	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	RECEPTION AREA
FES-15	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	LABORATORY
FES-16	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	PHARMACY
FES-17	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	STORAGE
FES-18	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	OFFICE
FES-19	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	RESTROOM
FES-20	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	MEETING ROOM
FES-21	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	CONFERENCE ROOM
FES-22	Fire Extinguisher Schedule (FES)	ABC	10 LB	1	TRAINING ROOM



SMOKE COMPARTMENT PLAN



CODE COMPLIANCE PLAN



UNIVERSITY OF FLORIDA HEALTH
 LANE AVE - PRESTON BUILDING
 EMERGENCY DEPARTMENT
 888 LANE AVE, JACKSONVILLE, FL 32205

DATE	DESCRIPTION
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT
11/15/23	ISSUED FOR PERMIT

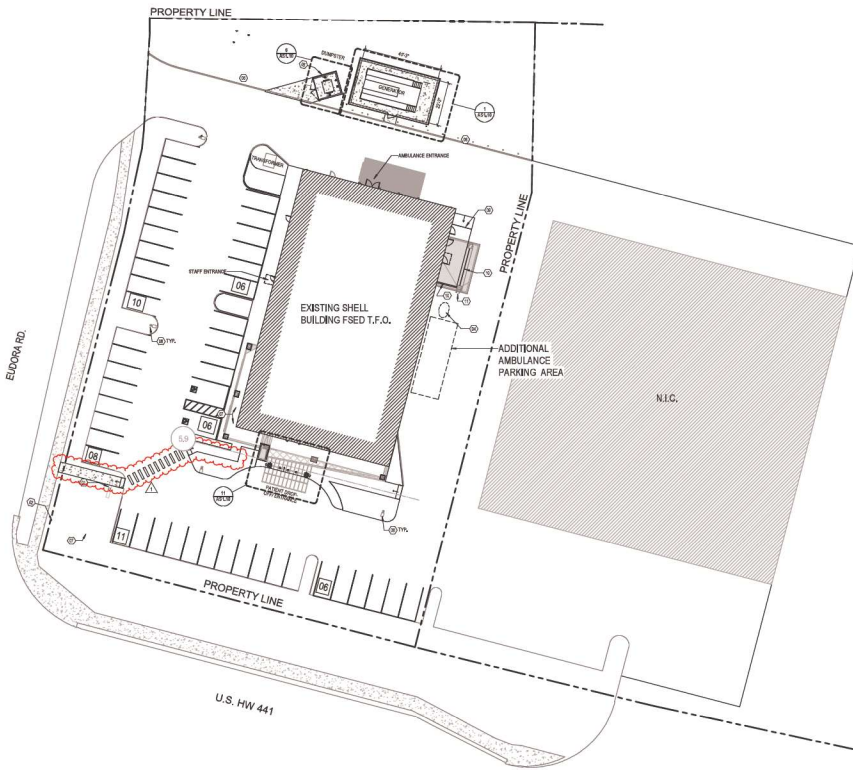


PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12345

CFRS SUBMISSION: 042301
 CURRENT: 021223
 AM13

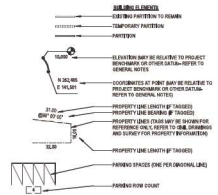
AC1.01
 CODE COMPLIANCE PLAN

Eustis



ARCHITECTURAL SITE PLAN
1" = 20'

LEGEND- SITE PLANS



PARKING SPACES PROVIDED

PARKING SPACE TYPE	AREA	METRIC	LENGTH	COUNT	CURRENT
Handicapped	100	100	100	100	100
Other	100	100	100	100	100

SITE PLAN NOTES BY NUMBER

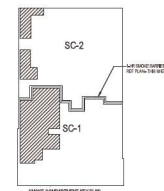
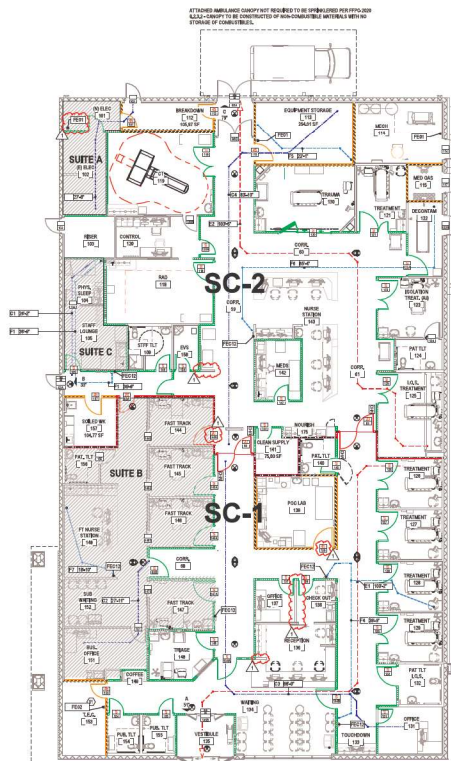
NUMBER	NOTE
01	EXISTING SHELL BUILDING FSED T.F.O.
02	EXISTING SHELL BUILDING FSED T.F.O.
03	EXISTING SHELL BUILDING FSED T.F.O.
04	EXISTING SHELL BUILDING FSED T.F.O.
05	EXISTING SHELL BUILDING FSED T.F.O.
06	EXISTING SHELL BUILDING FSED T.F.O.
07	EXISTING SHELL BUILDING FSED T.F.O.
08	EXISTING SHELL BUILDING FSED T.F.O.
09	EXISTING SHELL BUILDING FSED T.F.O.
10	EXISTING SHELL BUILDING FSED T.F.O.
11	EXISTING SHELL BUILDING FSED T.F.O.
12	EXISTING SHELL BUILDING FSED T.F.O.
13	EXISTING SHELL BUILDING FSED T.F.O.
14	EXISTING SHELL BUILDING FSED T.F.O.
15	EXISTING SHELL BUILDING FSED T.F.O.
16	EXISTING SHELL BUILDING FSED T.F.O.
17	EXISTING SHELL BUILDING FSED T.F.O.
18	EXISTING SHELL BUILDING FSED T.F.O.

UNIVERSITY OF FLORIDA HEALTH
EUSTIS EMERGENCY CARE FACILITY
 EUSTIS, FL 32726
 ARCH PROJECT: 24-100004-14-14
 PROJECT: 202403

DATE: 08/08/2024
 TIME: 10:00:00 AM
 USER: JEFFREY.D. THOMAS

MICHAEL DAVID MATTHEWS ARCH201
 CDFD SUBMISSION: 12/02/2022
 CURRENT: 01/10/23
 ACCORDIAN E.A. ICA COMMENTS
 SHEET TITLE AND NUMBER:

AS1.00
 SITE PLAN

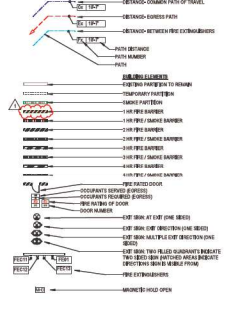


CODE COMPLIANCE - PROJECT INFO

PERMITTED OCCUPANCY:
 THE ROOMS OF THIS BUILDING ARE TO BE USED FOR THE PURPOSES OF PROVIDING EMERGENCY DEPARTMENT SERVICES AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
 THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
 THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

PERMITTED OCCUPANCY:
 THE ROOMS OF THIS BUILDING ARE TO BE USED FOR THE PURPOSES OF PROVIDING EMERGENCY DEPARTMENT SERVICES AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
 THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
 THE ROOMS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

LEGEND - LIFE SAFETY PLANS



GENERAL NOTES - LIFE SAFETY PLANS

1. FIRE RESISTANCE RATED WALLS, PARTITIONS AND DOORS MUST BE IDENTIFIED BY THE ARCHITECT WITH THE APPROPRIATE NOTATION.
2. FIRE RESISTANCE RATED WALLS, PARTITIONS AND DOORS MUST BE IDENTIFIED BY THE ARCHITECT WITH THE APPROPRIATE NOTATION.

LIFE SAFETY SUITES

SUITE	AREA	SUBTYPE	AREA (SQ FT)	NO. OF OCCUPANTS	NO. OF EXITS
SC-1	SC-1	SC-1	10,000	100	2
SC-2	SC-2	SC-2	10,000	100	2

EXITS

EXIT NUMBER	EXIT WIDTH
1	10'
2	10'

LIFE SAFETY NOTES BY NUMBER

NO.	DESCRIPTION
1	SEE GENERAL NOTES FOR EXITS AND EXITS SCHEDULE.

EGRESS PATHS - LEVEL 1

PATH	EGRESS	NO.
1	EXIT 1	1
2	EXIT 2	1

EXITING REQUIREMENTS - LEVEL 1

AREA	OCCUPANCY	EMERGENCY	EXITING WITH THE OCCUPANCY	EMERGENCY EXITING WITH THE OCCUPANCY	EMERGENCY EXITING WITH THE OCCUPANCY
SC-1	SC-1	SC-1	SC-1	SC-1	SC-1

FIRE EXTINGUISHER SCHEDULE

TYPE	CLASSIFICATION	QUANTITY	LOCATION
1	ABC	1	SC-1
2	ABC	1	SC-2

LIFE SAFETY - OCCUPANCY - LEVEL 1

NAME	AREA	AREA (SQ FT)	AREA PER ACCOUNT	ACCOUNTS	CURRENT	NO.
SC-1	SC-1	10,000	100	100	100	100
SC-2	SC-2	10,000	100	100	100	100

LIFE SAFETY PLAN
 01/14/20



ENVIRONMENTAL ARCHITECTURE
 e4h
 UNIVERSITY OF FLORIDA HEALTH
 EUSTIS EMERGENCY CARE FACILITY
 EUSTIS, FL 32726
 ARCHITECT: 24-000000-14-04
 PROJECT: 2020001

UNIVERSITY OF FLORIDA HEALTH
 EUSTIS EMERGENCY CARE FACILITY
 EUSTIS, FL 32726
 ARCHITECT: 24-000000-14-04
 PROJECT: 2020001

DATE: 01/14/20
 TIME: 09:00 AM
 SHEET NUMBER: 101

UNIVERSITY OF FLORIDA HEALTH
 EUSTIS EMERGENCY CARE FACILITY
 EUSTIS, FL 32726
 ARCHITECT: 24-000000-14-04
 PROJECT: 2020001

LS1.01
 LIFE SAFETY PLAN - LEVEL 1

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: SP 2404-004 Saucy by KFC

REQUESTED ACTION: Staff recommends approval upon resolution of outstanding comments.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No	SP 2404-004 Saucy by KFC
Parcel Number	G04Q247-2
Acreage	0.91 Acres, MOL
Property Location	The property is generally located approximately 175 linear feet east of the intersection of C 466A and E C 462
Owner	CFT NV Developments, LLC
Applicant	Robin Kendall, QDI Construction, Inc.

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a one-story 3,335-square-foot restaurant building featuring 20 seats, a 585-square-foot outdoor patio seating area, a double-lane drive-thru and canopy over pick-up window, providing 28 parking spaces including two (2) Florida ADA accessible parking spaces, a double dumpster enclosure, together with associated infrastructure such as landscaping buffers, connecting sidewalks, and site lighting improvements on 0.91 acres MOL, as per the attached plans.

As of the writing of this report, the project has minor outstanding comments from the City Attorney, Utilities, Fire, and Wildwood Public Works. Please see the comment review sheet report enclosed. The master drainage system was designed by Goodwyn Morris Engineering, and permitted by the SWFWMD under permit number 43043580.003, issued November 14, 2019, for the Beaumont Development. This site plan scope of work includes internal storm drains that will connect to a master system inlet in a common drive (Sundance Trail) at the rear of the lot. The applicant has submitted two waivers. The first waiver request is to get partial relief from the required bypass lane parallel to the stacking lanes where menu boards are located. The second request entails getting a waiver from the submittal of an Environmental Report since the property has already been cleared and partially developed.

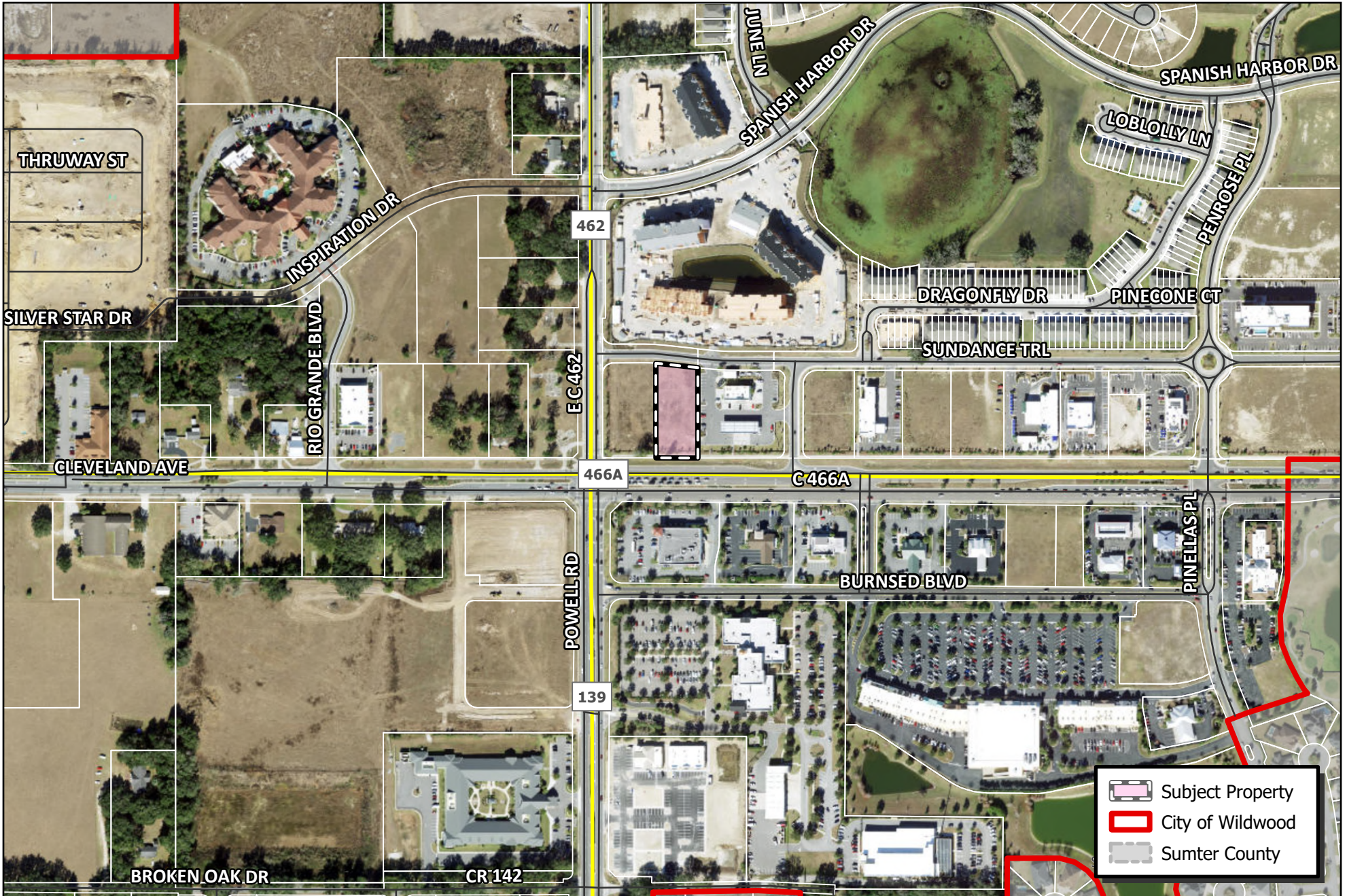
Once the outstanding comments are addressed, SP 2404-004 is expected to meet the criteria

set forth within the Land Development Regulations, the Design District Standards, and be in line with the goals, objectives, and policies within the 2050 Comp. Plan as well as adhere to adopted PD Ordinance O2020-25 for the Beaumont Development.

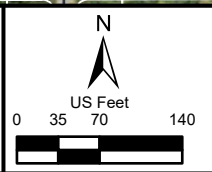
DATED: 6/30/2025



Wendy Then, AICP, CFM
Assistant Director Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
 www.wildwood-fl.gov



SP 2404-004
SAUCY BY KFC
 PARCEL G04U247-2

MAP 1B
LOCATION
MAP
JUN 2025



WILDWOOD FLORIDA

City of Wildwood

Project #: SP 2404-004 Saucy by KFC – Beaumont
Representative: H. Duane Milford - MPH Civil Consultants, Inc
Date: 06/16/2025

*****PLEASE NOTE: Two hard copies of plans, along with the electronic copy are required with every submittal. Partial submittals are not accepted.*****

CITY ENGINEER

No further comments.

DEVELOPMENT SERVICES

For informational purposes only:

1. Technical waivers are approved by the Project Review Committee (PRC).

CITY ATTORNEY

1. New comment; Please provide the property appraiser's card for revised parcel ID G04U247-2 noted on the applications and site plan.
2. City Attorney reserves the right to make further comments upon resubmittal.
 - A. Response: Acknowledged.**
 - I. Standing comment.**

FIRE

1. Provide current hydrant flow test report in compliance with FFPC 1:18.3.1, NFPA291 (form attached).

PUBLIC WORKS (WILDWOOD)

Public Works Road

1. No comment.

Stormwater / Tree Mitigation

1. LDR 6.10(H)(2). Plan Sheet L-1. All replacement trees shall be a minimum of eight (8') in overall height with a DBH of two (2") inches when planted.

Comment Stands.

PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
QV	2	QUERCUS VIRGINIANA	LIVE OAK	8' HT X 4' SPD, 2" DBH	AS SHOWN
MG	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8' HT X 4' SPD, 1" DBH	AS SHOWN
AR	1	ACER RUBRUM	RED MAPLE	8' HT X 4' SPD, 2" DBH	AS SHOWN
PF	6	PINUS ELLIOTTI	SLASH PINE	8' HT X 4' SPD, 2" DBH	AS SHOWN
IV	6	ILEX VOMITORIA	YAWPON HOLLY	8' HT X 4' SPD, MULTI-STEM	AS SHOWN
WV	76	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	36" HT X 36" SPD, 1 GALLON	36" OC
VO	138	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	18" HT X 18" SPD, 3 GALLON	36" OC
MC	127	MUHLENBERGIA CAPILLARIS	MUHLY GRASS	24" HT X 24" SPD, 3 GALLON	36" OC
PM	10	PODOCARPUS MACROPYLLUS	PODOCARPUS	18" HT X 18" SPD, 3 GALLON	36" OC
DT	248	DANELLA TASMANICA VAREGATA	BLUEBERRY FLAX LILY	10" HT X 10" SPD, 1 GALLON	24" OC
ST	88	SANSEVIERIA TRIFASCIATA	SNAKE PLANT	10" HT X 6" SPD, 1 GALLON	12" OC



Lucinda A Utter
2025.05.21
13:57:50 -04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY L. ALYSON UTTER ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED.

1.

UTILITIES – WATER/WASTEWATER

1. Sheet C-06, Utility Plan: Label the two way clean out at “End of City Maintenance” as a “Sample Point”. Please revise the sheet.
2. Sheet C-08, Civil Details: Update/replace all water/sewer detail sheets to the current version dated 2024. Please revise the sheet.

Utilities Miscellaneous – Standing Comment

1. A construction cost estimate must be provided for all utility construction. Unit costs shall be per the City website.
2. Contractor shall schedule a pre-construction meeting with the Utility Department 2 weeks prior to the start of construction and prior to any materials being delivered on-site.

SECO

1. Underground facilities in conflict with the proposed building. No comment and still pending facilities relocation.



Project Review Committee Technical Standards Waiver Request

Project Name Saucy by KFC

Project # SP 2404-004

1. Briefly describe your waiver request.

Partial relief from the required bypass lane parallel to the stacking lanes where menu boards are located.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

LDR6.6 (C)(1)(a)

3. Please provide the justification for your waiver request.

4.

Based on the width of the property, the dumpster location, required parking and the inclusion of a canopy over the menu order stations and the alignment of the driveway entering the drive through lanes, there is not enough room to safely add a bypass lane at this location. A bypass lane is provided adjacent to the building. This restaurant is a new concept by KFC with a standard prototype building and any revisions to the floor plan would incur a substantial cost.

Name (Print) Robin Kendall

Date April 25, 2025

Signature 



Project Review Committee Technical Standards Waiver Request

Project Name Saucy by KFC

Project # SP 2404-004

1. Briefly describe your waiver request.

Relief from the requirement to provide an Environmental Statement.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

LDR4.4(D)(2)

3. Please provide the justification for your waiver request.

This site is part of the ongoing development of the overall Beaumont project.

Name (Print) Robin Kendall

Date April 25, 2025

Signature 

SITE CONSTRUCTION PLANS FOR: SAUCY BY KFC CITY OF WILDWOOD, FL. SECTION. 4, TWP. 19 S, R. 23 E.



THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY H. DUANE MILFORD ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THE SIGNATURE HAS BEEN VERIFIED ON ANY ELECTRONIC COPIES.

LEGAL DESCRIPTION

LOT 247.2, SUNDANCE EXTENSION WEST LOTS 247.1 AND 247.2, AS PER PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGES 37 & 37A, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, BEING A REPEAT OF LOT 247, SUNDANCE EXTENSION WEST, AS PER PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 14, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.
SAID PARCEL CONTAINS 39619.78 SQUARE FEET, OR 0.91 ACRES, MORE OR LESS.

PROJECT STATEMENT

PROPOSED DEVELOPMENT IS FOR THE CONSTRUCTION OF A 3,335 SQUARE FOOT SAUCY BY KFC RESTAURANT WITH DOUBLE ORDER STATIONS AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS. SITE ACCESS WILL BE VIA SUNDANCE TRAIL.

JURISDICTIONAL AGENCY	PERMIT
CITY OF WILDWOOD	PENDING
S.P. 2454-004 S.W.F.W.M.D.	PENDING
(F.R.P. MODIFICATION) APPLICATION NO. 898155	

UTILITY PROVIDERS:

WATER

CITY OF WILDWOOD WATER DEPARTMENT
(JASON MARTIN)
100 N. MAIN STREET
WILDWOOD, FLORIDA 34785
352-330-1346

SEWER

CITY OF WILDWOOD SEWER DEPARTMENT
(JASON MARTIN)
100 N. MAIN STREET
WILDWOOD, FLORIDA 34785
352-330-1346

GAS

TECO PEOPLES GAS
CHUCK HUMPHREY
P.O. BOX 31318
TAMPA, FLORIDA 33631
352-427-0743

TELEPHONE/CABLE

CENTURYLINK
LACEY BEIER
501 MACCORMACK STREET
LEESBURG, FLORIDA 34748
352-431-2214

ELECTRIC

SECO ENERGY
DAVID PRYZSTAWSKI
P.O. BOX 301
SUMTERVILLE, FLORIDA 33585-0301
352-793-3801

SOLID WASTE

WASTE MANAGEMENT
8708 NE 44TH DRIVE
WILDWOOD, FLORIDA 34785
352-330-4500



VICINITY MAP



AERIAL MAP
Google Map, dated 3.24.2025

AUTHORIZED AGENT:
QDI CONSTRUCTION, INC.
10002 PRINCESS PALM AVE., SUITE 200
TAMPA, FLORIDA 33619
813.796.8512

INDEX OF DRAWINGS

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS & DEMOLITION PLAN
C-4	HORIZONTAL CONTROL/STRIPING PLAN
C-5	PAVING, GRADING & DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	CIVIL DETAILS
C-8	CIVIL DETAILS
C-9	CIVIL DETAILS
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN

PROJECT DATA TABLE

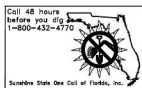
ADDRESS:	5085 SUNDANCE TRAIL WILDWOOD, FLORIDA 34785
TOTAL SITE AREA:	39,620 S.F. OR 0.91 ACRES
EXISTING ZONING:	CMU (CENTRAL MIXED USE)
PARCEL I.D. NUMBER:	0040247-2
NUMBER OF STORES:	1-5100F
BUILDING HEIGHT:	19 FEET
BUILDING CONSTRUCTION TYPE:	V-B UNSPRINKLED
OCCUPANCY LOAD:	40
NUMBER OF SEATS:	20
NUMBER OF EMPLOYEES:	7 (PER SHIFT)
PREP. FLOOR AREA RATIO (FAR):	0.05
SETBACK:	BUILDING: LANDSCAPE
FRONT (CR 466A)	N/A 25 FEET
REAR (SUNDANCE TRAIL)	20 FEET 10 FEET (From Curb Line to Curb Line)
SIDE (EAST)	10 FEET 5 FEET
SIDE (WEST)	10 FEET 5 FEET
PROPOSED IMPERVIOUS AREA:	30,929 SF 78.0%
EXISTING IMPERVIOUS AREA:	3,655 SF 9.2%
FLOOD ZONE CLASSIFICATION:	FLOOD ZONE "X" FLOOD INSURANCE RATE MAP COMMUNITY NO. 120299, PANEL NO. 0132, SUFFIX D, EFFECTIVE 8/27/13.
PARKING REQUIRED =	28 SPACES (1 SPA/120 S.F. OF BUILDING AREA)
PARKING PROVIDED =	28 SPACES INCLUDING 2 HANDICAP SPACES

SITE AREA DESCRIPTION - PROPOSED

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	3,088	7.8
PATIO	585	1.5
BUILDING	3,335	8.4
PAVEMENT	23,921	60.4
OPEN SPACE	8,691	21.9
TOTAL	39,620	100

SAUCY BY KFC
75% CONSTRUCTION COSTS

NO.	LINE ITEM DESCRIPTION	QTY	UNIT	PRICE	AMOUNT	PERCENT	AMOUNT	PERCENT
100	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
101	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
102	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
103	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
104	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
105	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
106	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
107	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
108	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
109	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
110	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
111	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
112	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
113	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
114	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
115	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
116	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
117	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
118	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
119	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
120	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
121	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
122	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
123	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
124	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
125	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
126	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
127	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
128	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
129	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
130	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
131	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
132	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
133	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
134	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
135	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
136	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
137	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
138	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
139	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
140	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
141	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
142	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
143	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
144	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
145	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
146	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
147	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
148	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
149	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%
150	Site Preparation	1000	SQ FT	1.50	1500.00	100%	1500.00	100%



THIS ENGINEER WILL BE CONSULTED FOR ANY INTERPRETATIONS OR REVISIONS DEEMED NECESSARY OR REQUIRED FOR WORK PERFORMED FROM THESE PLANS.

GOVERNING SPECIFICATIONS: STATE OF FLORIDA DEPT. OF TRANSPORTATION, STANDARD SPECIFICATIONS, LATEST EDITION

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CITY OF WILDWOOD STANDARDS AND SPECIFICATIONS.

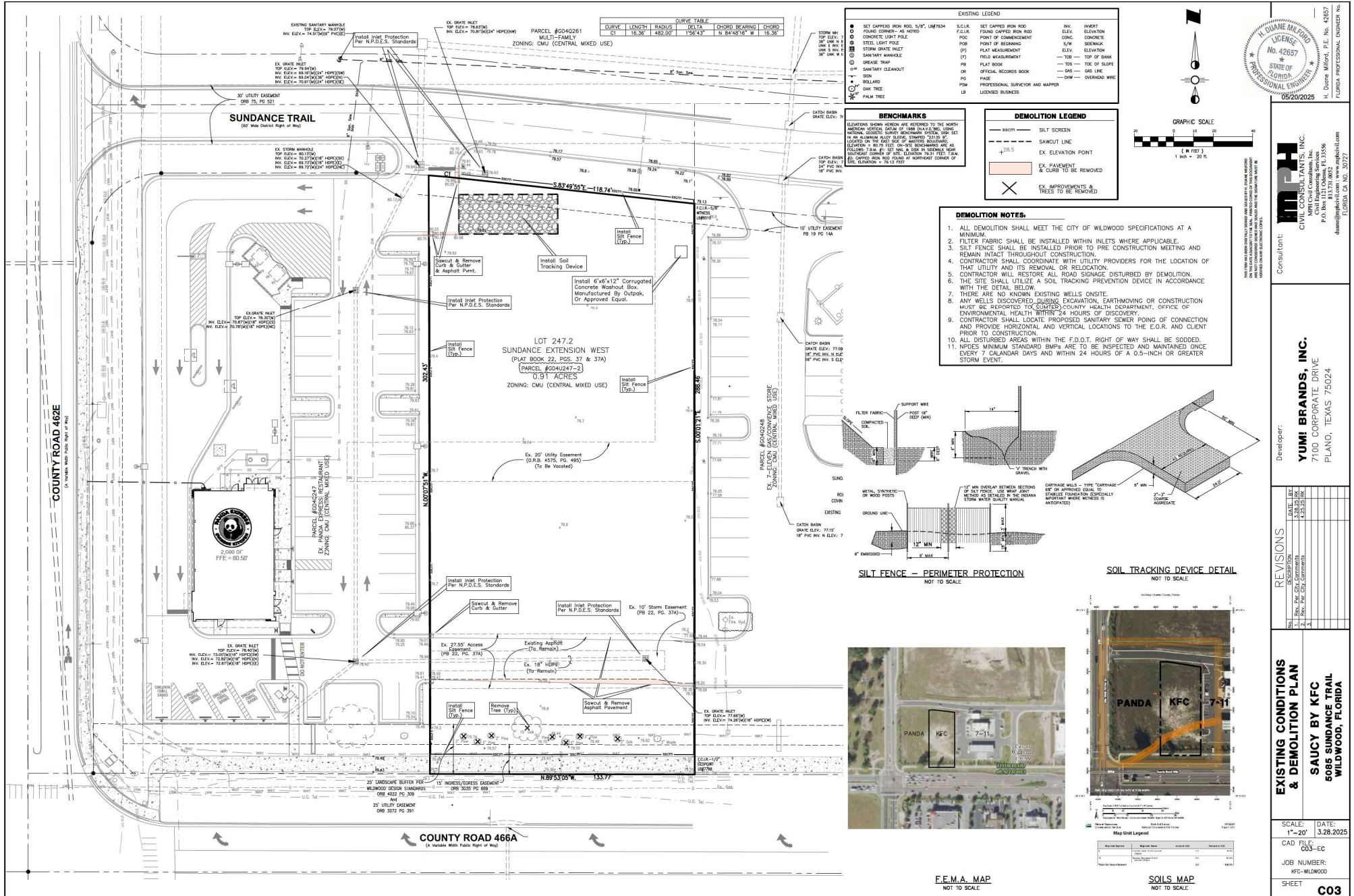
CIVIL ENGINEER:
M.H.
CIVIL CONSULTANTS, INC.
MPE Civil Consultants, Inc.
Civil Engineering Services
P.O. Box 1121 Odessa, FL 33556
813.791.0052

duane@mpcivl.com | www.mpcivl.com
FLORIDA CA NO. 30727

DEVELOPER:
YUM! BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

OWNER:
CFT NV DEVELOPMENTS, LLC
1120 N. TOWN CENTER DR., SUITE 150
LAS VEGAS, NEVADA 89144
626.799.9898

PROJECT NO. KFC-WILDWOOD
DATE: 4.1.2024
REVISED: 3.28.2025
REVISED: 4.25.2025



YUMI BRANDS, INC.
Civil Engineering Services, Inc.
P.O. Box 181371, Mckinney, TX 75061
817.371.0852
www.yumibrands.com
FLORIDA C.E. NO. 30727

Developer:
YUMI BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

REVISIONS

No.	Date	Description	By	Check
1	3.28.2025	ISSUED FOR PERMITS	J. SAUCY	J. SAUCY
2	3.28.2025	ISSUED FOR PERMITS	J. SAUCY	J. SAUCY
3	3.28.2025	ISSUED FOR PERMITS	J. SAUCY	J. SAUCY

EXISTING CONDITIONS & DEMOLITION PLAN
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDMOOD, FLORIDA

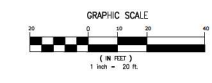
SCALE: 1"=20'
DATE: 3.28.2025
CAD FILE: 033-EC
JOB NUMBER: KFC-WILDMOOD
SHEET: **C03**

F.E.M.A. MAP
NOT TO SCALE

SOILS MAP
NOT TO SCALE

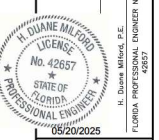
PARCEL #2042261
MULTI-FAMILY
ZONING: CMU (CENTRAL MIXED USE)

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	16.36'	482.00'	1°56'43"	N 84°48'16" W 16.36'



- HORIZONTAL CONTROL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
 2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.
 3. CONTRACTOR TO INSTALL TRUNCATED DORIES AT EACH SIDE OF CROSSWALK, WHERE SIDEWALK MEETS DRIVE.
 4. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 5. ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) & FDOT STANDARDS.
 6. ALL SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE CITY OF WILDWOOD.
 7. ALL STANDARD PARKING SPACES SHALL BE 10'x20'. ALL DISABLED PARKING SPACES SHALL BE 12'x20'.
 8. DUMPSTER ENCLOSURE MATERIALS SHALL MATCH THOSE OF THE PRINCIPAL STRUCTURE. REFER TO ARCH PLANS FOR DETAILS.

SAUCY BY KFC IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF SANITARY SEWER, STORMWATER SYSTEMS, PARKING LOTS, DRIVEWAYS AND WATER SERVICE LINES UP TO THE METER, WITHIN THE PROPERTY.



Y. DUANE WILFORD
LICENSE
No. 42657
STATE OF FLORIDA
PROFESSIONAL ENGINEER
05/20/2025

Consultant:

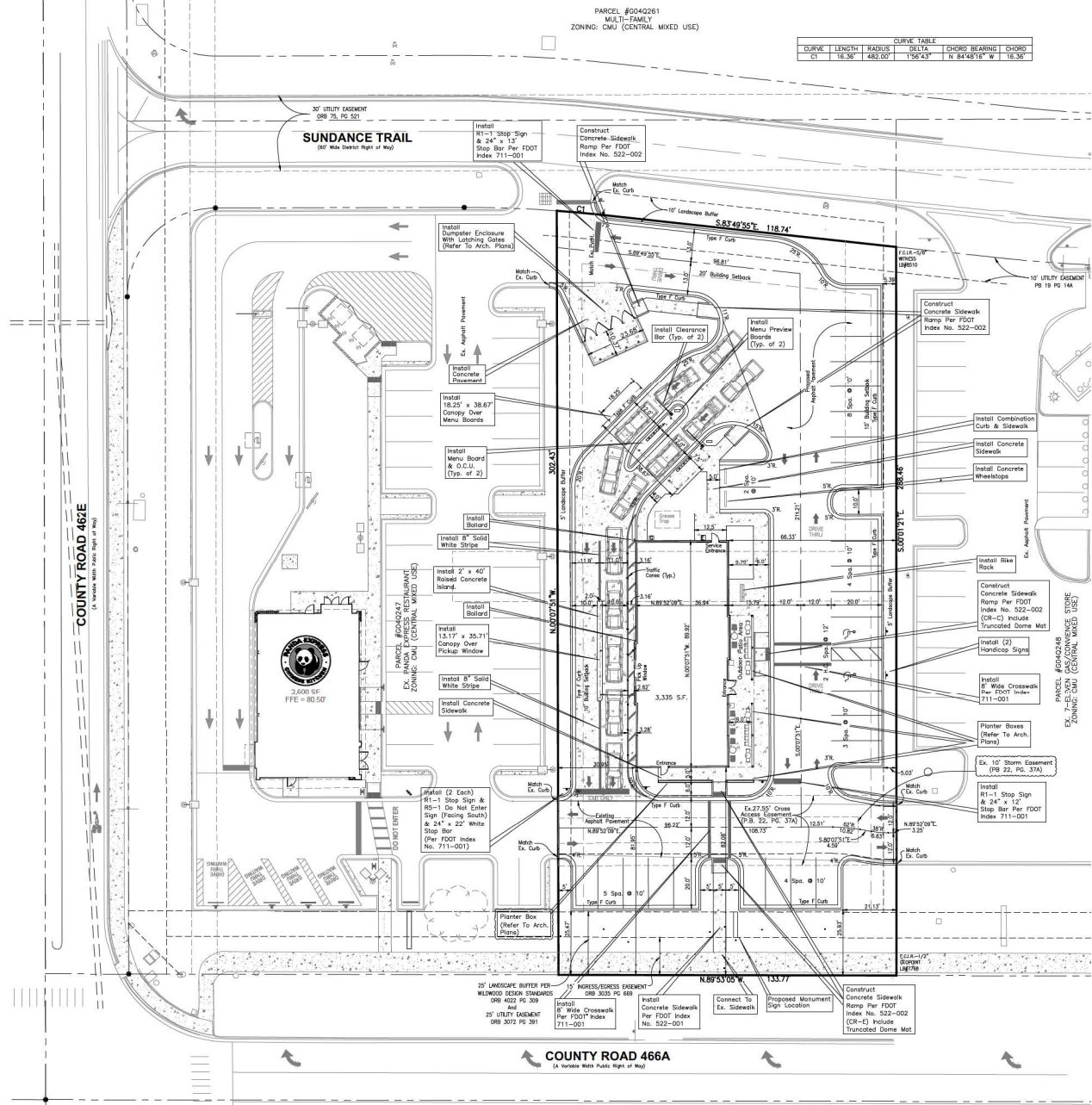
Developer:
YUMI BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

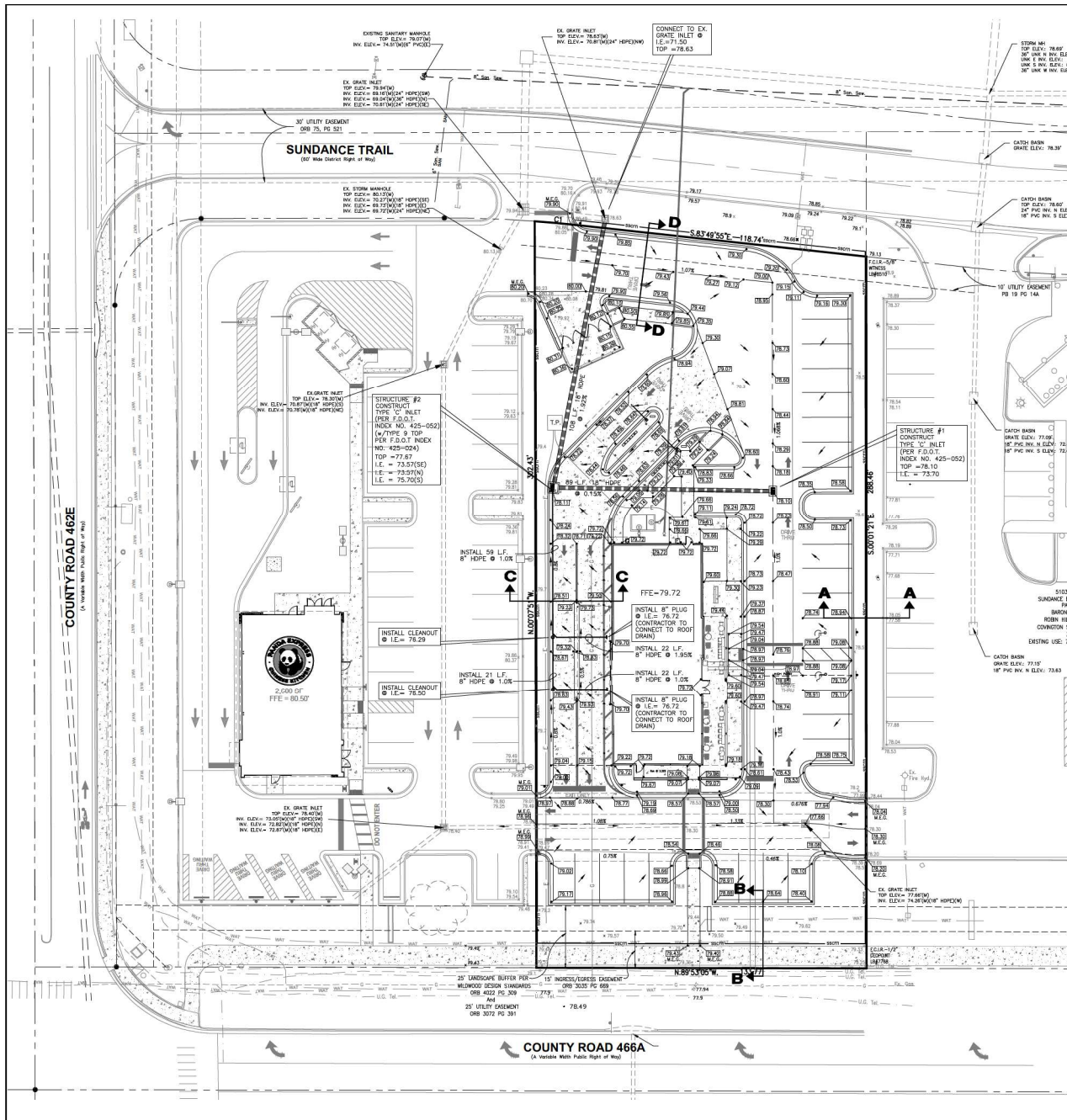
REVISIONS

No.	DATE	DESCRIPTION	DATE	BY
1	3.8.2025	FOR REVIEW, COMMENTS & REVISIONS		
2				
3				

HORIZONTAL CONTROL & STRIPING PLAN
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDWOOD, FLORIDA

SCALE: 1"=20'
DATE: 3.28.2025
CAD FILE: 034-HC
JOB NUMBER: KFC-WILDWOOD
SHEET **C04**



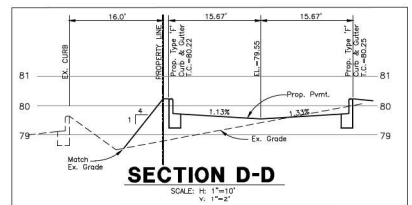
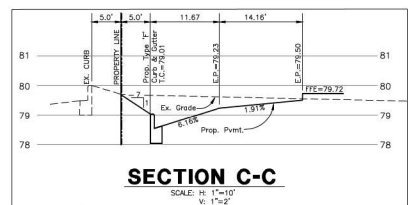
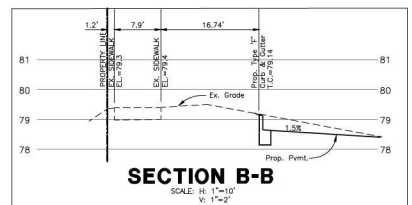
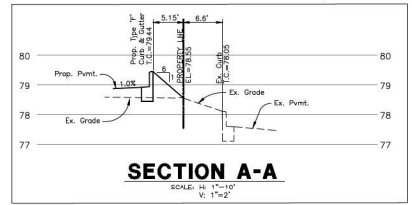
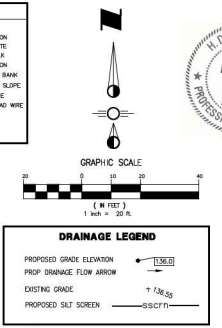


EXISTING LEGEND

● SET CAPPED IRON ROD 5/8" LB#304	S.C.I.R. SET CAPPED IRON ROD	INV. INVERT
○ FOUND CONCERN - AS NOTED	F.C.I.R. FOUND CAPPED IRON ROD	ELEV. ELEVATION
■ CONCRETE LIGHT POLE	POC. PORT OF COMMUNICATION	CONC. CONCRETE
■ STEEL LIGHT POLE	POB. POINT OF BEGINNING	S.W.M. SEWERMAN
■ STORM GRATE INLET	(P) PLAT MEASUREMENT	ELEV. ELEVATION
○ SANITARY MANHOLE	(F) FIELD MEASUREMENT	--- TOP OF BANK
■ PLAT BOOK	■ PLAT BOOK	--- TOP OF SLOPE
○ OFFICIAL RECORDS BOOK	OR OFFICIAL RECORDS BOOK	--- GAS - GAS LINE
■ PAGE	PS PAGE	--- SHW - OVERHEAD WIRE
■ PROFESSIONAL SURVEYOR AND MAPPER	PSM PROFESSIONAL SURVEYOR AND MAPPER	
○ OAK TREE	○ OAK TREE	
■ PINE TREE	■ PINE TREE	
	LB LICENSED BUSINESS	

- GENERAL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH CITY OF WILDWOOD AND THE EDR FOR ALL NECESSARY INSPECTIONS DURING CONSTRUCTION.
 2. ALL EXISTING UTILITIES SHOWN ON PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION PROVIDED TO THE EDR AT TIME OF PERMITTING. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 3. THE PROPOSED KFC PARCEL SHOWN HEREIN FALLS WITHIN ZONE "Y", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12119C, PANEL NUMBER 0132, SUFFIX D, EFFECTIVE DATE SEPTEMBER 27, 2013.

- PAVING, GRADING & DRAINAGE NOTES:**
1. REFER TO UTILITY PLANS FOR UNDERGROUND PIPING INFORMATION.
 2. ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY SHALL BE SOODED WITH BAMA SOD.
 3. PROPOSED ELEVATIONS ARE TO EDGE OF PAVEMENT OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
 4. ANY DAMAGED SIDEWALK ALONG PROPERTY FRONTAGE SHALL BE REMOVED AND REPLACED.
 5. CONTRACT SHALL BACKFILL ALL LANDSCAPE AREAS WITH CLEAN SOILS.



YUMI BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

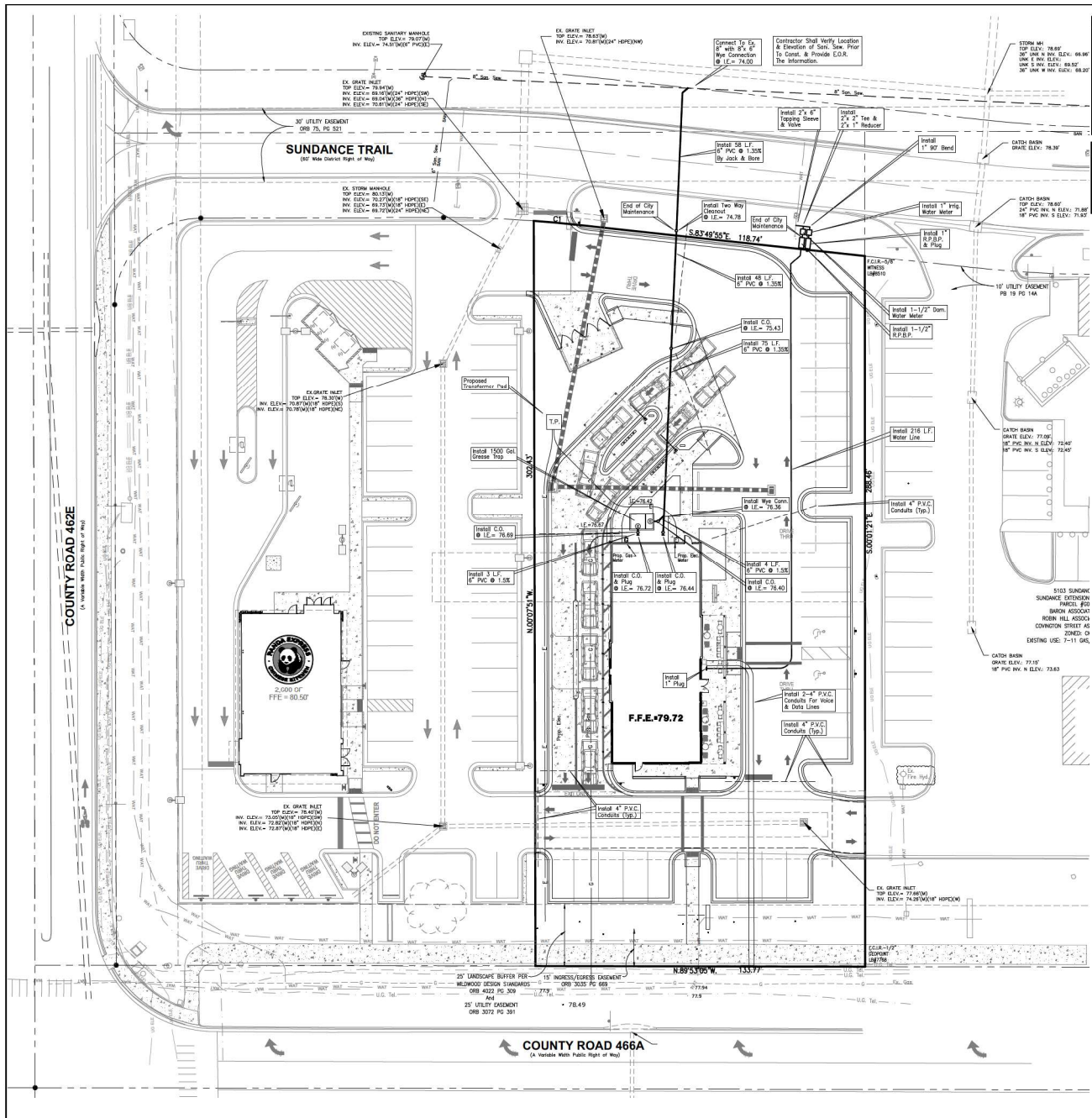
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDWOOD, FLORIDA

CONSULTANT:
WILCOX CONSULTANTS, INC.
4401 CHM Consultants, Inc.
Civil Engineering Services
P.O. Box 18131, Orlando, FL 32818
Phone: 407.831.1062
www.wilcox.com

REVISIONS

No.	Rev.	Description	DATE	BY
1	Rev. Per. City Comments		3.28.2025	RLK

SCALE: 1"=20'
DATE: 3.28.2025
CAD FILE: C05-PCD
JOB NUMBER: KFC-WILDWOOD
SHEET: C05



EXISTING LEGEND

●	SET CAPPOD IRON ROD, 5/8" DIA, 18" LONG	S.C.I.A.	SET CAPPOD IRON ROD	N.H.	INVERT ELEVATION
○	FOUND CORNER- AS NOTED	P.C.I.R.	FOUND CAPPOD IRON ROD	ELEV.	CHANGING
□	CONCRETE LIGHT POLE	P.C.	POINT OF COMMENCEMENT	CONIC.	CONCRETE
▣	STEEL LIGHT POLE	P.O.B.	POINT OF BEGINNING	S/W	SIDEWALK
○	STORM DRIVE INLET	(P)	PLAT MEASUREMENT	ELEV.	ELEVATION
○	SANITARY MANHOLE	(T)	FIELD MEASUREMENT	---	TOP OF BANK
○	DREASE TRAP	P.B.	PLAT BOOK	---	TOP OF SLOPE
○	SANITARY CLEANOUT	P.R.	OFFICIAL RECORDS BOOK	---	ONE - ONE LINE
○	IRON BOLLARD	P.	PAGE	---	DOWN - ONE LINE
○	IRON TREE	P.M.	PROFESSIONAL SURVEYOR AND MAPPER		
○	PALM TREE	L.B.	LICENSED BUSINESS		

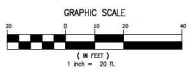
BENCHMARKS

EXISTING BENCHMARK ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). USING NATIONAL GEODETIC SURVEY BENCHMARK 2008 SET IN AN ALUMINUM ALLOY SLEEVE STAMPED "2010 50" LOCATED ON THE OVERHEAD GARAGE DOORWAY AS FOLLOWS: TBM #1 SET NAK & DIA. IN SIDEWALK NEAR SOUTHWEST CORNER OF SITE. ELEVATION 79.17 FEET. TBM #2 SET IRON ROD FOUND AT NORTHEAST CORNER OF THE BUILDING - 79.15 FEET.

UTILITY LEGEND

○	Prop. Gate Valve
○	Prop. San Cleanout
○	Prop. Storm Pipe
○	Prop. Storm MH
○	Prop. Storm Inlet

- GENERAL UTILITY NOTES:**
1. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT 2 WEEKS PRIOR TO THE START OF CONSTRUCTION & PRIOR TO ANY MATERIALS BEING DELIVERED TO THE SITE.
 2. ALL ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)
 3. THE CONTRACTOR TO EXPOSE WATER MAIN AND FURNISH TAPPING SLEEVE AND VALVE FOR WATER METER TAP AND INSTALL 2" POLYETHYLENE (P.E.) WATER SERVICE LINE FROM MAIN TO METER.
 4. THE CONTRACTOR TO COORDINATE WITH THE CITY OF WILDMOOD UTILITY DEPARTMENT PRIOR TO THE SELECTION AND ORDERING OF THE WATER METER AND BACKFLOW PREVENTION DEVICE ASSEMBLIES.
 5. ALL NON-METALLIC PIPE WILL BE INSTALLED WITH 2 PAIR, 10 GAUGE, COPPER TRACER WIRE.
 6. CONTRACTOR TO ADJUST EXISTING UTILITIES FOR SIDEWALK/DRIVEWAY CONSTRUCTION.
 7. ALL DISTURBED AREAS IN RIGHT OF WAY SHALL BE SODDED WITH BAHIA SOD.
 8. SEE ARCHITECTURAL PLANS FOR UTILITY CONNECTIONS TO BUILDING.
 9. REFER TO PAVING, GRADING AND DRAINAGE PLANS FOR STORM SEWER INFORMATION.
 10. ALL NECESSARY CONTRACTOR PERMITS REQUIRED TO PERFORM THE PROPOSED UTILITY CONSTRUCTION SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
 11. ALL GRAVITY SEWER PIPE AND FITTINGS SHALL BE PVC SDR-26, ASTM D-3034 AND ASTM D-132.
 12. PVC WATER SERVICE SHALL BE 200 PSI SDR-21 (SCH 40) AS APPROVED BY AWWA. CONTRACTOR MAY SUBSTITUTE HDPE DR-9 UPON ENGINEER'S APPROVAL.
 13. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT 2 WEEKS PRIOR TO START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.



CONSULTANT:
YUMI BRANDS, INC.
 7100 CORPORATE DRIVE
 PLANO, TEXAS 75024

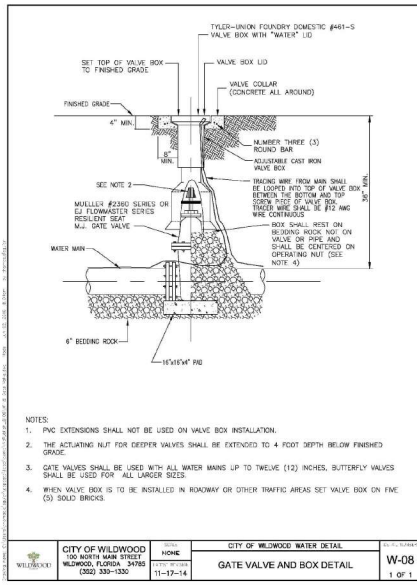
DEVELOPER:
SAUCY BY KFC
 5085 SUNDANCE TRAIL
 WILDMOOD, FLORIDA

REVISIONS

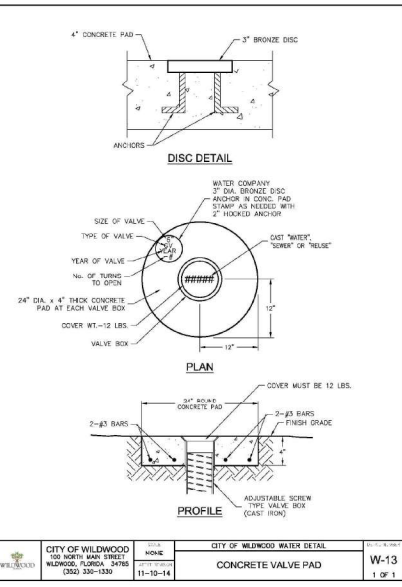
No.	DATE	BY	DESCRIPTION
1	3.28.2025
2
3

UTILITY PLAN

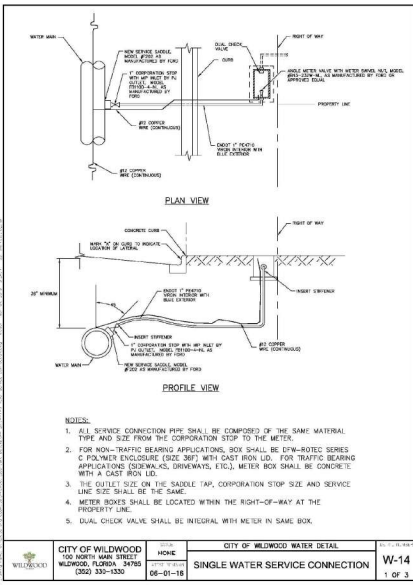
SCALE: 1"=20'
 DATE: 3.28.2025
 CAD FILE: 036-UT
 JOB NUMBER: KFC-WILDMOOD
 SHEET: C06



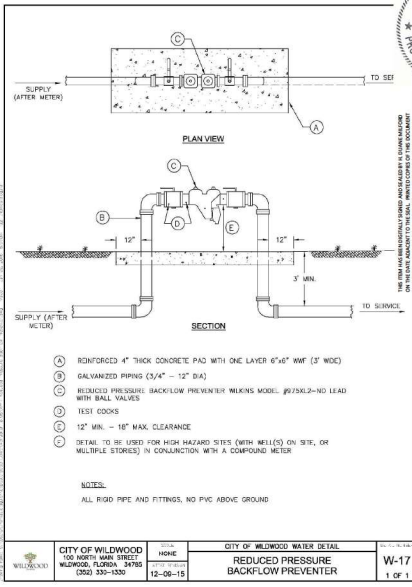
CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 11-17-14	CITY OF WILDWOOD WATER DETAIL GATE VALVE AND BOX DETAIL	DATE: NONE 11-17-14	W-08 1 OF 1
----------------------------------------------------------------------------------------	------------------------	------------------------------------------------------------	------------------------	----------------



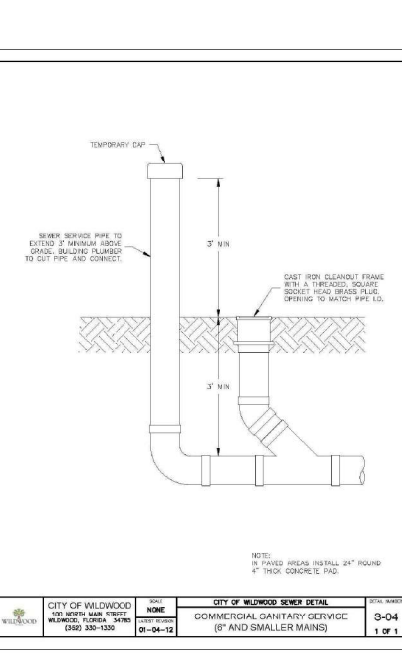
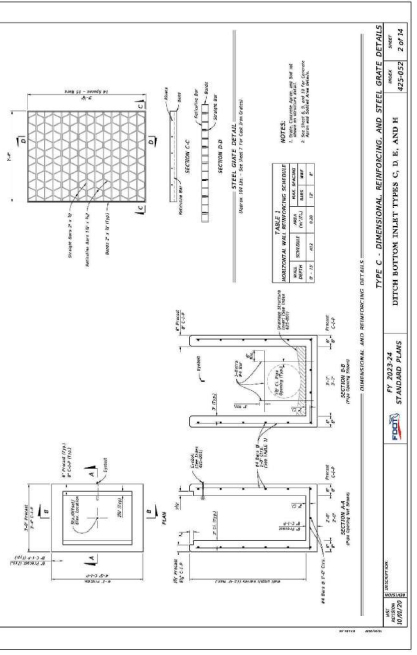
CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 11-10-14	CITY OF WILDWOOD WATER DETAIL CONCRETE VALVE PAD	DATE: NONE 11-10-14	W-13 1 OF 1
----------------------------------------------------------------------------------------	------------------------	-----------------------------------------------------	------------------------	----------------



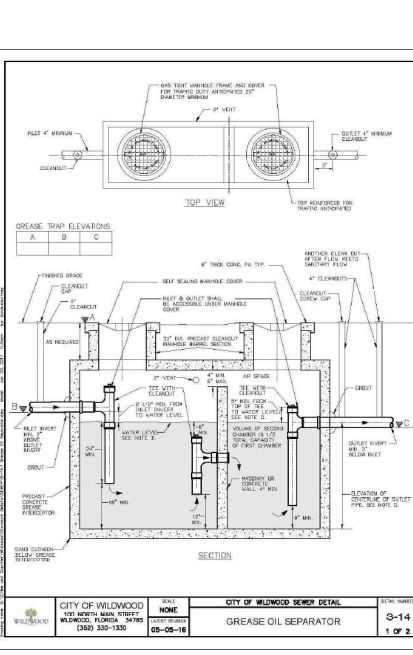
CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 06-01-18	CITY OF WILDWOOD WATER DETAIL SINGLE WATER SERVICE CONNECTION	DATE: NONE 06-01-18	W-14 1 OF 3
----------------------------------------------------------------------------------------	------------------------	------------------------------------------------------------------	------------------------	----------------



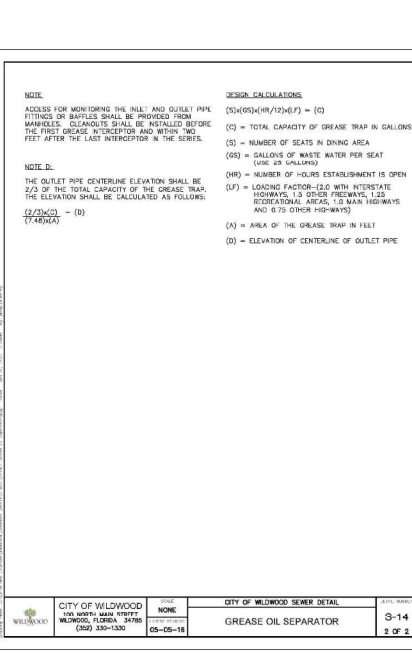
CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 12-06-15	CITY OF WILDWOOD WATER DETAIL REDUCED PRESSURE BACKFLOW PREVENTER	DATE: NONE 12-06-15	W-17 1 OF 1
----------------------------------------------------------------------------------------	------------------------	----------------------------------------------------------------------	------------------------	----------------



CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 01-04-12	CITY OF WILDWOOD SEWER DETAIL COMMERCIAL SANITARY SERVICE (6\"/>	DATE: NONE 01-04-12	3-04 1 OF 1
----------------------------------------------------------------------------------------	------------------------	---------------------------------------------------------------------	------------------------	----------------



CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 05-09-16	CITY OF WILDWOOD SEWER DETAIL GREASE OIL SEPARATOR	DATE: NONE 05-09-16	3-14 1 OF 2
----------------------------------------------------------------------------------------	------------------------	-------------------------------------------------------	------------------------	----------------



CITY OF WILDWOOD 100 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (850) 330-1330	DATE: NONE 05-09-16	CITY OF WILDWOOD SEWER DETAIL GREASE OIL SEPARATOR	DATE: NONE 05-09-16	3-14 2 OF 2
----------------------------------------------------------------------------------------	------------------------	-------------------------------------------------------	------------------------	----------------



Consultant:
YUMI BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

Developer:
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDWOOD, FLORIDA

NO.	DATE	DESCRIPTION

CIVIL DETAILS

SCALE: NTS	DATE: 3.28.2025
CAD FILE: C08-DTL	
JOB NUMBER: KFC-WILDWOOD	
SHEET	C08

GENERAL NOTES:

1. CURB HEIGHTS AND WIDTHS:
 - a. Standard curb and gutter heights (for 48" curb) shall not exceed 12" above the finished grade.
 - b. Standard curb and gutter heights (for 36" curb) shall not exceed 10" above the finished grade.
 - c. Standard curb and gutter heights (for 24" curb) shall not exceed 8" above the finished grade.
 - d. Standard curb and gutter heights (for 18" curb) shall not exceed 6" above the finished grade.
2. CURB AND GUTTER WIDTHS:
 - a. Standard curb and gutter widths shall be 48", 36", 24", or 18" as shown on the drawings.
 - b. Standard curb and gutter widths shall be 48" for all curb and gutter applications.
3. CURB AND GUTTER FINISHES:
 - a. Curb and gutter finishes shall be as shown on the drawings.
 - b. Curb and gutter finishes shall be 1/2" radius for all curb and gutter applications.
4. CURB AND GUTTER MATERIALS:
 - a. Curb and gutter materials shall be as shown on the drawings.
 - b. Curb and gutter materials shall be 1/2" radius for all curb and gutter applications.
5. CURB AND GUTTER INSTALLATION:
 - a. Curb and gutter installation shall be as shown on the drawings.
 - b. Curb and gutter installation shall be 1/2" radius for all curb and gutter applications.
6. CURB AND GUTTER MAINTENANCE:
 - a. Curb and gutter maintenance shall be as shown on the drawings.
 - b. Curb and gutter maintenance shall be 1/2" radius for all curb and gutter applications.

CURB RAMP NOMENCLATURE

DATE: 01/21/24
 DRAWING: 522-002
 PROJECT: FY 2023-24
 STANDARD PLANS
 DETECTABLE WARNING AND SIDEWALK CURB RAMPS
 SHEET: 1 of 7

CONSTRUCTION OF SIDEWALK CURB IN CUT SECTIONS

SIDEWALK CURB RAMPS C-B-C AND SIDEWALK CURB

DATE: 01/21/24
 DRAWING: 522-002
 PROJECT: FY 2023-24
 STANDARD PLANS
 DETECTABLE WARNING AND SIDEWALK CURB RAMPS
 SHEET: 2 of 7

SIDEWALK CURB RAMPS C-B-A AND C-B-B

DATE: 01/21/24
 DRAWING: 522-002
 PROJECT: FY 2023-24
 STANDARD PLANS
 DETECTABLE WARNING AND SIDEWALK CURB RAMPS
 SHEET: 2 of 7

PAVEMENT MARKINGS FOR PARKING

UNIVERSAL SYMBOL OF ACCESSIBILITY

DATE: 01/21/24
 DRAWING: 720-001
 PROJECT: FY 2023-24
 STANDARD PLANS
 PAVEMENT MARKINGS
 SHEET: 11 of 13

STANDARD CROSSWALK DETAILS

SPECIAL EMPHASIS CROSSWALK DETAILS

DATE: 01/21/24
 DRAWING: 720-001
 PROJECT: FY 2023-24
 STANDARD PLANS
 PAVEMENT MARKINGS
 SHEET: 12 of 13

SIDEWALK CURB RAMPS C-B-D, C-B-E, C-B-F & C-B-G

DATE: 01/21/24
 DRAWING: 522-002
 PROJECT: FY 2023-24
 STANDARD PLANS
 DETECTABLE WARNING AND SIDEWALK CURB RAMPS
 SHEET: 4 of 7

GENERAL NOTES:

1. CURB AND GUTTER TYPES:
 - a. Curbs shall be 1/2" radius for all curb and gutter applications.
 - b. Gutters shall be 1/2" radius for all gutter applications.
2. CURB AND GUTTER MATERIALS:
 - a. Curbs shall be 1/2" radius for all curb and gutter applications.
 - b. Gutters shall be 1/2" radius for all gutter applications.
3. CURB AND GUTTER INSTALLATION:
 - a. Curbs shall be 1/2" radius for all curb and gutter applications.
 - b. Gutters shall be 1/2" radius for all gutter applications.
4. CURB AND GUTTER MAINTENANCE:
 - a. Curbs shall be 1/2" radius for all curb and gutter applications.
 - b. Gutters shall be 1/2" radius for all gutter applications.

CURB AND GUTTER

DATE: 01/21/24
 DRAWING: 520-001
 PROJECT: FY 2023-24
 STANDARD PLANS
 CURB AND GUTTER
 SHEET: 1 of 3

CURB AND GUTTER

DATE: 01/21/24
 DRAWING: 520-001
 PROJECT: FY 2023-24
 STANDARD PLANS
 CURB AND GUTTER
 SHEET: 2 of 3

CURB AND GUTTER

DATE: 01/21/24
 DRAWING: 520-001
 PROJECT: FY 2023-24
 STANDARD PLANS
 CURB AND GUTTER
 SHEET: 3 of 3



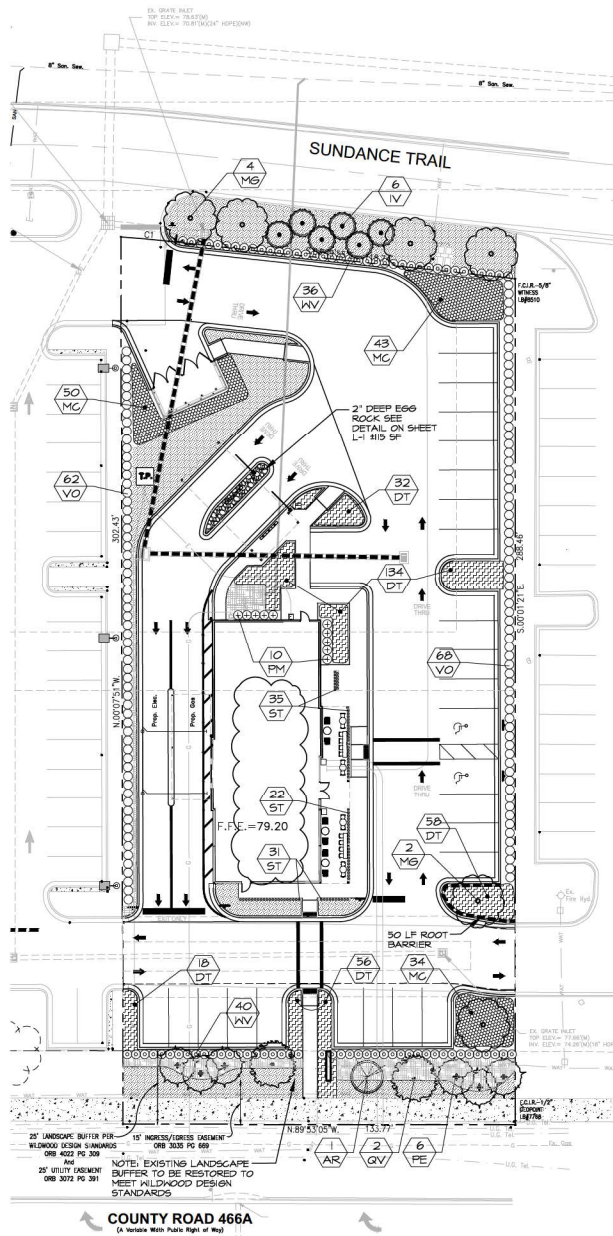
Consultant:
YUMI BRANDS, INC.
 7100 CORPORATE DRIVE
 PLANO, TEXAS 75024

Developer:
YUMI BRANDS, INC.
 7100 CORPORATE DRIVE
 PLANO, TEXAS 75024

NO.	DATE	DESCRIPTION


CIVIL DETAILS
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDWOOD, FLORIDA

SCALE: NTS
 DATE: 3.28.2025
 CAD FILE: C09-DTL
 JOB NUMBER: KFC-WILDWOOD
 SHEET: **C09**



PLANT MATERIAL LIST

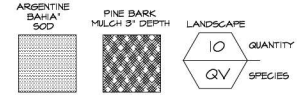
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
QV	2	QUERCUS VIRGINIANA	LIVE OAK	8' HT X 4" SPD, 2" DBH	AS SHOWN
MG	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	8' HT X 4" SPD, 1" DBH	AS SHOWN
AR	1	ACER RUBRUM	RED MAPLE	8' HT X 4" SPD, 2" DBH	AS SHOWN
PE	6	PINUS ELLIOTTI	SLASH PINE	8' HT X 4" SPD, 2" DBH	AS SHOWN
IV	6	ILEX VOMITORIA	YAUPOIN HOLLY	8' HT X 4" SPD, MULTI-STEM	AS SHOWN
VV	16	VIORNUM OBOVATUM	HALTER'S VIBURNUM	36" HT X 3/4" SPD, 1 GALLON	36" OC
VO	130	VIORNUM OBOVATUM	HALTER'S VIBURNUM	18" HT X 1/2" SPD, 3 GALLON	36" OC
MC	121	MULLEBERGIA CAPILLARIS	MULEY GRASS	24" HT X 24" SPD, 3 GALLON	36" OC
PM	10	PODOCARPUS MACROPHYLLUS	PODOCARPUS	18" HT X 1/2" SPD, 3 GALLON	36" OC
DT	240	DANELLA TASHANGA VAREGATA	BLUEBERRY FLAX LILY	10" HT X 10" SPD, 1 GALLON	24" OC
ST	66	SANSEVIERIA TRIFASCIATA	SNAKE PLANT	10" HT X 6" SPD, 1 GALLON	12" OC


Lucinda A Utter
 2025.05.21
 13:57:50 -04'00'
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY L. ALYSON UTTER ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

LANDSCAPE REQUIREMENTS

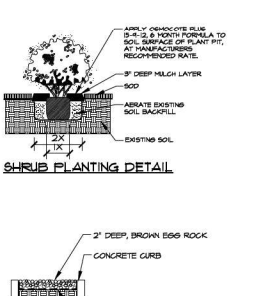
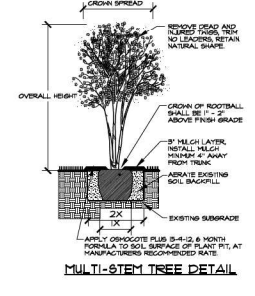
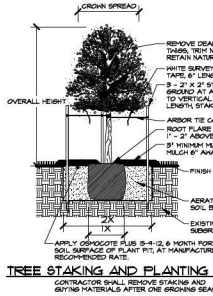
- 1) C&G ZONING DISTRICT - 15% OPEN SPACE REQUIRED
 SITES = 34,620 SF
 OPEN SPACE REQUIRED = 5,193 SF
 OPEN SPACE PROVIDED = 5,641 SF
- 2) VEHICULAR USE REQUIREMENTS
 SOUTH-25' LANDSCAPE BUFFER PER WILDLAND DESIGN STANDARDS ORB 4022 PG 304
 23,821 SF PARKING AREA X 10% = 2,382 SF REQUIRED
 2,641 SF PROVIDED
- 1) CANOPY TREE AND 3 SHRUBS PER 25 SPACES
 30 PARKING SPACES PROPOSED
 2 CANOPY TREES REQUIRED
 6 SHRUBS REQUIRED
- 3) PERIMETER BUFFER REQUIREMENTS
 SOUTH-25' LANDSCAPE BUFFER PER WILDLAND DESIGN STANDARDS ORB 4022 PG 304
 3 REPLACEMENT TREES REQUIRED
- EAST-5' LANDSCAPE BUFFER
 NO LANDSCAPE REQUIRED
- WEST-5' LANDSCAPE BUFFER
 NO LANDSCAPE REQUIRED
- NORTH-10' WIDE LANDSCAPE BUFFER
 3 CANOPY TREES, 3 UNDERSTORY TREES AND A CONTINUOUS ROW OF SHRUBS 3' IN HEIGHT
- 1/4 LF / 100 = 1/4 X 3 CANOPY = 4 CANOPY TREES
 1/4 X 5 UNDERSTORY = 6 UNDERSTORY TREES
- 4) TREE REPLACEMENTS
 (1) 18" LIVE OAK TREE TO BE REMOVED
 (1) LIVE OAK REPLACEMENT TREE REQUIRED
- 5) TOTAL TREES REQUIRED = 2 + 6 + 10 + 1 TREES
 21 TREES REQUIRED
 21 TREES PROPOSED

SYMBOL LEGEND



LANDSCAPE INSTALLATION NOTES

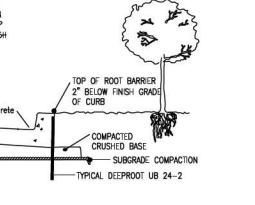
- 1) ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 2) LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC- SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.
- 3) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
- 4) THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
- 5) ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3" DEEP TRIPLE SHREDDED BLACK MULCH. ALL NEW TREES SHALL BE STAKED.
- 6) NEW SOD SHALL BE ARGENTINE BAHIA SOD APPROXIMATELY 4000 SF. IN THE LOCATIONS SHOWN ON THE PLAN. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- 7) TREES SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE. PLANT PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER OF THE PLANT ROOT BALL. ABRATE EXISTING SOIL BEFORE BACKFILLING PIT.
- 8) TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.
- 9) ALL TREE STAKING IS TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.
- 10) ALL CRITICAL ROOT ZONES MUST HAVE ROOT PRUNING PRIOR TO PERMANENT IRRIGATION INSTALLATION.



ROOT BARRIER FOR CURB PROTECTION

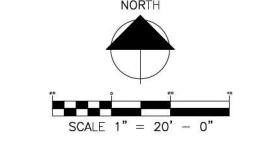
TYPICAL SECTION OF CURB AND GUTTER WITH DEEPROOT TREE ROOT BARRIER INSET INTO CONCRETE. BARRIER INSTALLED IN A TRENCH IN SUBGRADE WHICH IS THE DEPTH OF BARRIER IS SET SO THAT TOP EDGE WILL BE 2" (50MM) BELOW FINISH GRADE OF CURB, AND SET FLUSH WITH EDGE OF CURB. BARRIER RIBS FACE TOWARD TREE ROOTS.

- INSTALLATION SEQUENCE**
1. PREPARE BASE AND SUBGRADE
 2. TRENCH TO APPROPRIATE DEPTH FOR INSTALLATION OF ROOT BARRIER SO THAT TOP OF BARRIER IS 2" BELOW FINISH GRADE OR TOP OF CURB
 3. PLACE ROOT BARRIER IN TRENCH. VERTICAL RIBS MUST FACE TOWARD TREE ROOTS
 4. BACKFILL AND COMPACT TO REQUIREMENTS
 5. PLACE FORM MATERIAL AGAINST BARRIER (IT MAY BE NAILED FROM THE OUTSIDE OF THE FORM)



EGG ROCK INSTALLATION DETAIL

2" DEEP, BROWN EGG ROCK CONCRETE CURB

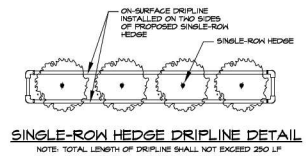
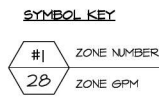
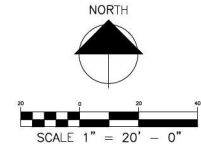
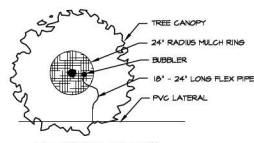


Consultant:
ANDERSON LESNIAK LIMITED, INC.
 LANDSCAPE ARCHITECTS
 15086 DUSKY WAREBER ROAD
 WEBER WACHIE, FLORIDA 34614
 www.andersonlesniak.com

Developer:
YUMI BRANDS, INC.
 7100 CORPORATE DRIVE
 PLANO, TEXAS 75024

LANDSCAPE PLAN
SAUCY BY KFC
 5085 SUNDANCE TRAIL
 WILDLAND, FLORIDA

SCALE: 1" = 20'
 DATE: 4.02.2024
 CAD FILE: LA-14
 JOB NUMBER: KFC-WILDLAND
 SHEET: L-1



IRRIGATION MATERIAL LIST

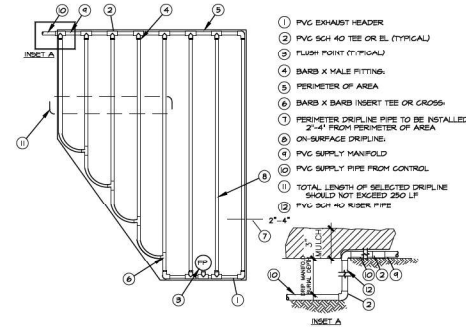
SYMBOL	QUANTITY	MODEL NUMBER
A ●	12	1806-PRS-18-VAN, 6" POP-UP SPRAY
B ●	2	1806-PRS-15-MFR, 6" POP-UP SPRAY
C ●	48	1806-PRS-12-MFR, 6" POP-UP SPRAY
D ●	2	1806-PRS-1556T-NP, 6" POP-UP SIDESTRIP
E ●	5	1806-PRS-R/LCS-NP, 6" POP-UP CORNERSTRIP
F ●	16	1402-O-5 6PM, FULL CIRCLE BUBBLER
G ●	2	1401-O-25-NP, FULL CIRCLE BUBBLER
± 3,435 LF		XFD-O4-12-250, LANDSCAPE DRIPLINE
± 280 LF		2" PVC, SCHEDULE 40, MAIN LINE
⊕	1	KCZ-PRB-150-COM, 15" CONTROL ZONE KIT
⊖	2	KCZ-PRB-100-COM, 1" CONTROL ZONE KIT
⊗	3	150-FEB-PRS-D, 15" ELECTRICAL VALVE
⊙	2	100-FEB-PRS-D, 10" ELECTRICAL VALVE
⊠	1	ESP-LXMEZ-LXMEZ, 12 STATION CONTROLLER
⊡	3	ECO-ID, ECO-INDICATOR FOR DRIPLINE ZONES
⊢	1	RAIN CHECK, AUTOMATIC RAIN SHUTOFF

IRRIGATION INSTALLATION NOTES

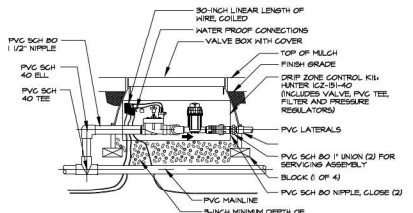
- ALL QUANTITIES SHOWN ON THE DRAWINGS ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE PURPOSES OF INDICATING VOLUME OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY HIMSELF AS TO THE ACCURACY OF THE QUANTITIES.
- PIPING OR VALVES MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS, I.E. IN BUILDINGS, UNDER PAVEMENT, OR OUTSIDE OF THE PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN SOIL AREAS.
- INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES.
- PIPE SIZES ARE LABELED AT LOCATIONS WHERE AN INCREASE IN SIZE OCCURS. CONTINUE PIPE SIZE UNTIL SIZE INCREASE IS INDICATED. PIPES SHALL BE INSTALLED ALONG WALKS, CURBS OR WALLS. THEY SHALL NOT BE INSTALLED IN THE MIDDLE OF PLANTERS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE AND PALM LOCATIONS. MAIN LINE AND LATERALS SHALL BE SCH 40 PVC.
- ALL POP-UP SPRAY AND ROTOR HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. RISERS SHALL BE 28" IN HEIGHT OR 4" ABOVE ADJACENT SHRUBS. ALL IRRIGATION EQUIPMENT SHALL BE BY RAIN BIRD, UNLESS OTHERWISE STATED ON THE PLAN.
- WATER SOURCE IS A NEW 1" IRRIGATION METER. IRRIGATION SYSTEM REQUIRES 26 GPM AT 40 PSI. WIRING USED FOR CONNECTING THE VALVES TO THE CONTROLLER SHALL BE TYPE UF, 16 AWG WIRE, WITH PVC INSULATION. ZONE WIRES SHALL BE COLOR CODED AND COMMON WIRE SHALL BE WHITE. VALVE BOXES SHALL BE 22" X 11" X 12" RECTANGULAR WITH GREEN LIDS. PLACE 3" GRAVEL INSIDE VALVE BOXES.
- NEW CONTROLLER SHALL BE WALL MOUNTED IN THE LOCATION APPROVED BY THE PROJECT MANAGER. AFTER 30 DAY PLANT MATERIAL ESTABLISHMENT PERIOD, CONTROLLER SHALL BE SET AS PER LOCAL WATER RESTRICTIONS. AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETE, CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING SHOWING LOCATION OF IRRIGATION HEADS, VALVES AND PIPE.
- PIPING ON THE PLAN IS DIAGRAMMATICALLY ROUTED FOR CLARITY. DESIGN MODIFICATIONS SHALL BE MADE TO MEET FIELD CONDITIONS. THE PIPING SCHEMATIC IS DESIGNED TO MINIMIZE TRENCHING. WHENEVER POSSIBLE RUN MULTIPLE LINES AND WIRE IN THE SAME TRENCH.
- WHERE EXISTING OR PROPOSED PAVED SURFACES CROSS IRRIGATION LINES, ALL PIPING UNDER SAID SURFACES SHALL BE IN SLEEVES. SLEEVES SHALL BE SCH 40 PVC, MINIMUM 2" DIAMETER OR AS SPECIFIED ON PLAN. WHERE EXISTING PAVEMENTS MUST BE CUT TO INSTALL IRRIGATION PIPE, SAW CUT SIX INCHES WIDER THAN THE NEEDED TRENCH. REPAIR CUTS WITH AN EQUIVALENT MATERIAL TO MATCH EXISTING.
- MINIMUM COVER: PROVIDE 18" MINIMUM COVER OVER SLEEVES, 18" MINIMUM COVER OVER TOP OF MAIN LINE AND CONTROL WIRING, AND 12" MINIMUM COVER OVER ANY OTHER INSTALLED IRRIGATION PIPING.

DRIP INSTALLATION NOTES

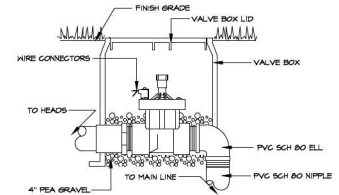
- DRIPLINE SHALL BE LAID DIRECTLY UNDER THE 3" MULCH BED. MULCHING OF PLANT BEDS SHALL OCCUR AFTER DRIPLINE INSTALLATION.
- DRIPLINE SHALL COVER THE FULL EXTENT OF ALL PLANTING BEDS WHERE IT IS INDICATED ON THE DRAWINGS, AT A SPACING OF 18" ON CENTER. ON THE DRIPLINE ZONES, THE ELECTRIC VALVE, DISC FILTER AND PRESSURE REGULATOR SHALL BE PLACED UNDERGROUND IN A PLASTIC VALVE BOX WITH COVER. ADJUST PRESSURE REGULATOR TO ACCOMMODATE EACH ZONE.
- INDIVIDUAL SECTIONS OF DRIPLINE SHALL BE CONNECTED USING PVC PIPE SIZED AS PER GPM REQUIREMENTS. DRIPLINE SHALL BE STAPLED OR OTHERWISE FASTENED TO THE FINISH GRADE EVERY 4' ON CENTER.



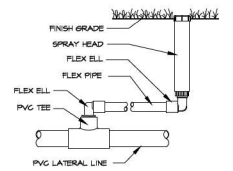
ON-SURFACE DRIPLINE INSTALLATION



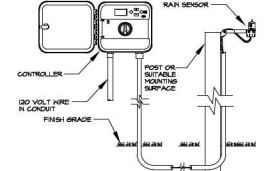
DRIP CONTROL ZONE KIT



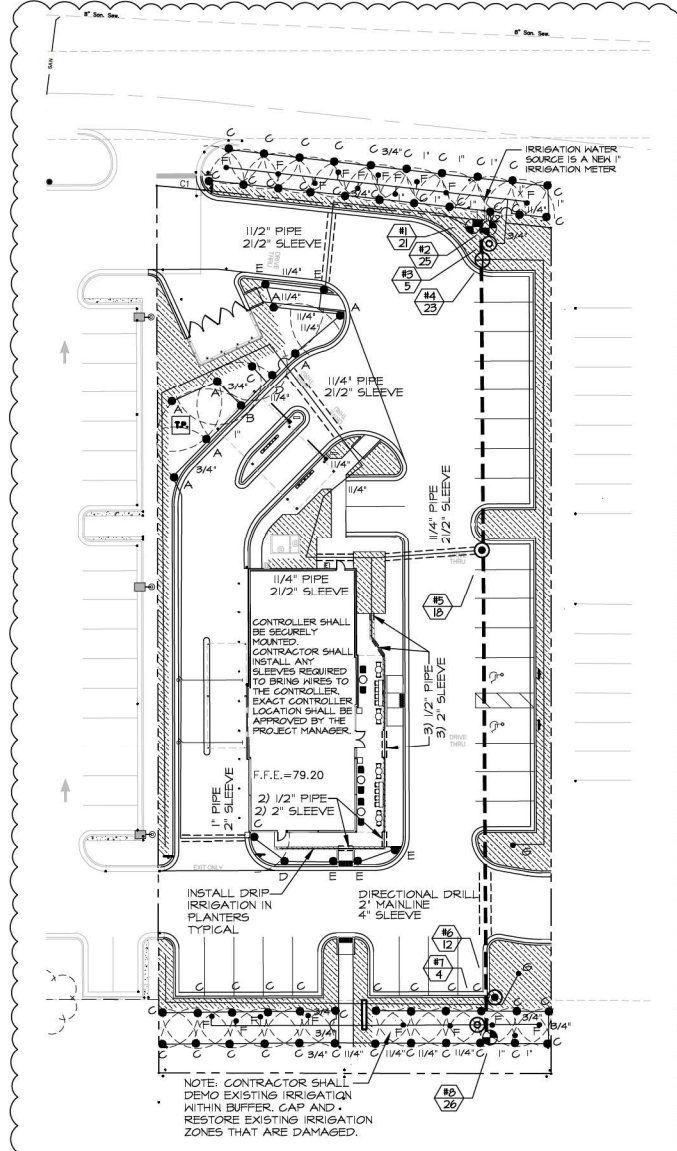
ELECTRIC VALVE DETAIL



6" POP-UP SPRAY DETAIL



CONTROLLER WITH RAIN SENSOR



COUNTY ROAD 466A
(A Versus With Public Right of Way)

NOTE: CONTRACTOR SHALL DEMO EXISTING IRRIGATION WITHIN BUFFER, CAP AND RESTORE EXISTING IRRIGATION ZONES THAT ARE DAMAGED.

Consultant:
ANDERSON LESNAK LIMITED, INC.
LANDSCAPE ARCHITECTS
15086 DUSKY WARELER ROAD
WEBER WACHIE, FLORIDA 34614
www.andersonlesnak.com

Developer:
YUMI BRANDS, INC.
7100 CORPORATE DRIVE
PLANO, TEXAS 75024

Architect:
SAUCY BY KFC
5085 SUNDANCE TRAIL
WILDWOOD, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
1	5/21/25	CITY COMMENTS
2	5/21/25	
3	5/21/25	
4	5/21/25	

SCALE: 1" = 20'

DATE: 4.02.2024

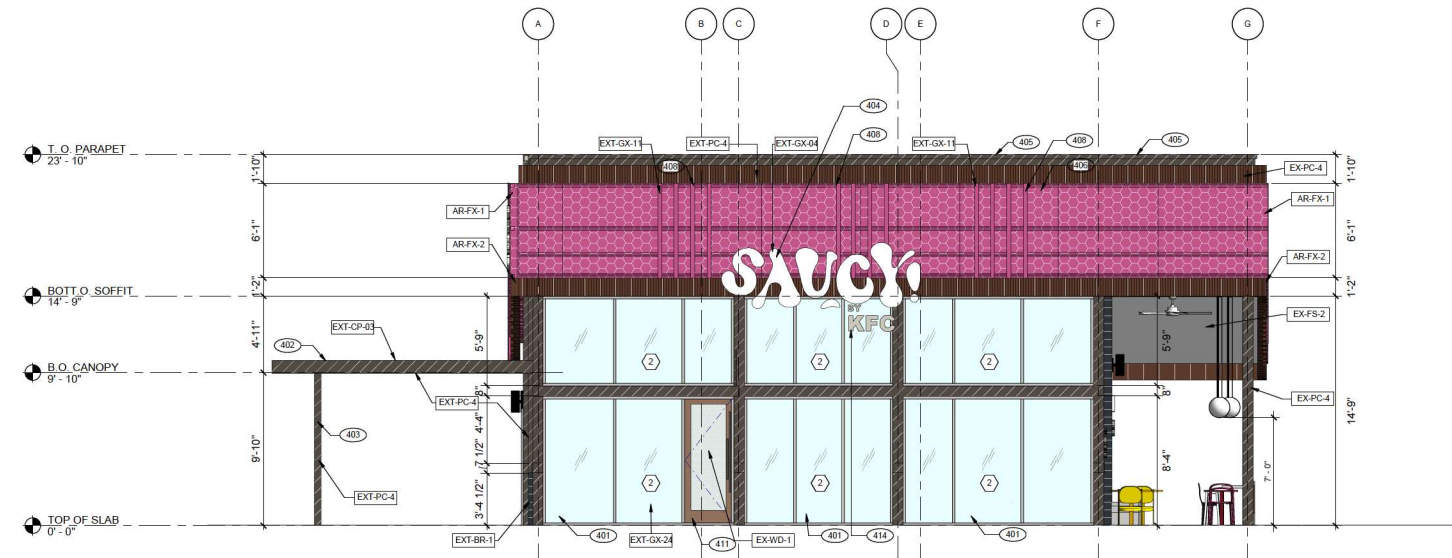
CAD FILE: LA-14

JOB NUMBER: KFC-WILDWOOD

SHEET: L-2



MAIN ENTRY ELEVATION 1/4" = 1'-0" **2**



SEE SHEET A4.2 FOR FINISH SCHEDULE
AND KEYNOTE REFERENCE WITH TAG
NUMBER.

FRONT ELEVATION 1/4" = 1'-0" **1**

DATE	REMARKS

CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION:
BRAND DESIGNER:
SITE NUMBER:
STORE NUMBER:
P/PM:
DRAWN BY:
JOB NO.: BASE-:
SAUCY, WILDWOOD
5085 SUNDANCE TRAIL
WILDWOOD FLORIDA 34785

**EXTERIOR
ELEVATIONS**

A4.1

PLOT DATE:

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0068 St. Vincent de Paul Outreach Ministries

REQUESTED ACTION: Staff recommends approval upon resolution of outstanding comments.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No	A25-0068 St. Vincent de Paul Outreach Ministries
Parcel Number	G07E023, G07-052, G07-053, and G07-128
Acreage	3.77 Acres, MOL
Property Location	The property is generally located approximately 110 linear feet south of the intersection of E Kentucky Avenue and US Hwy 301
Owner	Diocese of Orlando
Applicant	John Noonan, Bishop

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a multi-phased project consisting of a one-story 10,108-square-foot retail building providing 66 parking spaces including three (3) Florida ADA accessible parking spaces with one being a van-accessible ADA parking space, a dumpster enclosure, together with associated infrastructure such as retention area, landscaping buffers, connecting sidewalks, site lighting improvements, and connecting commercial driveways along E. Kentucky Avenue and US Hwy 301 for Phase 1, on 3.77 acres MOL, as per the attached plans. A proposed 10,089-square-foot Food Pantry Building will be developed in Phase 2.

As of the writing of this report, the project has outstanding comments from the City Attorney, Utilities, Fire, and City Engineer. Please see the comment review sheet report enclosed. The applicant has submitted one technical waiver request in relation to a 5-foot impervious surface encroachment within the required 25-foot wetland buffer.

Once the outstanding comments are addressed, A25-0068 is expected to meet the criteria set forth within the Land Development Regulations, the Design District Standards, and be in line with the goals, objectives, and policies within the 2050 Comp. Plan.

DATED: 7/2/2025



Wendy Then, AICP, CFM
Assistant Director Development Services



WILDWOOD FLORIDA

City of Wildwood

Project #: A25-0068

Project Name: SVDP Outreach Ministries

Resubmittal Date: 05/02/2025

Representative: Stephen Campbell, CFB

Date: 7/2/2025

CITY ENGINEER

1. Cover states that the electrical provider is SECO energy, however SECO has provided a letter stating that the project is not within their service area.
2. The wetland line is not shown on the submitted survey. Were the flags surveyed in the field?
3. One row of parking is called out as having 9 spaces but actually has 10 spaces.
4. The number of required handicap spaces is listed as 2, however 3 are required.
5. How will stormwater runoff from the southwest building be conveyed to the stormwater system. South of the building appears to drain offsite without stormwater being captured.
6. SV-D18 has a grate elevation of 55.0. The listed DLW of the pond is 54.0, as is the orifice elevation. How will the pond bleed down to the DLW elevation if the outfall grate is higher than the DLW/orifice? Further, the ICPR model shows this as a downstream invert of 51.0 and does not appear to take into account the bubble up nature of the downstream structure.
7. Is the existing sanitary line active and in use? How will service be maintained during construction?
8. Clarify that "raised curb" as called out in the geometry plan is intended to be the "trench curb" as shown on sheet 12.
9. The auto turn exhibit provided shows the fire truck turning into the stormwater pond.
10. The CN breakdown for basin B-1 in the stormwater calculations shows an impervious area of 1.42 acres. The plans call out 1.65 acres of impervious area.
11. Post-development does not appear to count the wet pond as impervious.
12. Peaking factor of 256 is not appropriate for post-development commercial. Use 323.
13. ICPR inputs for DS-1 do not match plans. ICPR inputs for DS-1 within the model do not match for quality vs. quantity.
14. ICPR inputs for DS-2 do not match plans (quality).

15. ICPR input for DS-1 (quantity) has a vertical rectangular weir at elevation 53.0 that is not shown in plans.
16. ICPR inputs for DS-2 (quantity) have an extra rectangular weir at elevation 56.0 that is not shown in the plans.
17. ICPR water quality drawdown results are not included in the report. As such, it is not clear how starting elevations were determined.
18. ICPR post node max stops at 5-year storm. 25yr/24hr and 100yr/24hr results are not included.
19. Section 6.4(C)(4) requires the retention of pre/post runoff volume for the 25yr-24hr storm event. These volumes are not provided in the report.
20. The plans show a significant amount of development past the FEMA flood hazard line such that there are questions/concerns about floodplain impacts, and/or the loss of historic basin storage. The report mentions an existing model, the Little Jones Creek Watershed Model, and the ICPR model shows that LJCNE1230 was modeled as a time/stage node at elevation 49.0. However, the submitted survey shows an edge of water ranging from elevation 52.0-53.0, and the plans show the wetland line reaching elevation 54.0. Given these elevations, it seems reasonable that the base flood elevation is higher than these elevations, and that the floodplain is therefore being impacted. How are floodplain impacts and historic basin storage being addressed?

COMMENTS REGARDING THE COST ESTIMATE

1. The sanitary manhole price seems low based on what we have been seeing. I would expect this to be closer to \$6000=\$6500.
2. There are only 2 manholes in the estimate, but 3 shown on the plan.
3. There is only one lateral in the estimate, but two laterals shown on the plan. Are the laterals going to be owned/maintained by the city? If not, I would not think they would be in the estimate?
4. The PVC watermain description states that valves are included, but then there is a separate line item for gate valves.
5. The original plans show a wet tap of an existing 8-inch main. Revised plans still call out the tap, but the existing main isn't shown. There is now a reference to a sheet 7A, which was not included. Is there more utility work happening elsewhere associated with this project?
6. There is an 8-inch directional bore listed in the estimate. I do not see this called out in the plans.
7. If there is an 8-inch directional bore, I would expect the price to be closer to \$175-\$200 per LF.
8. Typically on a directional bore, the boring is upsized. Meaning, an 8-inch line would require a 10 or 12-inch bore. This price would be higher than the 8-inch bore price. Again, needs to be clarified where/if a bore is proposed.
9. The length of 8-inch main on the estimate does not match what is called out in the plans.
10. For sanitary piping, would expect this to be \$58-62 per foot.

DEVELOPMENT SERVICES

1. Please provide copy of FDOT ROW permit.
2. Please place a note on the Civil Plans front cover sheet indicating:
 - a. The food pantry building is considered "Phase 2" of this project, Client has not developed elevations at this time. When elevations are developed, they will meet the Design District Standards.
3. LDR6.7(B) Within required wetland buffers, there shall be no placement of impervious surfaces. A small amount of impervious surface is located within the 25' wetland buffer. Please redesign to adhere to City's Standards. The applicant may also request a Technical Waiver with the understanding that it may or may not be approved by the PRC.



POLICE

Standing Comment regarding traffic control devices for all development in the City of Wildwood:

1. All traffic control signals, or devices must comply with the Florida State Statutes regarding the installation.
2. All traffic control signals, or devices must conform to the manual and specifications published by the Florida Department of Transportation, to include but not limited to signs size and height.

CITY ATTORNEY

1. LDR 4.4(D)(6) – Please provide copies of all proposed or executed easements for cross-access, water and wastewater utilities, shared stormwater facilities, or other required easements, if any.
 - A. Response: Acknowledged.
 - I. **Comment remains until satisfied.**
2. With respect to proposed easement for sanitary sewer, please provide an easement application and all required documents to the City.
 - A. Response: An easement application has been provided with this resubmittal. It is noted that, this application was submitted as it
 - a. **Partially Satisfied**; Please provide the Title Opinion or Property Information Report. Please note there is a Title Work file included with the 2nd submittal, but this file is a boundary and topographical survey.
3. City Attorney reserves the right to make further comments upon resubmittal.
 - A. Response: Acknowledged.
 - I. Standing comment.

FIRE

1. Full Code compliance for “Food Pantry” must be shown on the plan, or else “Food Pantry” building must be removed from the current permit scope. (FFPC 1:1.7.12.3)
2. Provide building elevations for review in compliance with FFPC 1:1.7.12.3. ***STILL MISSING: Food Pantry Elevations. ***
3. Provide min. 15-ft. vertical clearance for fire apparatus in compliance with FFPC 1:18.2.3.5.1.2.2. ***STILL MISSING.***
4. Show locations of “Food Pantry” entrance doors in compliance with FFPC 1:18.2.3.2.1 ***STILL MISSING.***
5. Provide occupancy classification for the “Food Pantry” in accordance with FFPC 1:6. ***STILL MISSING.***
6. Distance between edge of the fire department access road and the most remote point on the “Food Pantry” bldg. exterior appears to exceed the maximum 150 ft. for nonsprinklered bldgs. (FFPC 1:18.2.3.2.2) ***STILL MISSING.***
7. 8-inch, dead end water main cannot serve more than one hydrant per Wildwood LDR 6.2(C)(5). Provide looped system, or increase water main size to min. 10 inches. ***STILL MISSING ***
8. Project minimum fire flow for Type V(000), 10,108 sf. structure is 2,750 gpm. (See FFPC 1:Table 18.4.5.2.1) Update Sheet 4 fire flow data.

9. Provide current hydrant flow test report in compliance with FFPC 1:18.3.1, NFPA 291 (form attached).
10. For acknowledgement: The minimum required fire flow for fire protection shall be provided per FFPC 1:18.4. Where hydrant flow testing indicates insufficient fire flow availability, options for fire flow reduction shall be considered including, but not limited to, fire sprinkler protection, building construction type, occupancy, development density, building size, and setbacks. Where there is no municipal water supply for firefighting, the requirements of NFPA 1142 shall apply. (FFPC 1:18.3.1, FFPC 1:18.4.3.1.2, FFPC 1:13.5.2).

Documentation of as-built fire flow conditions shall be provided prior to the project receiving a Certificate of Occupancy. If the as-built fire flow conditions are deficient, the deficiency shall be corrected by utilizing one or more of the above options approved by the AHJ. The Engineer of Record shall provide a final report in accordance with FAC 61G15-23.001(4)(c)

UTILITIES – WATER/WASTEWATER

1. Sheet 07, Utility Plan:
 - a. Sheet 7-A for continuation is missing. Please provide a copy for review as this is the tie into the city's existing main.

AGENCY	PERMIT #	SUBMITTED	STATUS
CITY OF WILDWOOD			
SWFWMD			
FDEP WATER			
FDEP SEWER			

DATE	REVISIONS	BY

MAJOR SITE PLAN FOR ST. VINCENT DE PAUL OUTREACH MINISTRIES WILDWOOD, FL

LEGAL DESCRIPTION

PARCEL A:
COMMENCE AT THE NE CORNER OF THE SW 1/4 OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE WEST ALONG THE NORTH LINE OF SAID SW 1/4, A DISTANCE OF 23.70 FEET; THENCE RUN SOUTH, A DISTANCE OF 295.00 FEET; RUN THENCE WEST A DISTANCE OF 146.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WEST A DISTANCE OF 486.80 FEET TO THE EASTERLY RIGHT OF WAY OF THE S.A.L. RAILROAD, RUN THENCE S. 22 DEGREES 21 MINUTES 35 SECONDS WEST, ALONG SAID EASTERLY RIGHT OF WAY LINE, A DISTANCE OF 124.35 FEET; RUN THENCE EAST, A DISTANCE OF 534.11 FEET; RUN THENCE NORTH, A DISTANCE OF 115.00 FEET TO THE POINT OF BEGINNING.

AND

PARCEL B:
LOT 3, BLOCK C, BOEN'S ADDITION TO WILDWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE(S) 133 OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.

AND

PARCEL C:
COMMENCE AND THE NE CORNER OF THE SW 1/4 OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 23 EAST, RUN THENCE WEST, 23.7 FEET; RUN THENCE SOUTH 295.00 FEET; RUN THENCE WEST 150.00 FEET TO THE POINT OF BEGINNING; RUN THENCE NORTH 45 FEET; RUN THENCE WEST, A DISTANCE OF 484.79 FEET TO THE EAST RIGHT OF WAY LINE OF THE S.A.L. RAILROAD; RUN THENCE SOUTH 22 DEGREES 21 MINUTES 35 SECONDS WEST, ALONG SAID EAST BOUNDARY LINE A DISTANCE OF 46.96 FEET; THENCE EAST 483.50 FEET TO THE POINT OF BEGINNING.

AND

PARCEL D:
BEGIN AT A POINT 23.7 FEET WEST AND 250.00 FEET SOUTH OF THE NE CORNER OF THE SW 1/4, SECTION 7, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE RUN SOUTH 45 FEET, THENCE WEST 150.00 FEET, THENCE NORTH 45 FEET, THENCE EAST 150.00 FEET TO THE POINT OF BEGINNING, SUMTER COUNTY, FLORIDA.

AND

PARCEL E:
BEGINNING AT A POINT WHICH IS 23.9 FEET WEST AND 125 FEET SOUTH OF THE NE CORNER OF THE NE 1/4 OF THE SW 1/4 OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 23 EAST, THENCE WEST 415.70 FEET TO THE RIGHT OF WAY OF THE S.A.L. RAILWAY, THENCE NORTH 22 DEGREES 30 MINUTES 00 SECONDS EAST, 133.50 FEET; THENCE EAST 565.70 FEET TO THE POINT OF BEGINNING, SUMTER COUNTY, FLORIDA.

LANDSCAPE ARCHITECT
MICHAEL PAPE AND ASSOCIATES, P.A.
2351 S.E. 17TH STREET
OCALA, FL 34471
SUZANNE STANCIL
(352) 351-3500

WATER AND WASTE WATER UTILITIES
CITY OF WILDWOOD
100 MAIN STREET
WILDWOOD, FL 34785
(352) 330-1300

ELECTRICAL POWER UTILITIES
DUKE ELECTRIC, INC.
4359 SE MARICAMP ROAD
OCALA, FLORIDA

TELEPHONE UTILITIES
TECO / PEOPLES GAS
CENTURYLINK P.O.
BOX 490048
LEESBURG, FL 34748
(352) 326-1230

**SOLID WASTE COLLECTION
WASTE MANAGEMENT**
8556 NE 44TH DRIVE
WILDWOOD, FL 34785
(352) 748-0236

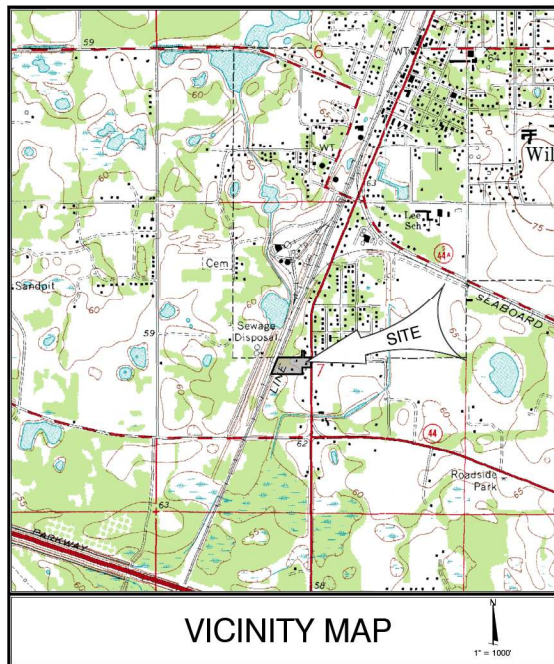
NATURAL GAS UTILITY
TECO / PEOPLES GAS
316 S.W. 33RD AVENUE
OCALA, FLORIDA 34474
(352) 401-3419

CABLE UTILITIES
SPECTRUM
730 SOUTH MAIN STREET
WILDWOOD, FL 34785
(352) 748-5633

OWNER/APPLICANT
DIOCESE OF ORLANDO
50 E. ROBINSON ST
ORLANDO, FL 32801
JOHN G. NOONAN, BISHOP
407-246-4944

ENGINEER
CLYMER FARNER BARLEY, INC.
7413 ALFORD AVE.
MIDDLETON, FL 34762
STEPHEN M. CAMPBELL, PE
FL LIC. NO. 83530
(352) 748-3128

SURVEYOR
CLYMER FARNER BARLEY SURVEYING, LLC
SPECTRUM
730 SOUTH MAIN STREET
WILDWOOD, FL 34785
KAYE JAMESON, PSM
FL REG. NO. 5912
(352) 748-3128



SECTION 7; TOWNSHIP 19 SOUTH; RANGE 23 EAST
WILDWOOD, SUMTER COUNTY, FLORIDA



SOILS MAP
SCALE: 1" = 200'



Digitally signed by Stephen M. Campbell
Date: 2023.05.01 17:17:00-0400'

Sheet List Table

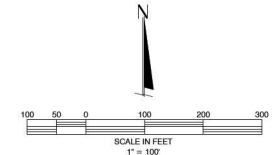
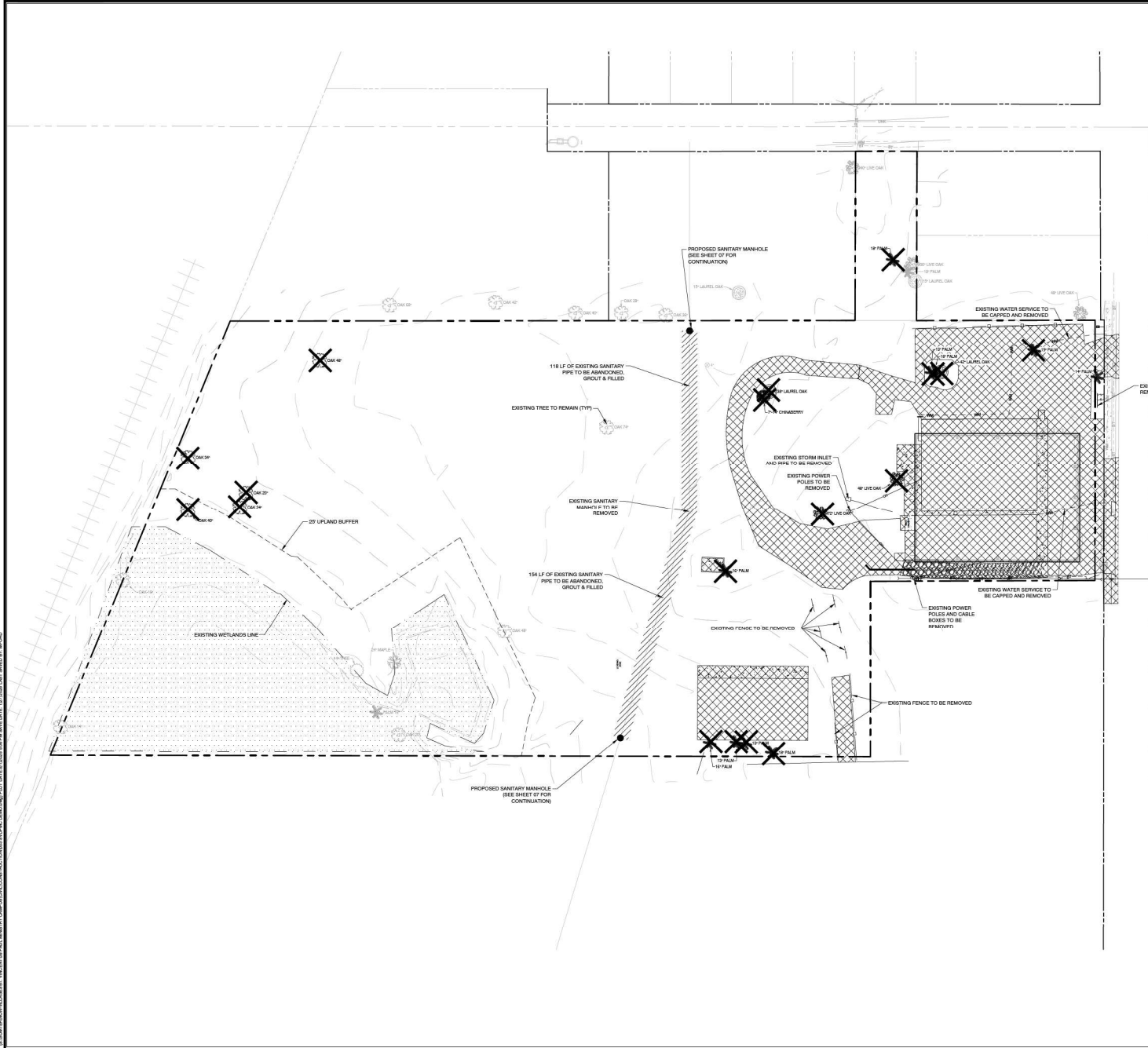
Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES
03	DEMOLITION PLAN
04	SITE PLAN
05	GRADING PLAN
06	DRAINAGE PLAN
07	UTILITY PLAN
09	CITY OF WILDWOOD UTILITY DETAILS
10	CITY OF WILDWOOD UTILITY DETAILS
11	CITY OF WILDWOOD UTILITY DETAILS
12	GENERAL DETAILS
AT-1	AUTOTURN EXHIBIT
EC-1	EROSION CONTROL PLAN

NOTES:

- THE STORMWATER MANAGEMENT SYSTEM SHALL BE OWNED AND MAINTAINED BY THE OWNER.
- ALL UTILITY CONSTRUCTION SHALL BE TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND CITY OF WILDWOOD REQUIREMENTS.
- BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH AS ESTABLISHED BY THE NATIONAL OCEAN SERVICE (NOS) THROUGH ITS PROGRAM OFFICE NATIONAL GEODETIC SURVEY (NGS). AS A REFERENCE FOR THIS SURVEY, THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 23 EAST HAS A BEARING OF NORTH 89°57'32" WEST.
- COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) NUMBER 121900310D, SUMTER COUNTY, FLORIDA, EFFECTIVE DATE OF SEPTEMBER 27, 2019, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE "X" AND WITHIN ZONE "A". FLOOD ZONES HAVE BEEN SCALED AND DEPICTED HEREON.
- ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREON IS NATIONAL GEODETIC SURVEY BENCHMARK # Q753, SAID POINT HAVING AN ELEVATION OF 56.42 FEET.



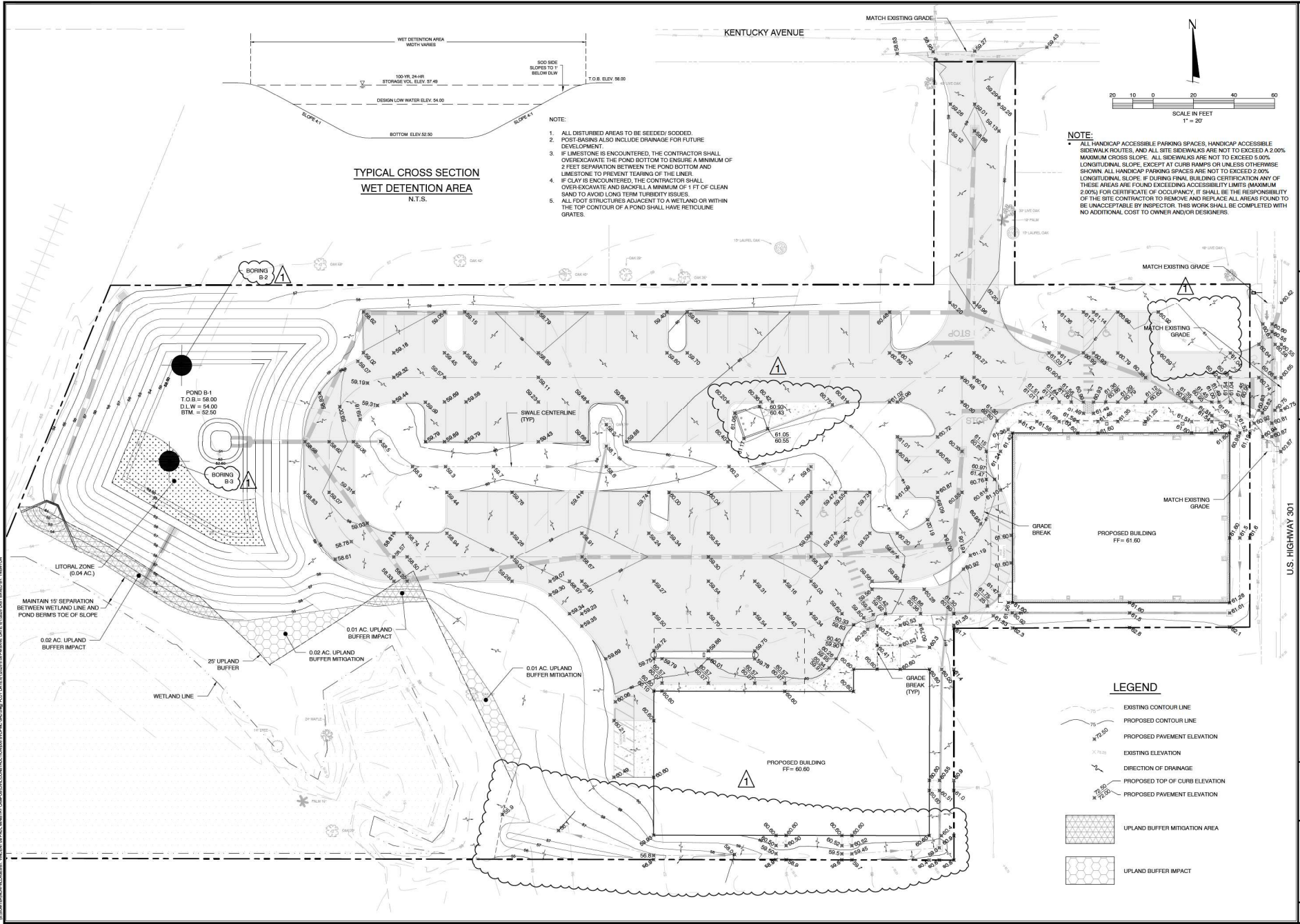
ST. VINCENT DE PAUL

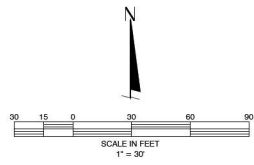
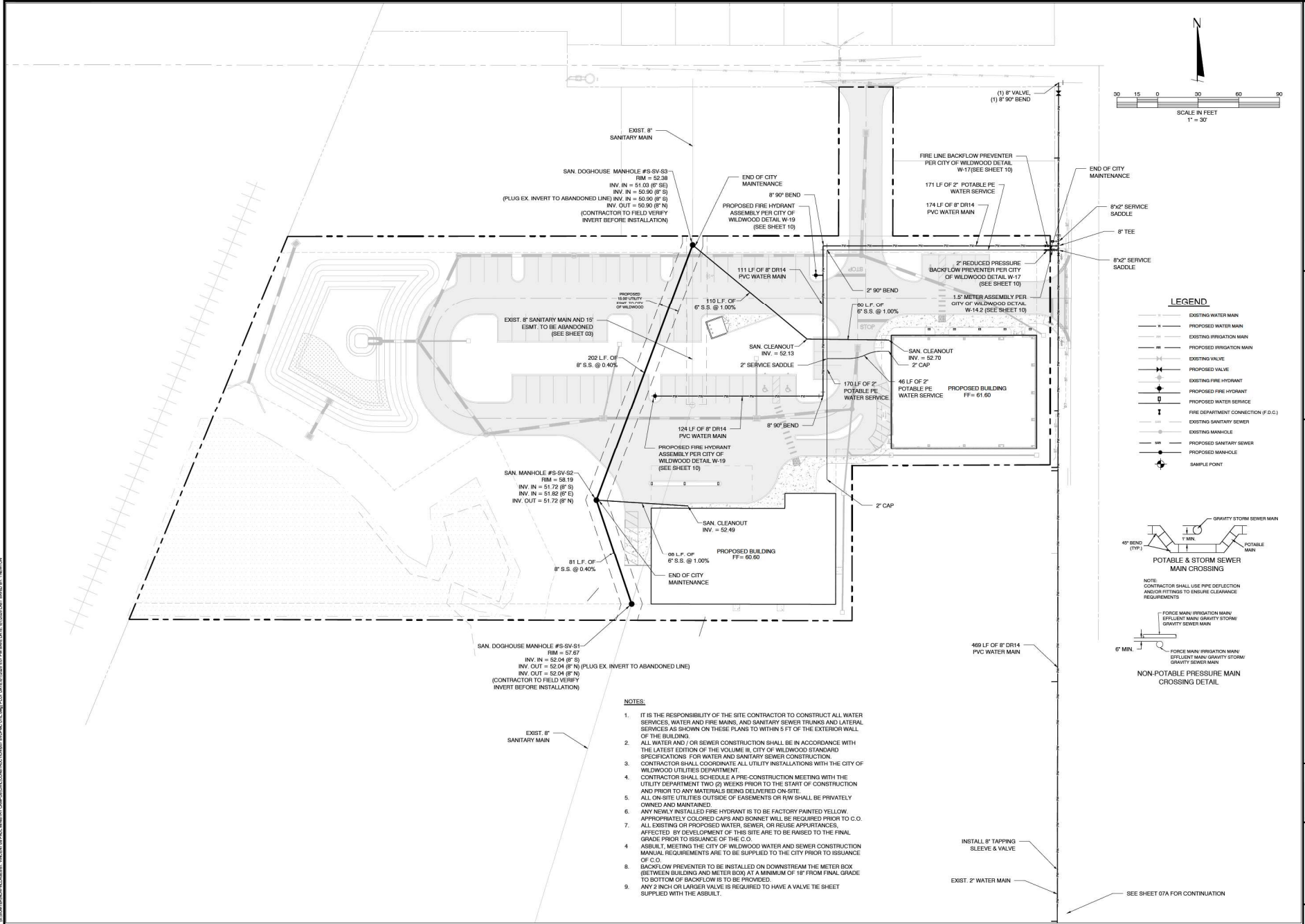


- DEMOLITION NOTES:**
1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY.
 3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
 4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
 5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
 6. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 7. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 8. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
 9. EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION. FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADES.
 10. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
 11. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF ABUTTING ROADS SHALL BE BACK FILLED IN ACCORDANCE WITH FOOT STANDARDS OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL, AT THE CONTRACTOR'S EXPENSE.
 12. THE CONTRACTOR SHALL ENSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH FOOT STANDARDS FOR WORK BEING PERFORMED. ACCESS TO ADJACENT PROPERTIES TO BE MAINTAINED DURING LUNGS THROUGHOUT.
 13. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CONSTRUCTION OF IMPROVEMENTS WITHIN THE ROAD RIGHT-OF-WAY TO MINIMIZE TRAFFIC DISRUPTION.
 14. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. ALL EXISTING UTILITY CONNECTIONS TO BE DISCONNECTED AND REMOVED TO SERVICE POINT OR METER UNLESS NOTED TO REMAIN. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS/HERS EXPENSE.
 15. EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
 16. CLEAR AND GRUB ALL DISTURBED AREAS PRIOR TO CONSTRUCTION.

- = EXISTING ASPHALT SIDEWALK AND BASE TO BE REMOVED.
- = EXISTING CONCRETE AND BUILDINGS TO BE REMOVED
- = EXISTING TREE TO BE REMOVED

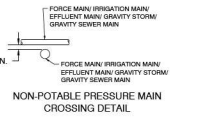
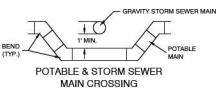
BY									
REVISIONS									
DATE									
DEMOLITION PLAN									
ST. VINCENT DE PAUL OUTREACH MINISTRIES WILDWOOD, FL									
DRAWN BY	KAP								
CHECKED BY	JTN								
PROJECT #	SP2024.02415								
FILE NAME	S3-3024-0241								
SHEET NUMBER	03								





LEGEND

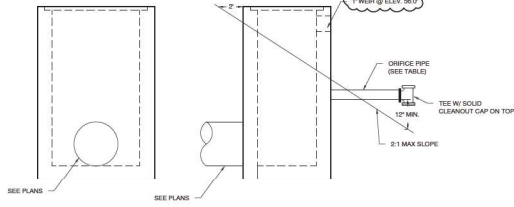
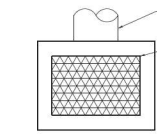
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING IRRIGATION MAIN
- PROPOSED IRRIGATION MAIN
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- EXISTING SANITARY SEWER
- EXISTING MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED MANHOLE
- SAMPLE POINT



NOTES:

1. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONSTRUCT ALL WATER SERVICES, WATER AND FIRE MAINS, AND SANITARY SEWER TRUNKS AND LATERAL SERVICES AS SHOWN ON THESE PLANS TO WITHIN 5 FT OF THE EXTERIOR WALL OF THE BUILDING.
2. ALL WATER AND / OR SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE VOLUME II, CITY OF WILWOOD STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS WITH THE CITY OF WILWOOD UTILITIES DEPARTMENT.
4. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.
5. ALL ON-SITE UTILITIES OUTSIDE OF EASEMENTS OR RW SHALL BE PRIVATELY OWNED AND MAINTAINED.
6. ANY NEWLY INSTALLED FIRE HYDRANT IS TO BE FACTORY PAINTED YELLOW. APPROPRIATELY COLORED CAPS AND BONNET WILL BE REQUIRED PRIOR TO C.O.
7. ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPLICANCES, AFFECTED BY DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O.
8. ANY NEWLY INSTALLED FIRE HYDRANT IS TO BE FACTORY PAINTED YELLOW. APPROPRIATELY COLORED CAPS AND BONNET WILL BE REQUIRED PRIOR TO C.O.
9. BACKFLOW PREVENTER TO BE INSTALLED ON DOWNSTREAM THE METER BOX (BETWEEN BUILDING AND METER BOX) AT A MINIMUM OF 18" FROM FINAL GRADE TO BOTTOM OF BACKFLOW IS TO BE PROVIDED.
10. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE ASSEMBLY.

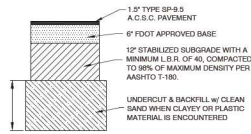
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">DESCRIPTION</th> <th style="width: 50%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE				<p style="text-align: center;">UTILITY PLAN</p> <p style="text-align: center;">ST. VINCENT DE PAUL OUTREACH MINISTRIES WILWOOD, FL</p> <p style="text-align: center;"> CLYMER FARMER BARNER BARTLEY <small>CLYMER FARMER BARNER BARTLEY, INC. 4400 NE 58TH AVENUE, SUITE 100 WILWOOD, FL 32095 WWW.CFB-FL.COM OR 407.970.0000</small> </p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE:</td> <td>5/1/2025</td> </tr> <tr> <td>DRAWN BY:</td> <td>KAF</td> </tr> <tr> <td>CHECKED BY:</td> <td>JTN</td> </tr> <tr> <td>PROJECT #:</td> <td>SP2024.00415</td> </tr> <tr> <td>FILE NAME:</td> <td>802SP24C15</td> </tr> </table> <p style="text-align: right;"> <small>STATE OF FLORIDA PROFESSIONAL ENGINEER NO. 12345 EXPIRES 12/31/2026</small> </p> <p style="text-align: right;">SHEET NUMBER 07</p>	DATE:	5/1/2025	DRAWN BY:	KAF	CHECKED BY:	JTN	PROJECT #:	SP2024.00415	FILE NAME:	802SP24C15
NO.	DESCRIPTION	DATE															
DATE:	5/1/2025																
DRAWN BY:	KAF																
CHECKED BY:	JTN																
PROJECT #:	SP2024.00415																
FILE NAME:	802SP24C15																



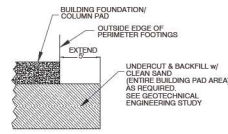
OVERFLOW STRUCTURE DETAIL
N18

OVERFLOW STRUCTURE TABLE

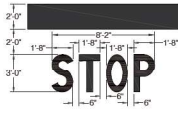
STRUCTURE #	STRUCTURE TYPE	GRATE ELEV.	ORIFICE PIPE	ORIFICE SIZE	ORIFICE ELEVATION (A)	OUTFALL PIPE SIZE
SV-D17	C-INLET	57.00	6"	7/8"	54.00	24"



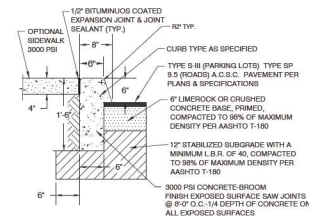
PARKING LOT PAVEMENT SECTION
NOT TO SCALE



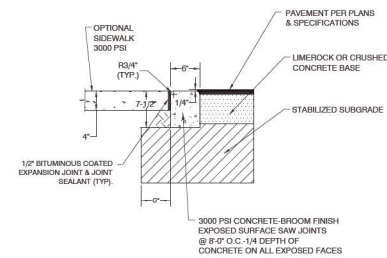
BUILDING PAD SECTION



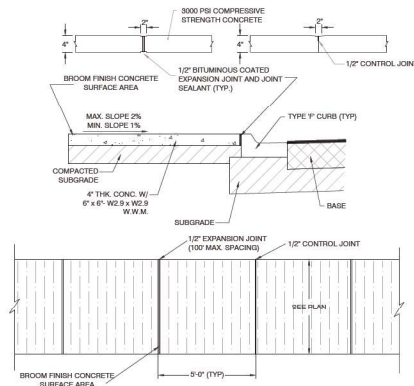
PAVEMENT MARKING DETAILS
NOT TO SCALE



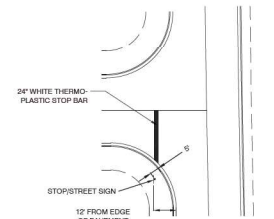
TRENCH CURB DETAIL
N15



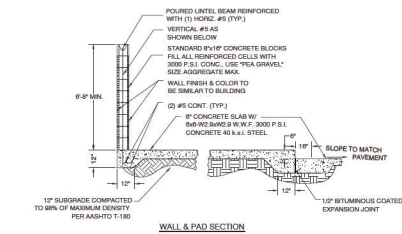
EDGE CURB
NOT TO SCALE



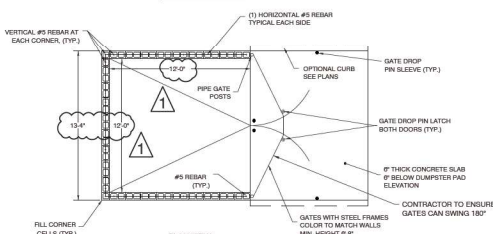
TYPICAL CONCRETE SIDEWALK DETAIL
NOT TO SCALE



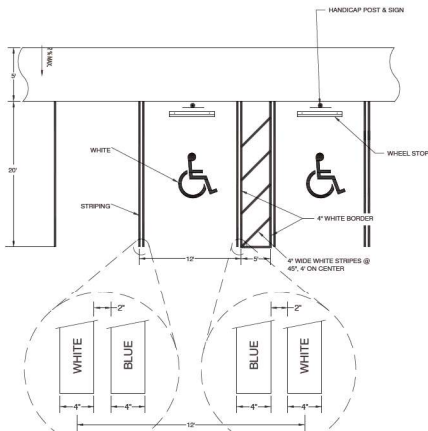
STOP SIGN & STOP BAR LOCATION DETAIL
NOT TO SCALE



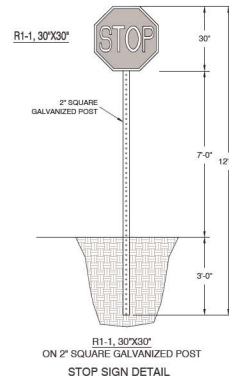
WALL & PAD SECTION



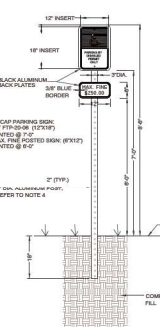
DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



HANDICAP PARKING STRIPING DETAIL
NOT TO SCALE



STOP SIGN DETAIL
NO SCALE



HANDICAP SIGN DETAIL

HANDICAP POST AND SIGN DETAIL
NOT TO SCALE

DATE	BY	REVISIONS
02-07-25	J.M.F.	1. PER CITY OF WILMWOOD REQUIREMENTS

CLYMER FARMER BARKLEY
CFB
 CLYMER FARMER BARKLEY, Inc.
 4400 N.W. 58TH AVE., WILMWOOD, FL 34986
 (888) 243-2434

ST. VINCENT DE PAUL
 OUTREACH MINISTRIES
 WILMWOOD, FL

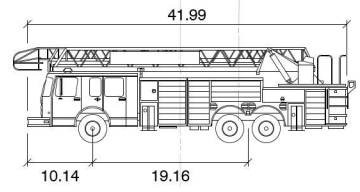
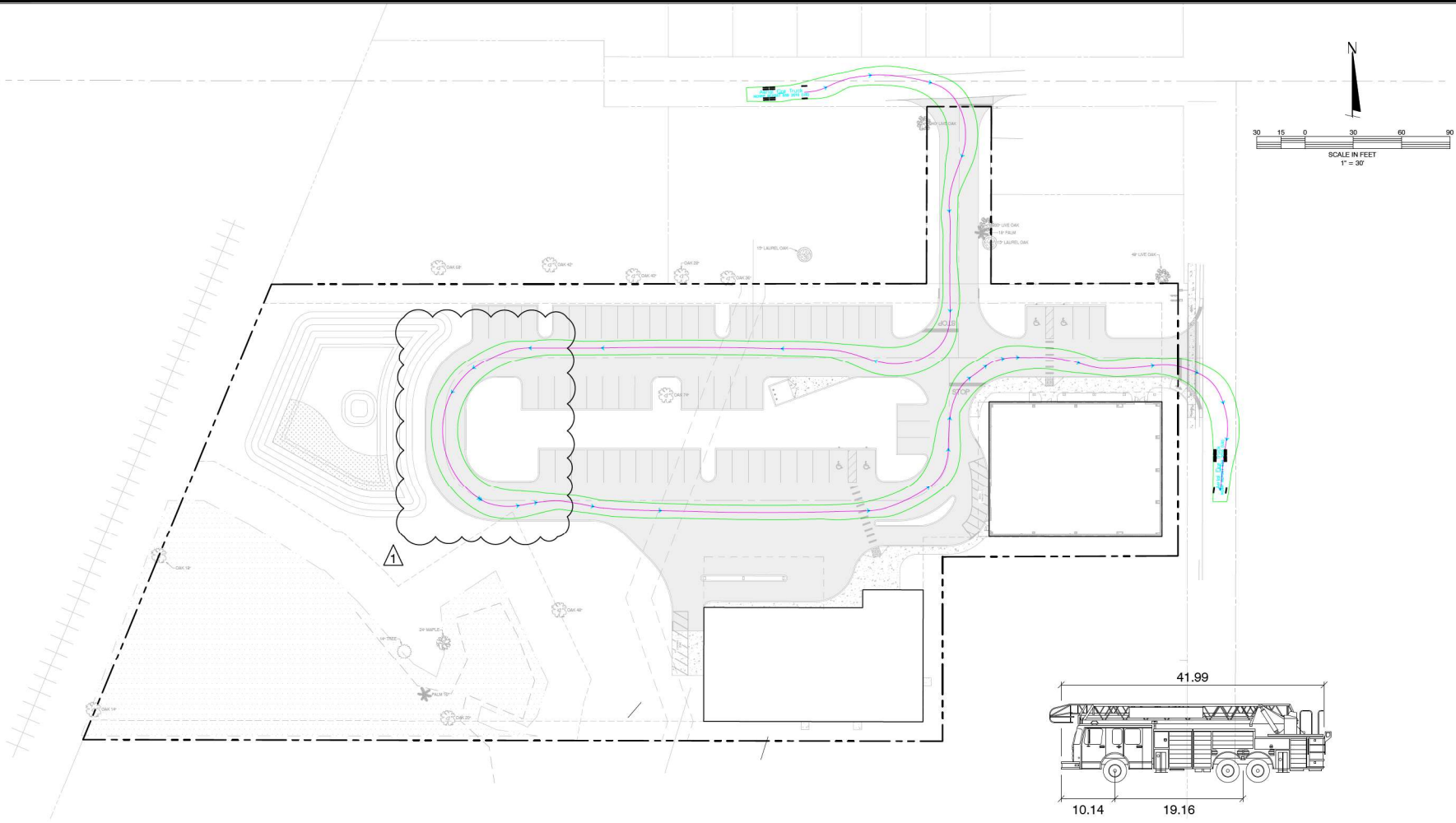
GENERAL DETAILS

DATE	01/20/25
DRAWN BY	BAJF
CHECKED BY	JTN
PROJECT #	250204.00415
FILE NAME	250204.DWG



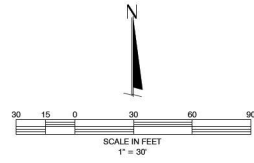
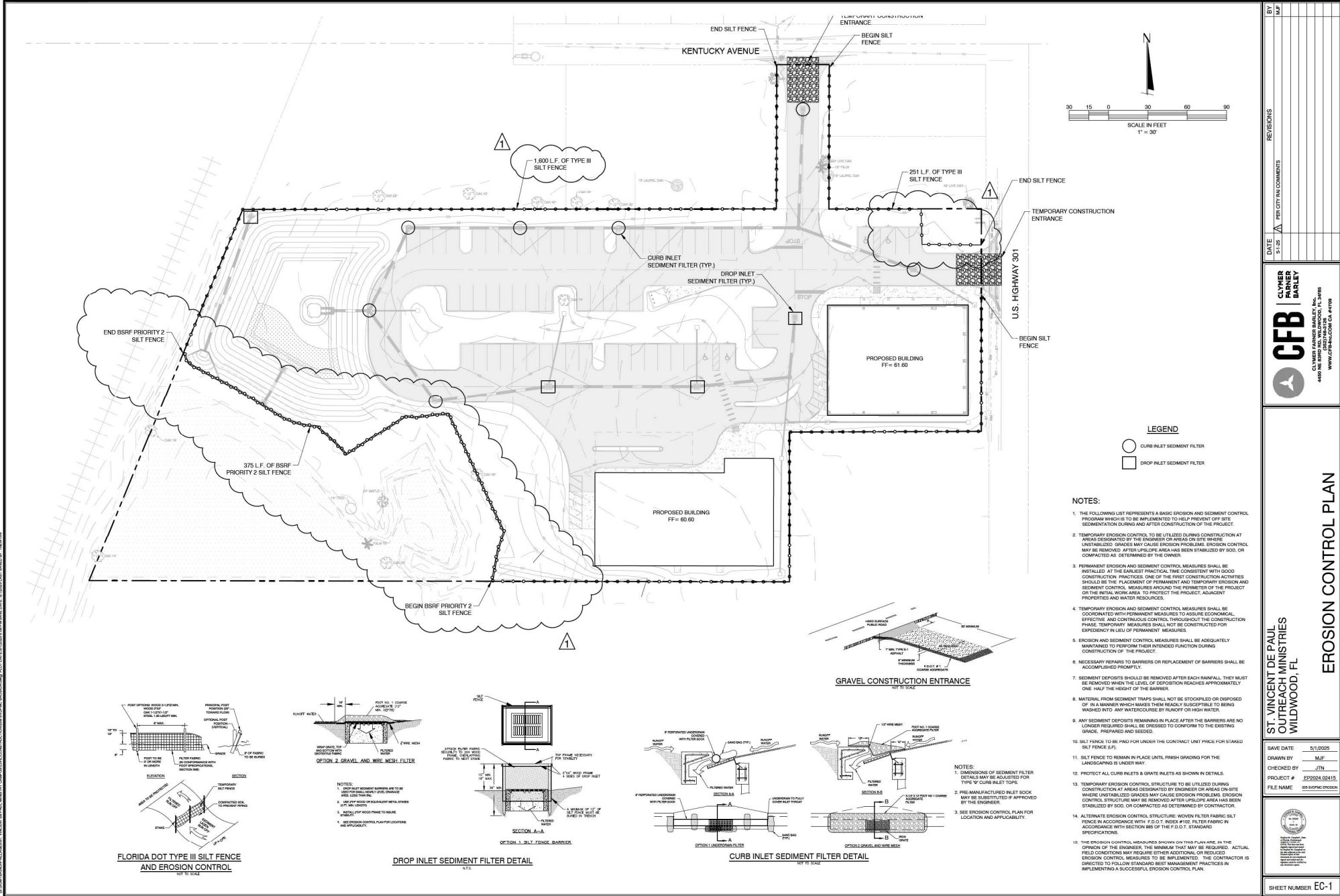
SHEET NUMBER 12

02/14/2024 09:14:58 AM: PROJECT: ST VINCENT DE PAUL OUTREACH MINISTRIES, AUTOTURNING & LOCK TO LOCK TIME: 02/14/2024 09:14:58 AM: FILE NAME: ST VINCENT DE PAUL OUTREACH MINISTRIES, AUTOTURNING & LOCK TO LOCK TIME: 02/14/2024 09:14:58 AM:



Aerial Fire
 Width : 8.33 feet
 Track : 8.33 feet
 Lock to Lock Time : 6.0
 Steering Angle : 37.0

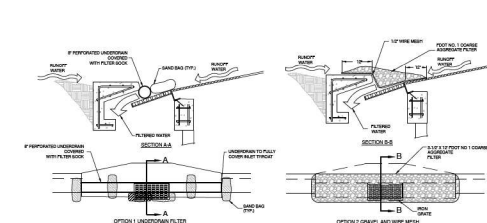
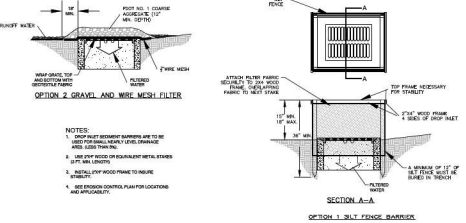
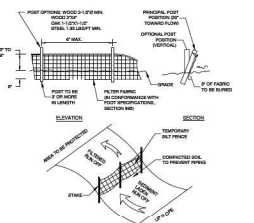
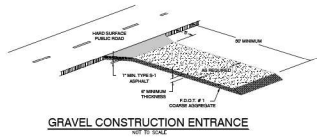
DATE	3/12/25	BY	JMF	REVISIONS
DATE		BY		PER CITY COMMENTS
CLYMER FARMER BARKLEY <small>CLYMER FARMER BARKLEY, Inc. 4400 NE EMBURY AVENUE, SUITE 100, FL 32788 WWW.CFB-INC.COM CA #4799</small>				
ST. VINCENT DE PAUL OUTREACH MINISTRIES WILDWOOD, FL				
AUTOTURN EXHIBIT				
SAVE DATE		3/12/2025		
DRAWN BY		JMF		
CHECKED BY		JTN		
PROJECT #		SP2024.02415		
FILE NAME		02/14/2024 09:14:58 AM		
SHEET NUMBER AT-1				



LEGEND

	CURB INLET SEDIMENT FILTER
	DROP INLET SEDIMENT FILTER

- NOTES:**
- THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
 - TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPLAND AREA HAS BEEN ESTABLISHED BY SOG, OR COMPACTED AS DETERMINED BY THE OWNER.
 - PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE RETAINMENT AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
 - TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICALLY EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 - NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM NEARLY DISCERNIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RAINFALL OR HIGH WATER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DISPOSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
 - SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (E).
 - SILT FENCE TO REMAIN IN PLACE UNTIL FINAL GRADING FOR THE LANDSCAPING IS UNDER WAY.
 - PROTECT ALL CURB INLETS AND GATE INLETS AS SHOWN IN DETAILS.
 - TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPLAND AREA HAS BEEN ESTABLISHED BY SOG, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 - ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IS ACCORDANCE WITH F.D.O.T. NODE #18 FILTER FABRIC IN ACCORDANCE WITH SECTION 805 OF THE F.D.O.T. STANDARD SPECIFICATIONS.
 - THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE OTHER EROSION CONTROL MEASURES. EROSION CONTROL MEASURES TO BE IMPLEMENTED THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.



DATE	BY	REVISIONS
8-1-20	J.M.F.	
PER CITY COMMENTS		
CFB CLYMER FARMER BARKLEY, Inc. 4400 NE 63RD AVE, SUITE 100, FL 33488 WWW.CFB-INC.COM OR 407-979		
EROSION CONTROL PLAN		
ST. VINCENT DE PAUL OUTREACH MINISTRIES WILDWOOD, FL		
SAVE DATE	5/1/2020	DATE
DRAWN BY	J.M.F.	SCALE
CHECKED BY	J.M.F.	PROJECT #
FILE NAME	08-30204-00010	
SHEET NUMBER EC-1		

POST-VISIT DE PAUL MINISTRY CAMPUS WILDMOOD, FLORIDA

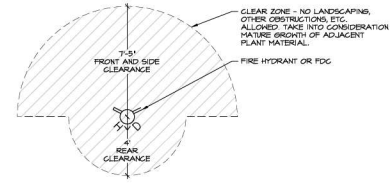
LANDSCAPE BUFFER ALONG WEST BOUNDARY (1/4 LF)

REQUIRED:

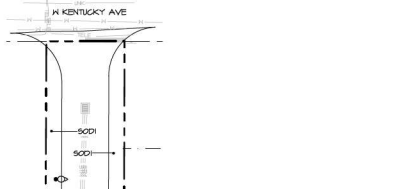
- 20' Hike
- 4 Shade Trees, 6 Understory, Continuous Hedge
- (3 Shade, 5 Understory per 100 LF)

PROVIDED:

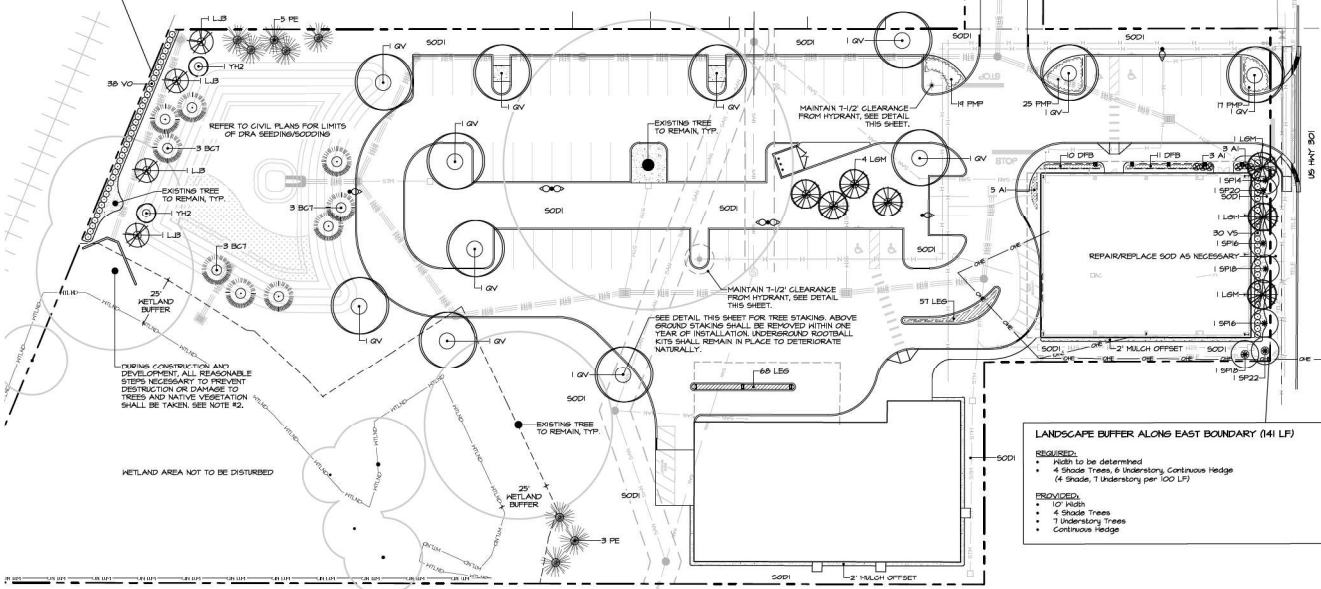
- 20' Hike
- 6 Shade Trees (1 Existing + 5 Proposed)
- 6 Understory Trees
- Continuous Hedge



HYDRANT CLEARANCE DETAIL
N.T.S.



INTERIOR LANDSCAPE DIAGRAM (N.T.S.)



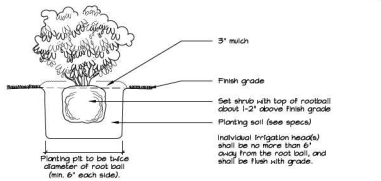
LANDSCAPE BUFFER ALONG EAST BOUNDARY (1/4 LF)

REQUIRED:

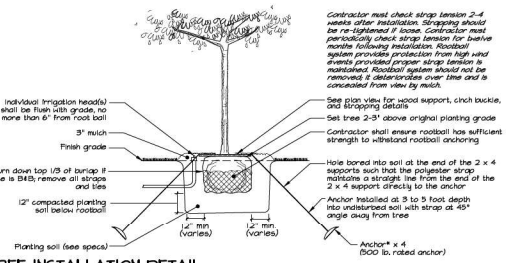
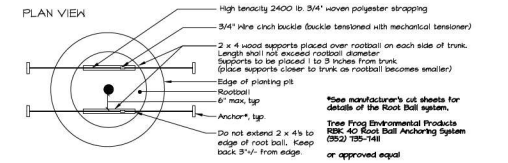
- Hike to be determined
- 4 Shade Trees, 6 Understory, Continuous Hedge
- (4 Shade, 1 Understory per 100 LF)

PROVIDED:

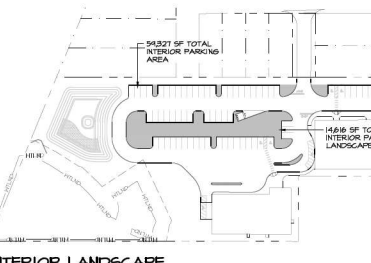
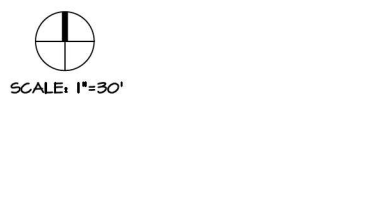
- 12' Hike
- 4 Shade Trees
- 1 Understory Tree
- Continuous Hedge



SHRUB INSTALLATION DETAIL



TREE INSTALLATION DETAIL
FOR 3-4" CAL., 45-100 GAL. TREES OR 8-16" DIAMETER ROOTBALL



INTERIOR LANDSCAPE DIAGRAM (N.T.S.)

LANDSCAPE CALCULATIONS:

Site Data
Site Area: 3.11 Ac. (164,242 sf)
Design District: Downtown

Tree Removal and Mitigation
Tree Survey provided by Clymer Farmer Barley
36 Trees Required for Mitigation - See Tree Removal Plan for detailed calculations
12 Live Oaks + 24 Other Shade Trees Provided

Landscaping Buffers
WEST BOUNDARY - See Plan
EAST BOUNDARY - See Plan
NO OTHER BUFFERS REQUIRED

Paving Lot Requirements
67 Paved Parking Spaces, 16,665 s.f. paved area

Required: 1 canopy tree and 3 shrubs per 25 spaces
(3 Canopy Trees, 9 shrubs total required for 66 spaces)

Provided: 16 canopy trees (1 Existing and 15 Proposed) and 61 shrubs

Required: Landscape area equal to 10% of paved area (5,928 sf for 59,237 sf paved area)
Provided 14,616 s.f. (23%) SEE DIAGRAM THIS SHEET

NOTES:

- THIS PLAN IS INTENDED TO REFLECT THE APPLICABLE REQUIREMENTS OF THE CITY OF WILDMOOD CODE. THE OWNER RESERVES THE RIGHT TO ADD UNREQUIRED LANDSCAPING, UNPAVED WALKWAY AND MAKE OTHER IMPROVEMENTS TO THE LANDSCAPING THAT IS CONSISTENT WITH, OR MAY EXCEED CODE.
- DURING CONSTRUCTION AND DEVELOPMENT, ALL REASONABLE STEPS NECESSARY TO PREVENT DESTRUCTION OR DAMAGE TO TREES AND NATIVE VEGETATION SHALL BE TAKEN AS DESCRIBED IN ANSI A300 PART 2, CHAPTER 2. A "SAFETY-CRITICAL" TREE SHALL DETERMINE THE LOCATION MATING OF THE DAMAGE TO TREES AND NATIVE VEGETATION DESTROYED OR RECEIVING MAJOR DAMAGE PRIOR TO OCCUPANCY OR USE AS REFERENCED IN THE WILDMOOD TREE MARKET STUDY OF JANUARY 2021.
- ALL SITE AREAS WHICH ARE NOT BUILT UPON OR PAVED SHALL BE LANDSCAPED, SOODED, SEEDED, AND/OR MULCHED UNLESS LEFT IN A NATURAL UNDISTURBED STATE.
- ALL PLANT MATERIAL USED SHALL BE EQUAL TO OR EXCEED THE GRADE OF FLORIDA #1 AS PER "GRADES AND STANDARDS FOR NURSERY PLANTS," STATE OF FLORIDA, LATEST EDITION.
- ALL LANDSCAPING SHALL BE INSTALLED IN A PROFESSIONAL MANNER FOLLOWING ACCEPTABLE NURSERY PRACTICES AS SET BY THE FLORIDA NURSERY, GROWERS AND LANDSCAPE ASSOCIATION, FNLSA.
- THE OWNER, INCLUDING SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING ON-SITE AND THE GRASSED RIGHTS-OF-WAY.
- ALL TREES AND SHRUBS SHALL BE WATERED BY A 100% AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR DEVICE PURSUANT TO F.S. CHAPTER 319. THE WATER SOURCE SHALL BE A PROPOSED IRRIGATION SYSTEM WITH BACKFLOW PREVENTION DEVICE. SEE IRRIGATION PLAN FOR LOCATION. BAHIA SOD MAY BE UNIRRIGATED.
- ALL LANDSCAPING CONFORMS GENERALLY TO WATER-EFFICIENT DESIGN PRINCIPLES, INCLUDING THE USE OF NATIVE AND/OR DROUGHT-TOLERANT SPECIES.

PLANT SCHEDULE

Key	Qty	Plant Name	Size and Spacing	Maintenance
AI	11	African iris, white Ornithoglossum - (AI)	#5, 18" x 3-6" ppp min	Allow natural growth; deadfall removal
BC1	4	Bald Cypress Taxodium distichum - (BC1)	Cont'd B&B, 12" x 12" x 5' spr; 2" DBH min (3" cal)	Allow natural growth; prune only dead wood
DFB	21	Dwarf Firebush Hamelia patens 'Compacta' - (DFB)	#5, 12-18" H x 12" spr; 3" cal	Prune back by 1/3 in February
LEB	125	Emerald bicolors Linum Linum purshianum - (LEB)	4" tall, 3-1" ppp min; 18" cal	18" H x full mass
LEH	1	Little Gem Magnolia Magnolia grandiflora 'Little Gem' - (LEH)	#65, 10" H x 3" spr; 2" DBH min (3" cal)	Allow natural growth; prune only for form or dead wood
LIB	4	Ligustrum Ligustrum japonicum - (LIB)	#65, 24" H x 3" spr; full to ground, 2" DBH (Aggregate)	Allow natural growth
PE2	6	Peace Lily Phlox elliotii - (PE2)	#45, 12-12" H x 3" spr; 2" DBH min (3" cal)	Allow natural growth; prune dead wood
PHF	72	Princess Dwarf Japanese Yew Podocarpus nagi 'Princess' - (PHF)	#5, 10-12" H x 12-18" spr; 3" cal	30" H x full mass; maintain informally; do not shear
QV4	12	Live Oak Quercus virginiana - (QV4)	B&B, 24-42" H x 6" spr; 2" DBH min (3" cal)	Allow natural growth; prune only for form or dead wood
SP14	1	Sabal Palm Sabal palmetto - (SP14)	BR, hurricane cut; 14" CT H	Allow natural growth; prune only dead fronds to keep full rounded head
SP16	2	Sabal Palm Sabal palmetto - (SP16)	BR, hurricane cut; 16" CT H	Allow natural growth; prune only dead fronds to keep full rounded head
SP18	2	Sabal Palm Sabal palmetto - (SP18)	BR, hurricane cut; 18" CT H	Allow natural growth; prune only dead fronds to keep full rounded head
SP20	1	Sabal Palm Sabal palmetto - (SP20)	BR, hurricane cut; 20" CT H	Allow natural growth; prune only dead fronds to keep full rounded head
SP22	1	Sabal Palm Sabal palmetto - (SP22)	BR, hurricane cut; 22" CT H	Allow natural growth; prune only dead fronds to keep full rounded head
VO2	38	Sweet Viburnum Viburnum odoratissimum - (VO2)	#1, 9" H min x 2" spr; 3" cal	6" H x 3" full hedge
VS	30	Sandwich Viburnum Viburnum suspensum - (VS)	#1, 9" H min x 2" spr; 3" cal	6" H x 3" full hedge
YH2	2	Yucca with large spiky Yucca vortendorpii - (YH2)	#45, 30" H min x 3-4" spr; multi-trunk, 2" DBH min (Aggregate)	Allow natural growth; do not shear; prune only for form or dead wood
MULGH		Argentine Bahia Paspalum notatum 'Argentine' - (SODI)	3" depth	Refresh annually, or as needed

IF SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION TO UNIRRIGATED BAHIA INSTALLED AS PART OF THIS CONTRACT, UNTIL ESTABLISHMENT OR TURNOVER, WHICHEVER OCCURS EARLIER.

VARIOUS REQUIRED SHRUBS SELECTED FOR THIS PROJECT ARE NOT AVAILABLE 30" TALL IN THE REQUIRED 3 GALLON CONTAINERS. MATERIAL WAS SELECTED FOR SUPERIOR SUITABILITY BASED ON MATURE SIZE, DROUGHT TOLERANCE, LOW MAINTENANCE, PEST AND DISEASE RESISTANCE.

NOTES:

Any damage to any existing landscaping or irrigation on adjacent sites caused by any aspect of the construction of this project shall be restored immediately to acceptable conditions, as determined by MPA.

REVISIONS
DATE
Michael Pope & Associates, PA
MPA
 LAND PLANNING - SITE DESIGN - LANDSCAPE ARCHITECTURE
 2351 SE 17th Street, Ocala, FL - 32235-3500 - www.MPA-FL.com
ST. VINCENT DE PAUL MINISTRY CAMPUS WILDMOOD, FLORIDA
LANDSCAPE PLAN
 DATE: 03-31-25
 DWN BY: JBT
 GND BY: JBT
 SHEET ___ OF ___
 1-1



Project Review Committee Technical Standards Waiver Request

Project Name St. Vincent De Paul Outreach Ministries

Project # A25-0068

1. Briefly describe your waiver request.

This waiver request is for the portion of the wetland WL-1 upland buffer that is shown to overlap the proposed drive aisle shown on the plans.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

LDR 6.7(B)

3. Please provide the justification for your waiver request.

The portion of upland buffer that overlaps within impervious area meets the Southwest Florida Water Management District's rules for upland buffer mitigation. These rules dictate that a minimum 15-foot buffer be maintained and any reduction to the 15-foot buffer be given back on the same wetland body. It is also noted the current wetland buffer area that overlaps with the drive aisle is providing ± 57 feet of buffer from the jurisdictional wetland line. Typically we would add a radius to maintain the 25-foot buffer around points. This particular buffer was drawn with a hard angle vs. a radius. Had it been depicted with a radius the asphalt would be outside of the required 25-foot buffer.

Name (Print) STEPHEN M. CAMPBELL

Date JULY 02, 2025

Signature _____

