



PLANNING & ZONING BOARD - CITY OF WILDWOOD
Special Magistrate – Lindsay C.T. Holt

Agenda
Regular Meeting
August 5, 2025 2:15 PM
City Hall Commission Chamber
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

1. **Planning & Zoning Regular Meeting July 01, 2025, at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

1. **A25-1909 - Rezoning - SunKool Office**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

The applicant is seeking a favorable recommendation from the City of Wildwood Planning

and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from CL and RR1C (County) to C-3 (City) for the parcel listed above on 5.60 acres MOL.

Staff recommends approval and a favorable recommendation of Ordinance O2025-34 to be forwarded to the City Commission for further action.

**2. A25-0583 UF Health Oxford Freestanding Emergency Department
Portion of Parcel D17-134**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a one-story 14,211 SF medical building providing for 51 parking spaces including five (5) Florida ADA accessible parking spaces and two (2) EV charging stations, a generator enclosure, and dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 1.40 acres MOL, as per the attached plans. **Staff recommends approval upon resolution of one outstanding comment.**

V. ADJOURNMENT

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

August 5, 2025 2:15 PM

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Planning & Zoning Regular Meeting July 01, 2025, at 2:15 PM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:



PLANNING & ZONING BOARD - CITY OF WILDWOOD
Special Magistrate – Lindsay C.T. Holt

Agenda
Regular Meeting
July 1, 2025 2:15 PM
City Hall Commission Chamber
100 N Main Street

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F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

1. **Planning & Zoning Regular Meeting June 03, 2025, at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

1. **SP 2410-003 Oxford Crossings Racetrac
Parcels D20-121 & D20-120**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a 6,008-square-foot Convenience Store with a Gas Canopy featuring seven gas pump stations, four semitrailer fueling stations, a dumpster and associated improvements consisting of parking lot areas, landscaping buffers, commercial road, and connection to off-site stormwater retention, in 3.34 acres MOL, as per the

attached plans. **The Project Review Committee recommends approval contingent upon addressing the outstanding comments.**

2. **A25-1989- Bonnie Boyd Rezoning**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (County) to MHP (City) for the parcel listed above on 0.146 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-1989. **Staff recommends a favorable recommendation of Ordinance O2025-28 to be forwarded to the City Commission for further action.**

3. **A25-1947 Monarch Ranch North Phase 1 - RZ**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from A10C (Sumter County) to M-1 (City) for the parcel listed above on 49.41 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-1948 (O2025-29). **Staff recommends approval pending an agreement with the City regarding utility credits.**

4. **RZ 2305-002 Summers Rezoning**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

G15C017

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from RR1 (Sumter County) to C-3 (City of Wildwood) for the parcel listed above on 0.83 acres MOL. This request

is accompanied by a concurrent Small Scale Comprehensive Plan amendment CP 2305-002 (O2025-31). **Staff recommends approval and a favorable recommendation of Ordinance Number O2025-32 (attached) subject to approval of O2025-31, which establishes a Future Land Use appropriate to the proposed zoning.**

5. **SP 2409-004 Summerfield Cottages**

Parcel C13-024

The Project Review Committee recommends approval subject to resolution of outstanding comments and execution of the developer's agreement.

6. **SP 2407-003 SoLiv at Wildwood**

Parcels G05-134, G05-148, G05-151, G05-157, and G05M001

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a multifamily complex consisting of 371 units and featuring eight (8) three-story apartment buildings and one 4-story apartment building, providing for several amenities including a 20,634-square-foot clubhouse with pool and yoga lawn area, a 4,155-square-foot dog park, two pickleball courts and a 1,601-square-foot maintenance office/mail room building; and providing for 624 parking spaces with a breakdown of 614 standard parking spaces and 35 garage parking spaces. The project will provide twenty-five (25) Florida ADA accessible parking spaces, a flexible loading zone area, and associated infrastructure such as landscaping buffers, storm water retention pond, site lighting improvements, and commercial driveway on 24.732 acres MOL, as per the attached plans.

The Project Review Committee recommends approval.

V. ADJOURNMENT

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

July 1, 2025 2:15 PM

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: A25-1909 - Rezoning - SunKool Office

REQUESTED ACTION: Staff recommends approval and a favorable recommendation of Ordinance O2025-34 to be forwarded to the City Commission for further action.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

| | |
|--------------------------|---|
| Case Number | A25-1909 - Rezoning - SunKool Office |
| Ordinance Number | O2025-34 |
| Owner/Applicant | Absolute of Sumter County, LLC |
| Property Location | The property is located at the southeast corner of the intersection of N US 301 and CR 114. |
| Parcel(s) | D29-050, D29-003, and D29-031 |
| Date | 7/29/2025 |

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from CL and RR1C (County) to C-3 (City) for the parcel listed above on 5.60 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-1910 (O2025-33).

ANALYSIS: The applicant is proposing to convert the existing single-family residence on the south end of the property into an office.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to C-3 should be granted based on the following criteria:

(a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to C-3 is consistent with the proposed Future Land Use Map designation of Commercial (COM) and the intent of the Comprehensive Plan as stated in FLU Policy 1.2.8.

(b) The existing land use pattern of the surrounding area;

The land use pattern of the surrounding area is commercial and industrial. The proposed C-3 zoning designation will serve as a transition in this area to serve city residents.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc:

Schools: The commercial development will not generate any school-age children. Therefore, no impact to Sumter County Schools will take place with the proposed zoning change.

Potable Water & Sewer: City water and sewer are available to the subject property. A portion of the property is serviced by city utilities. The 3,000-square-foot single-family residence to be converted to offices is not on city utilities at this time; however, prior to any development the applicant will be required to submit a site plan and will work with the utilities department to connect to city utilities.

Streets: The property has access off of N US 301 and CR 114. The applicant has applied for a TIA Exemption which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary:

Development pressure has been increasing in the city as a result of the growth of The Villages®. A mix of development is necessary for the local community.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety:

The applicant has applied for a TIA Exemption which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property:

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

| ZONING DESIGNATION SURROUNDING PROPERTIES | |
|--|----------------------------|
| NORTH | RMU-10 & M-1(City) |
| SOUTH | M-1 (City) |
| EAST | M-1 (City) |
| WEST | CMU (City) & RR5C (County) |

If the rezoning is approved, the applicant will be required to submit a site plan to the City prior to development. The site plan will need to follow requirements established in the City's Land Development Regulations and the Design District Standards as well as any Planned Development Agreements or Developer's Agreements that may be needed.

The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2025-34 to be forwarded to the City Commission for further action, subject to the approval of O2025-33, which establishes a future land use appropriate for the proposed zoning.

Alex Lammers

**Alex Lammers, Planner I
Development Services**

ORDINANCE NO. O2025-34

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

Parcels D29-050, D29-003, and D29-031
Absolute of Sumter County, LLC
Acres +/- 5.60

LEGAL DESCRIPTION:

PARCEL NUMBER: D29-003

THAT PORTION OF THE NW 1/4 OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 29, RUN SOUTH 89°47'30" EAST ALONG THE NORTH LINE OF THE NW 1/4 OF SECTION 29, A DISTANCE OF 62.69 FEET, MORE OR LESS, TO THE INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 301; THENCE DEPARTING SAID NORTH LINE RUN SOUTH 00°18'51" EAST ALONG SAID RIGHT-OF-WAY 9.40 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE COUNTY ROAD NO. 114 (LAKE MIONA ROAD); THENCE CONTINUE SOUTH 00°18'51" EAST ALONG SAID RIGHT OF WAY 165.00 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 301, RUN SOUTH 89°47'30" EAST PARALLEL WITH SAID SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD NO. 114 AND ALONG THE SOUTH LINES OF THE LANDS DESCRIBED IN O.R. BOOK 314, PAGE 158 AND O.R. BOOK 564, PAGE 88, A DISTANCE OF 387.59 FEET TO A POINT ON THE EASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN O.R. BOOK 124, PAGE 548, IN THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE SOUTH 00°20'20" EAST ALONG SAID LINE 341.00 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 88°20'43" WEST ALONG THE NORTH LINE, AND ITS EASTERLY EXTENSION OF A PARCEL OF LAND

DESCRIBED IN O.R. BOOK 124, PAGE 549, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, A DISTANCE OF 387.64 FEET TO A POINT THAT IS SOUTH 00°20'42" EAST 528.00 FEET AND SOUTH 89°47'30" EAST 62.53 FEET FROM THE ABOVE MENTIONED NORTHWEST CORNER OF SECTION 29, SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 301; THENCE RUN NORTH 00°18'51" WEST ALONG SAID LINE 353.61 FEET TO THE POINT OF BEGINNING.

LESS THAT PORTION OF ROAD RIGHT-OF-WAY FOR U.S. HIGHWAY NO. 301, AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION, RIGHT OF WAY MAP, SECTION 18010, F.P. ID. 411257-3, SHEET 14 OF 25, PARCEL NO. 117, AND DESCRIBED IN O.R. BOOK 2054, PAGE 570, IN THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.

PARCEL NUMBER: D29-031

FROM THE NORTHWEST CORNER OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, RUN SOUTH 0° 20' 43" EAST FOR 528.0 FEET, THENCE SOUTH 89° 47' 30" EAST TO A CONCRETE MONUMENT, 62.53 FEET, LOCATED ON THE EAST RIGHT OF WAY OF U. S. HIGHWAY NO. 301 AND THE POINT OF BEGINNING OF THIS DESCRIPTION; FROM SAID POINT OF BEGINNING, RUN NORTH 88° 24' 50" EAST 387.64 FEET, THENCE NORTH 0° 20' 20" WEST 270.72 FEET, THENCE SOUTH 87° 39' 50" EAST 127.48 FEET, THENCE SOUTH 01° 20' 10" WEST 393.14 FEET, THENCE SOUTH 89° 32' 10" WEST 84.00 FEET, THENCE SOUTH 02° 18' 34" EAST 86.13 FEET, THENCE NORTH 89° 40' 10" WEST 423.29 FEET TO THE EASTERLY RIGHT OF WAY OF U. S. HIGHWAY 301, THENCE NORTH 0° 15' 10" WEST ALONG SAID EASTERLY RIGHT OF WAY 201.20 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A 10.0 FT. POWER LINE EASEMENT, LOCATED ABOUT 600 FT. SOUTH FROM LAKE MIONA HEIGHTS ROAD.

LESS AND EXCEPT THOSE LANDS AS CONVEYED IN OFFICIAL RECORDS BOOK 2061, PAGES 546 AND 553, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A RAILROAD SPIKE WITHOUT IDENTIFICATION MARKING THE NORTHEAST CORNER OF NW 1/4 OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA; THENCE RUN NORTH 89°42'49" WEST ALONG THE NORTH LINE OF SAID NW 1/4 A DISTANCE OF 2643.86 FEET TO A POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 35 (U.S. 301) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 18010, F.P. 411257 3; THENCE DEPARTING SAID NORTH LINE SOUTH 00°28'36" EAST ALONG SAID SURVEY LINE 346.21 FEET; THENCE CONTINUING ALONG SAID SURVEY LINE SOUTH 00°08'06" WEST 391.64 FEET TO A POINT ON THE WESTERLY PROJECTION OF THE SOUTH LINE OF LANDS

DESCRIBED IN OFFICIAL RECORDS BOOK 1008, PAGE 327, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE DEPARTING SAID SURVEY LINE SOUTH 89°34'49" EAST ALONG SAID PROJECTION LINE 50.39 FEET TO A POINT ON THE EASTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 35 (U.S. 301) AS SHOWN ON SAID RIGHT OF WAY MAP FOR THE POINT OF BEGINNING; THENCE NORTH 00°01'28" EAST ALONG SAID RIGHT OF WAY LINE 201.04 FEET TO A POINT ON THE NORTH LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1008, PAGE 327; THENCE NORTH 88°32'19" EAST ALONG SAID NORTH LINE 82.03 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00°08'06" WEST PARALLEL WITH SAID SURVEY LINE 203.73 FEET TO A POINT ON SAID SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1008, PAGE 327, ALSO BEING A POINT ON THE EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 35 (U.S. 301); THENCE NORTH 89°34'49" WEST ALONG SAID SOUTH LINE AND SAID EXISTING RIGHT OF WAY LINE 81.61 FEET TO THE POINT OF BEGINNING.

PARCEL NUMBER: D29-050

FROM THE NW CORNER OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA; THENCE PROCEED EASTERLY ALONG THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 29 TO THE EASTERLY RIGHT-OF-WAY OF U.S. HIGHWAY #301, SAID EASTERLY RIGHT-OF-WAY 50.00 FEET MEASURED AT RIGHT ANGLES TO THE CENTERLINE OF SAID U.S. HIGHWAY #301; THENCE SOUTHERLY AND ALONG SAID EASTERLY RIGHT-OF-WAY 9.4 FEET, MORE OR LESS, TO THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD #114 (LAKE MIONA ROAD) FOR A POINT OF BEGINNING; THENCE CONTINUE SOUTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY A DISTANCE OF 165.00 FEET; THENCE EASTERLY AND PARALLEL TO SAID SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD #114 (LAKE MIONA ROAD) A DISTANCE OF 225.00 FEET; THENCE NORTHERLY AND PARALLEL TO SAID EASTERLY RIGHT-OF-WAY OF U.S. HIGHWAY #301 A DISTANCE OF 165.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD #114 (LAKE MIONA ROAD) SAID POINT BEING 9.4 FEET, MORE OR LESS, MEASURED AT RIGHT ANGLES FROM SAID NORTH LINE OF THE NW 1/4 OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST; THENCE WESTERLY ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID COUNTY ROAD #114 (LAKE MIONA ROAD) A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT PORTION TAKEN FOR RIGHT OF WAY DESCRIBED AS FOLLOWS:

COMMENCE AT A RAILROAD SPIKE WITHOUT IDENTIFICATION MARKING THE NORTHEAST CORNER OF NW 1/4 OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA; THENCE RUN NORTH 89°42'49" WEST ALONG THE NORTH LINE OF SAID NW 1/4 A DISTANCE OF

2643.86 FEET TO A POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 35 (U.S. 301) AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, SECTION 18010, F.P. 411257 3; THENCE DEPARTING SAID NORTH LINE SOUTH 00°28'36" EAST ALONG SAID SURVEY LINE 9.24 FEET TO A POINT ON THE WESTERLY PROJECTION OF THE SOUTH LINE OF MIONA LAKE DRIVE AS DESCRIBED IN OFFICIAL RECORDS BOOK 752, PAGE 155, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE DEPARTING SAID SURVEY LINE SOUTH 89°42'49"EAST ALONG SAID PROJECTION 50.00 FEET TO A POINT ON THE EASTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 35 (U.S. 301) AS SHOWN ON SAID RIGHT OF WAY MAP FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°42'49" EAST ALONG SAID SOUTH LINE OF MIONA LAKE DRIVE 82.01 FEET; THENCE DEPARTING SAID SOUTH LINE, SOUTH 00°28'36" EAST 165.02 FEET TO THE SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 752, PAGE 155. SAID PUBLIC RECORDS; THENCE NORTH 89°42 '49"WEST ALONG SAID SOUTH LINE 82.01 FEET TO A POINT ON SAID EASTERLY EXISTING RIGHT OF WAY LINE OF STATE ROAD 35 (U.S. 301); THENCE NORTH 00°28'36" WEST ALONG SAID RIGHT OF WAY LINE 165.02 FEET TO THE POINT OF BEGINNING.

NEITHER THE GRANTOR NOR GRANTOR'S SPOUSE, NOR ANYONE DEPENDENT UPON SAID GRANTOR, RESIDES ON THE ABOVE DESCRIBED PROPERTY, AND THE SAME DOES NOT CONSTITUTE THE HOMESTEAD OF SAID GRANTOR AS THE SAME IS DEFINED BY THE LAWS AND THE CONSTITUTION OF THE STATE OF FLORIDA.

SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD, IF ANY, BUT THIS INSTRUMENT SHALL NOT OPERATE TO REIMPOSE THE SAME.

This property is to be reclassified from CL and RR1C (Sumter County) to C-3 (City).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this Ordinance is held

to be invalid or unconstitutional by a Court or competent jurisdiction, then said holding shall in no way effect the validity of the remaining portions of said Ordinance.

SECTION 4. This Ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this _____ day of _____, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

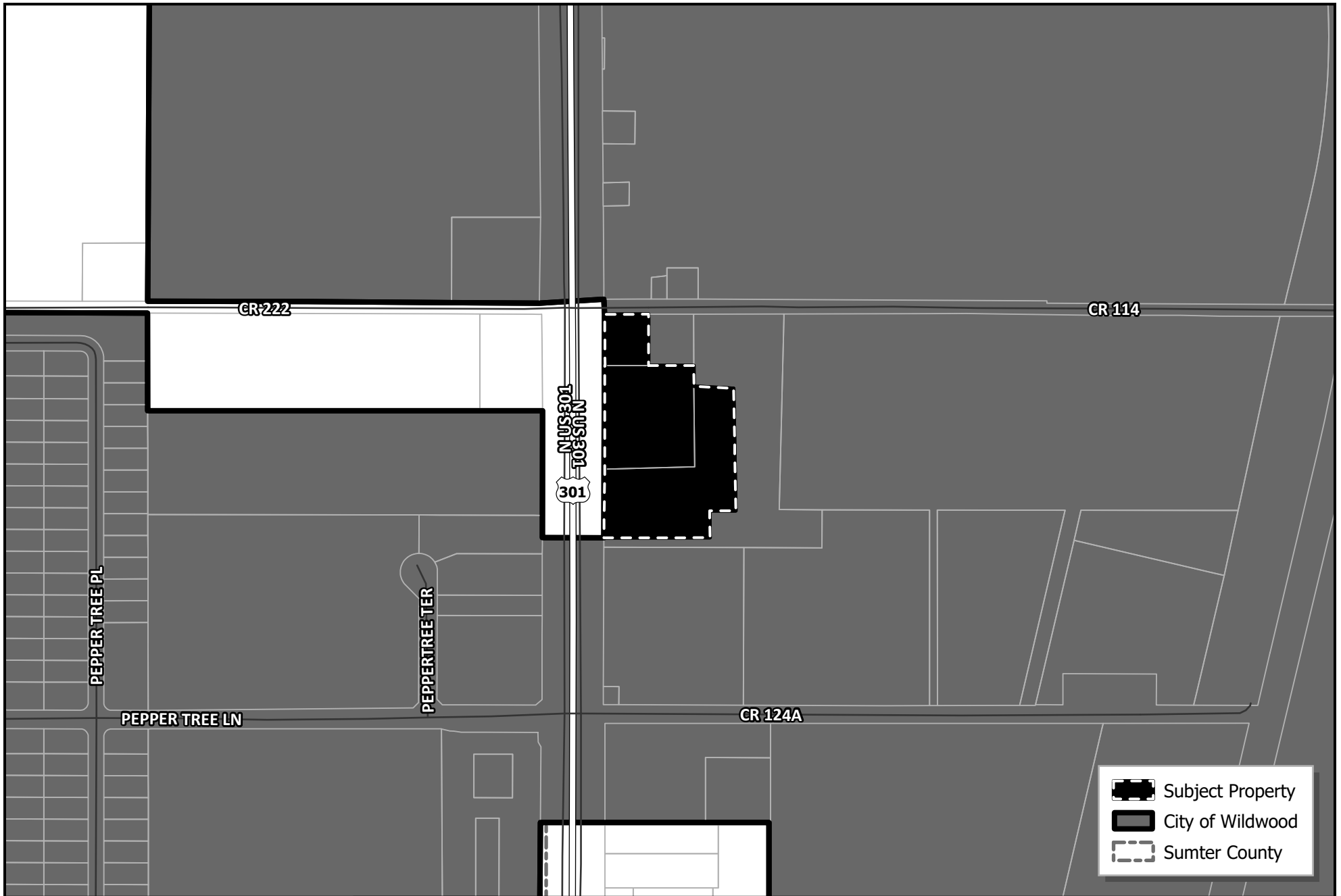
First Reading: _____

Second Reading: _____

Approved as to form:

City Attorney

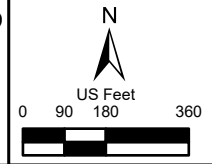
EXHIBIT A



 Subject Property
 City of Wildwood
 Sumter County

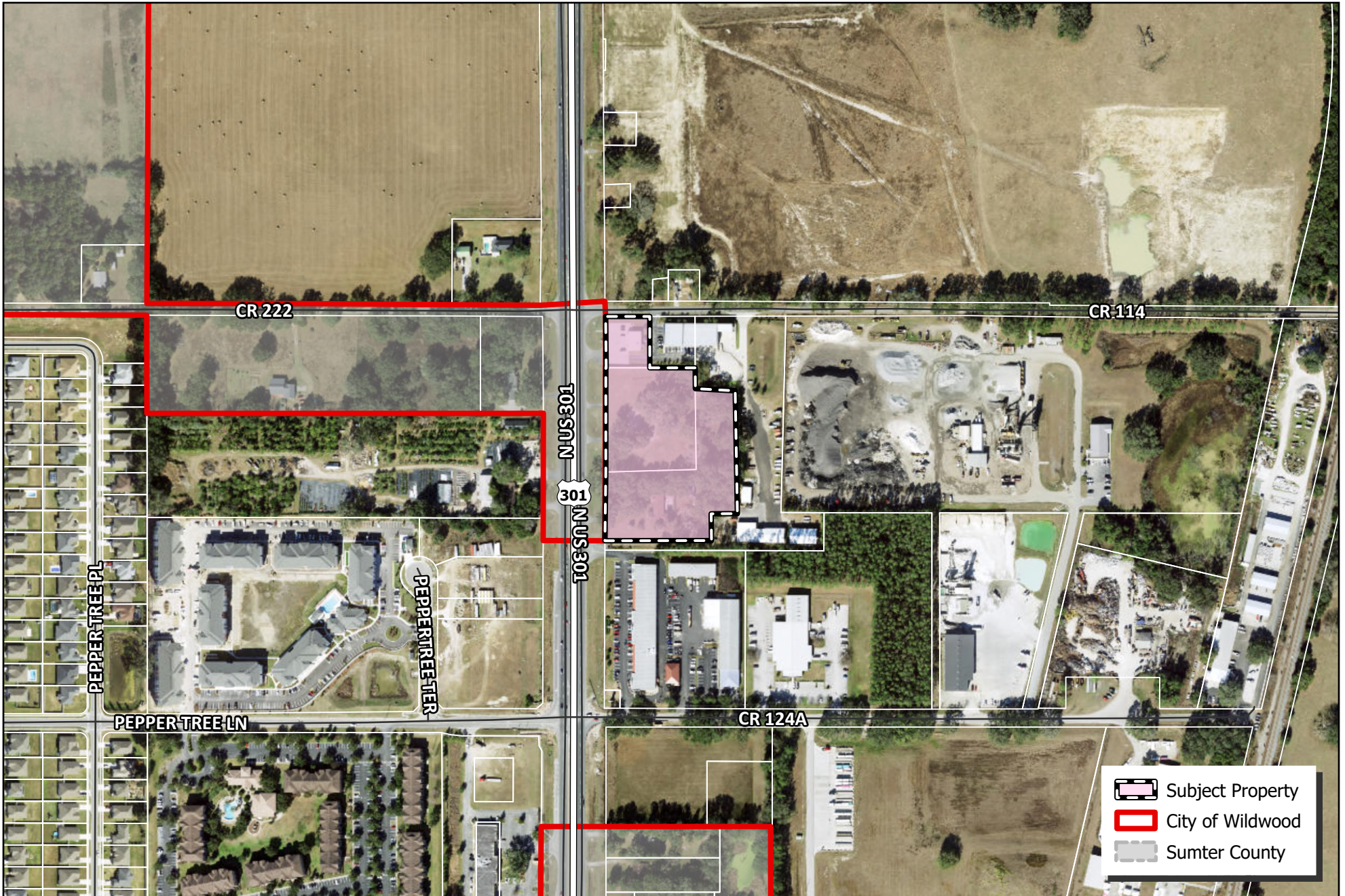


CITY OF WILDWOOD
100 North Main Street
Wildwood, FL 34785
Phone: (352) 330-1330
www.wildwood-fl.gov

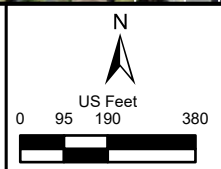


#A25-1909
SUNKOOL OFFICE
PARCELS D29-003, D29-031 & D29-050

MAP 1A
LOCATION
MAP
MAY 2025

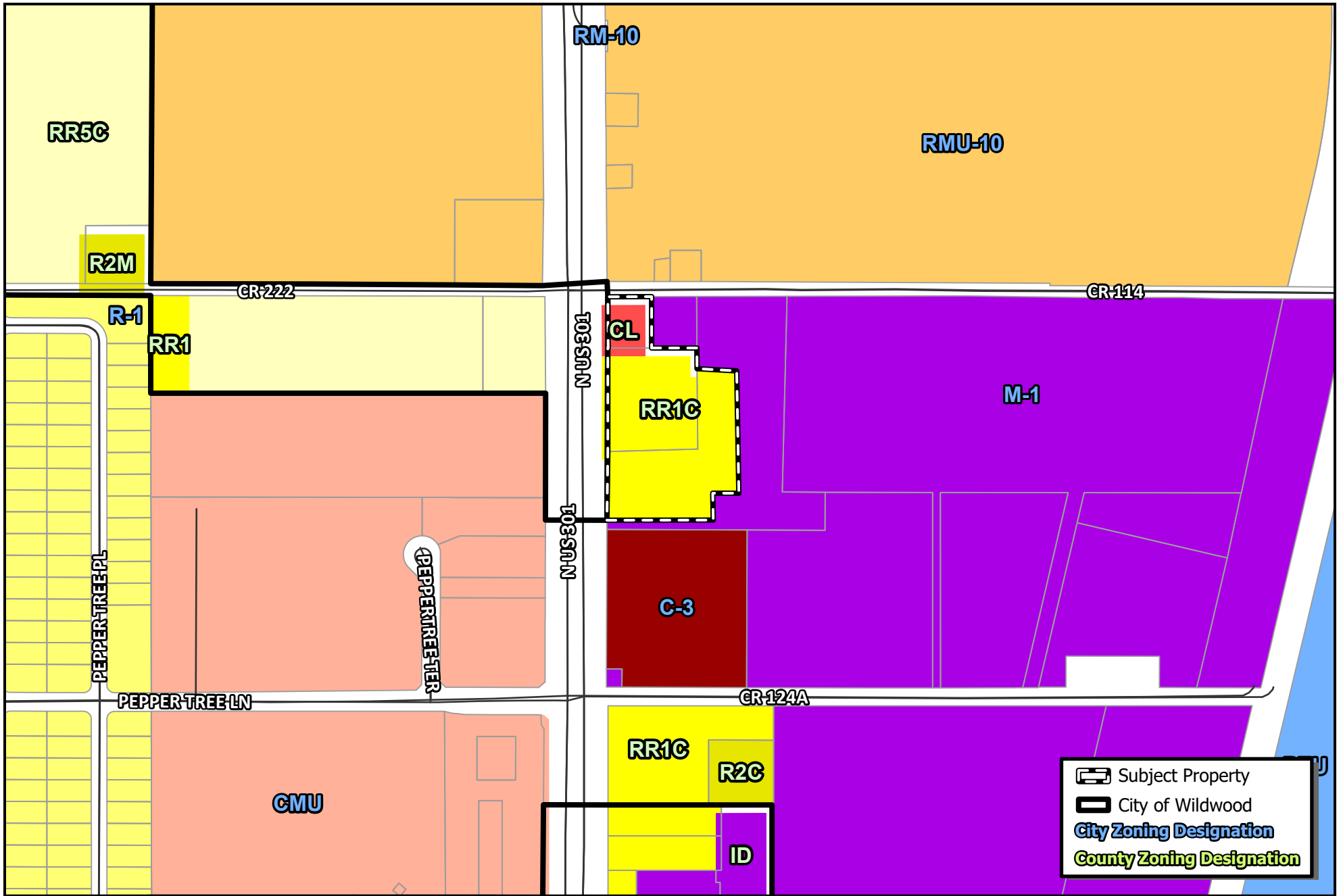


CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-1909
SUNKOOL OFFICE
 PARCELS D29-003, D29-031 & D29-050

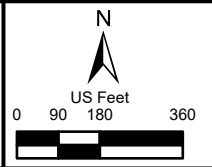
MAP 1B
LOCATION
MAP
MAY 2025



| | |
|--|---------------------------|
| | Subject Property |
| | City of Wildwood |
| | City Zoning Designation |
| | County Zoning Designation |

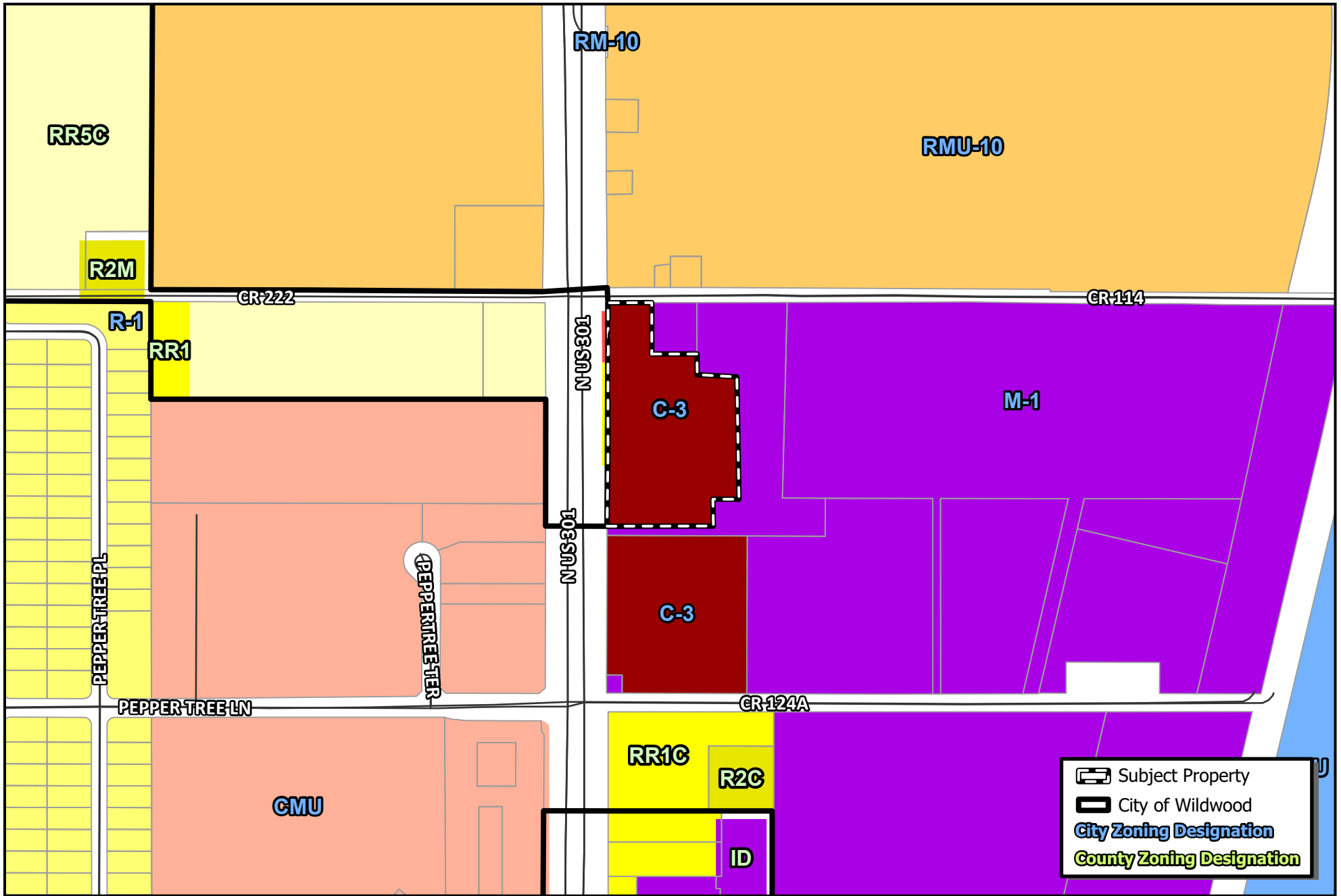


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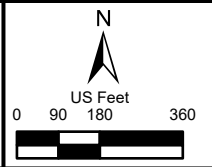


#A25-1909
SUNKOOL OFFICE
 PARCELS D29-003, D29-031 & D29-050

MAP 3A
EXISTING ZONING
MAY 2025



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
 www.wildwood-fl.gov



#A25-1909
SUNKOOL OFFICE
 PARCELS D29-003, D29-031 & D29-050

MAP 3B
PROPOSED ZONING
 MAY 2025



Business Impact Estimate

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2025-34

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0583 UF Health Oxford Freestanding Emergency Department

REQUESTED ACTION: Staff recommends approval upon resolution of one outstanding comment.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

| | |
|-------------------|--|
| Case No | A25-0583 UF Health Oxford FSED |
| Parcel Number | Portion of Parcel D17-134 |
| Acreage | 1.40 Acres, MOL |
| Property Location | The property is generally located approximately 0.46 miles south of the intersection of US Hwy 301 and CR 466, fronting US Hwy 301 |
| Owner | Preston and Pope, LLC |
| Applicant | Boldt c/o Faeq Hussain |

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a one-story, 14,211 SF medical building (freestanding emergency room) providing for 51 parking spaces including five (5) Florida ADA-accessible parking spaces and two (2) EV charging stations, a generator enclosure, and dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 1.40 acres MOL, as per the attached plans. The A25-1833 final plat for the Preston Place Business Park is required to be approved before this site plan can proceed for final consideration before the City Commission. As of the writing of this report, the project has one outstanding comment from the City Attorney regarding easements which is expected to be resolved upon the Preston Place Business Park final plat approval. Please see the comment review sheet report enclosed.

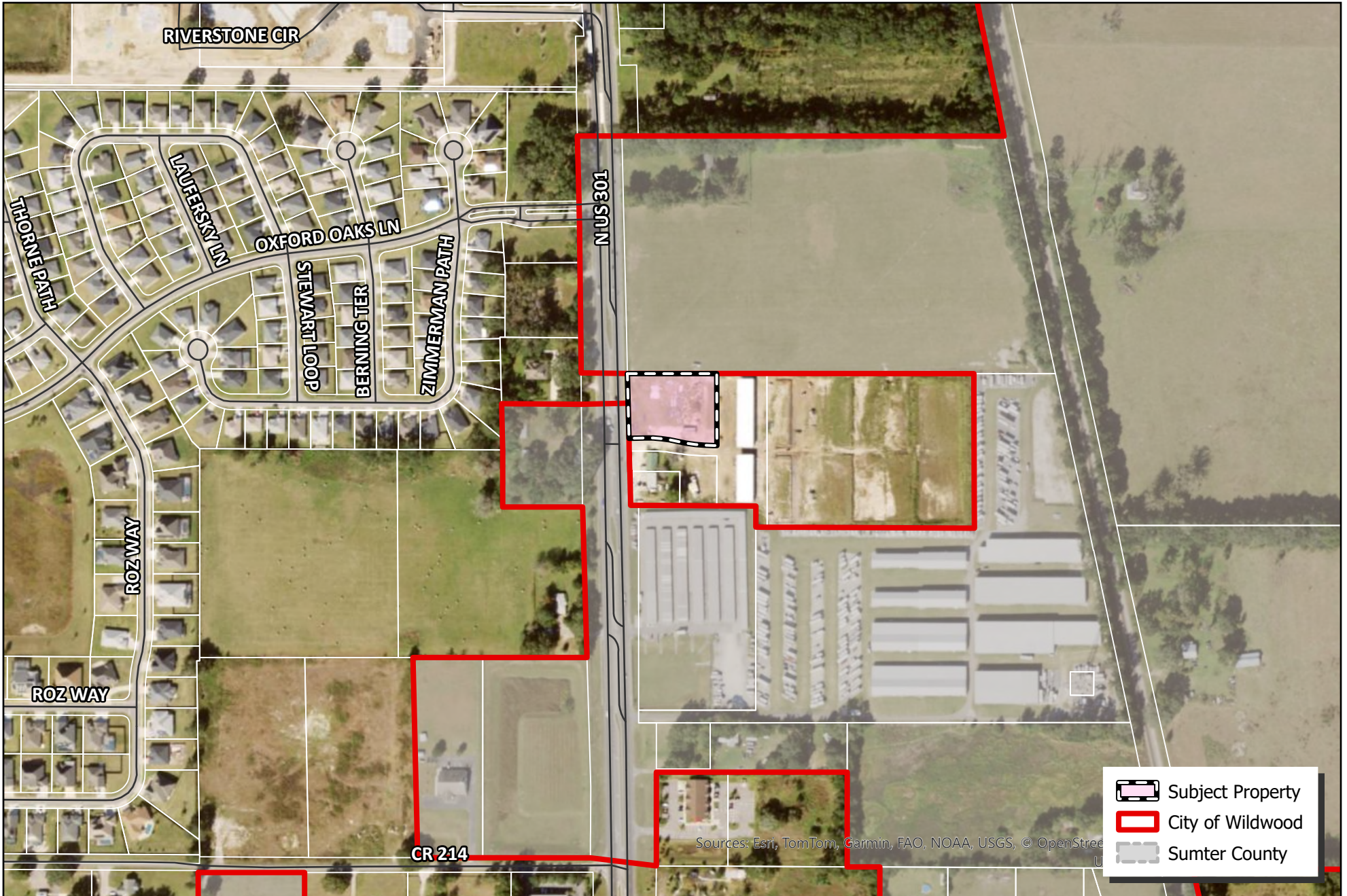
The applicant has been granted a technical waiver to reduce the required parking from 55 parking spaces to 51 spaces since they are able to model parking needs based on other similar establishments operating in surrounding cities. Once the outstanding comments are addressed, A25-0583 is expected to meet the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies within the 2050 Comprehensive Plan.

DATED: 7/30/2025

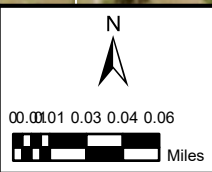
A handwritten signature in black ink, appearing to read 'Wendy Then', written in a cursive style.

Wendy Then, AICP, CFM

Assistant Director Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



PJ #A25-0583
UF HEALTH OXFORD FREESTANDING EMERGENCY DEPARTMENT
 PARCEL D17-134

MAP 1B
LOCATION
MAP
MAR 2025

1. Please add the applicant's phone number to the cover sheet of the site plan.
 - A. The Applicant's phone number has been added to the cover sheet.
 - I. Not satisfied; the applicant information was updated, but the phone number was not included.
 - a. **Applicant phone number added to Sheet C1.1.**
 - i. **Satisfied.**
2. Please provide an authorized agent form from the owner to the applicant (Boldt c/o Faeq Hussain).
 - A. **Revised Authorized Agent Form is being submitted herewith.**
 - I. Partially satisfied; An authorized agent form from the owner to the applicant (Boldt c/o Faeq Hussain) was submitted, but the applicant on the site plan has been changed to Philip J. Braun, Registered Agent The Villages Tri-County Medical Center, Inc. Please confirm the applicant's information.
 - a. **The Authorized Agent form has been revised to show Phil Braun with Tri-County Medical to match the plans.**
 - i. **Satisfied.**
3. 4.4(D)(6) – Please provide copies of all proposed or executed easements, for cross-access, water and wastewater utilities, shared stormwater facilities, or other required easements. This information should include information regarding easement for cross-access on Thomas St which is owned by a separate entity (CW4 Inc.).
 - A. All the easement information is being created and shown on the Record Plat being submitted and reviewed as a concurrent application.
 - a. **Acknowledge; Comment remains until satisfied or Plat approval.**
 - i. **Noted that Plat approval is necessary.**
1. City Attorney reserves the right to make further comments upon resubmittal.
 - A. **Noted.**
 - I. **Standing comment.**

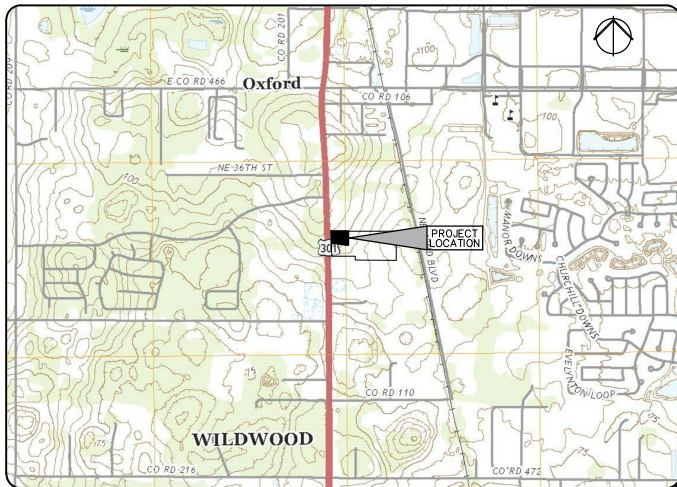
UF HEALTH OXFORD FSED

WILDWOOD, FLORIDA

| Soils Map Legend | | |
|------------------|--|---------------------|
| Map Unit Symbol | Map Unit Name | Percent of Property |
| 66 | ARRENDONDO FINE SAND, BOULDERY SUBSURFACE, 0 TO 5 PERCENT SLOPES | 100.0% |

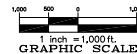


SOILS MAP
SCALE: N.T.S.



SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST

LOCATION PLAN
SCALE: 1"=1,000'



| Required Permitting | |
|---------------------|---------|
| Agency | Status |
| CITY OF WILDWOOD | PENDING |
| SWFMD | PENDING |
| DEP NPDES | PENDING |

| Utility Providers | |
|-------------------|------------------|
| WATER | CITY OF WILDWOOD |
| SEWER | CITY OF WILDWOOD |
| ELECTRIC | DUKE ENERGY |
| CABLE | SPECTRUM |
| PHONE | SPECTRUM |
| REFUSE | CITY OF WILDWOOD |

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY CFB SURVEYING, DATED 12/2/24.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WILDWOOD, SUMTER COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS. TEMPORARY SEEDING AND MULCHING SHALL FOLLOW IMMEDIATELY FOR AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF SEVEN (7) CALENDAR DAYS OR LONGER.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF WILDWOOD WATER MAIN.
- ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF WILDWOOD REQUIREMENTS.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE WILDWOOD UTILITY DEPARTMENT TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.
- THE CONTRACTOR SHALL OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT AS REGULATED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL BECOME FAMILIAR WITH THE NPDES PERMITTING REQUIREMENTS, DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH NPDES REGULATIONS AND WILL BE RESPONSIBLE FOR ANY VIOLATIONS CITED BY DEP DURING CONSTRUCTION. INFORMATION PERTAINING TO THE NPDES PROGRAM IS AVAILABLE ON LINE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES OR BY CALLING FDEP NPDES STORMWATER SECTION AT 850-245-7522.

LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 17; RUN THENCE N00°02'46"E ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 A DISTANCE OF 1572.83 FEET; THENCE N89°59'25"E A DISTANCE OF 38.88 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 301 FOR THE POINT OF BEGINNING; THENCE CONTINUE N 89°59'25"E A DISTANCE OF 285.11 FEET TO A POINT ON THE BOUNDARY OF PROPERTY DESCRIBED IN O.R. BOOK 3080, PAGE 296, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE ALONG THE BOUNDARY OF SAID PROPERTY WITH THE FOLLOWING COURSES: RUN S00°03'54" E, A DISTANCE OF 230.00 FEET; THENCE S88°59'25"W A DISTANCE OF 10.80 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 497.00 FEET; THENCE RUN WESTERLY 116.25 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 157°40" TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 403.00 FEET; THENCE RUN WESTERLY 103.47 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 144°40" TO THE POINT OF TANGENCY; THENCE S88°40'50"W A DISTANCE OF 51.91 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 301; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN N01°19'10"W A DISTANCE OF 206.84 FEET TO THE POINT OF BEGINNING

WAIVER REQUEST

REQUESTING WAIVER TO LDR 6.6 (D) TABLE 6-12 TO REDUCE THE REQUIRED MINIMUM NUMBER OF PARKING SPACES FROM 57 TO 51.

UTILITY OWNERSHIP

12" WATER - CITY OF WILDWOOD
8" ONSITE WATER - PRIVATE
EXISTING LIFT STATION - PRIVATE
2.5" FORCE MAIN - PRIVATE
4" FORCE MAIN IN FDOT ROW - CITY OF WILDWOOD
STORM - PRIVATE
ROADS - PRIVATE
STREET LIGHTS - PRIVATE

| SHEET INDEX | |
|-------------|--------------------------------------|
| C1.1 | COVER SHEET |
| C1.2 | STORMWATER POLLUTION PREVENTION PLAN |
| C2.1 | GEOMETRY PLAN |
| C2.2 | CONCRETE PAVEMENT PLAN |
| C3.1 | GRADING & DRAINAGE PLAN |
| C4.1 | UTILITY PLAN |
| C5.1 | DETAILS |
| C6.1-C6.3 | UTILITY DETAILS |

SITE DATA

TOTAL AREA = 61,055 sq.ft. (1.40 ac.)
PROPOSED IMPERVIOUS AREA = 45,101 sq.ft. (1.04 ac.)
PERCENT IMPERVIOUS AREA = 73.9% (of total area)
MAX ISR = 75%
FLOOD ZONE = "X"
ZONING = "c-3"
FUTURE LAND USE = GENERAL COMMERCIAL
EXISTING USE OF SITE = VACANT
PROPOSED USE OF SITE = MEDICAL
PROPOSED BUILDING SQUARE FOOTAGE = 14,211 sq.ft. INCLUDING CANOPIES = 15,497 sq.ft.
FLOOR AREA RATIO (FAR) = 0.23
MAX FAR = 0.5
BUILDING HEIGHT = 28'-2"
CONSTRUCTION TYPE: I1B
MINIMUM REQUIRED FIRE FLOW PER FFPC = 2500 GPM
BUILDING SINGLE STORY
PROJECTED NUMBER OF EMPLOYEES = 14 EMPLOYEES
PARKING REQUIRED = 57 spaces (REQUESTING WAIVER TO 51)
PARKING PROVIDED = 51 spaces
HANDICAP SPACES PROVIDED = 5 HC spaces
SETBACKS: FRONT = 25' / REAR = 10' / SIDE = 15'
BUFFERS: FRONT = 25'
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

OWNER

Preston & Pope, LLC
11262 N. US 301
Oxford, Florida 34484
Phone (352) 446-5296

APPLICANT

Philip J. Braun, Registered Agent
The Villages Tri-County Medical Center, Inc.
a/b/a U/P Health Spanish Plains
1451 El Camino Real
The Villages, Florida 32159
Phone (352) 323-5924

ENGINEER

Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482

SURVEYOR

Kaye M. Jameson
CFB Surveying
4450 NE 83rd Road
Wildwood, Florida 34785
Phone (352) 748-3126

RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7412
 keith@riddlenewman.com
 Calif. 00522850

RIDDLE NEWMAN ENGINEERING INC.

SHEET NO. C1.1

COVER SHEET

UF HEALTH OXFORD FSED
 WILDWOOD FLORIDA

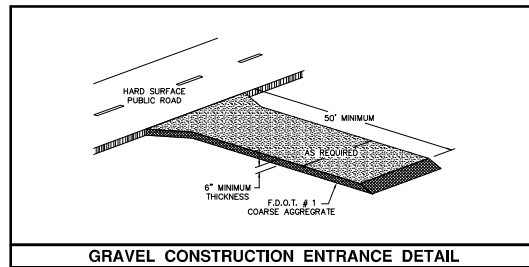
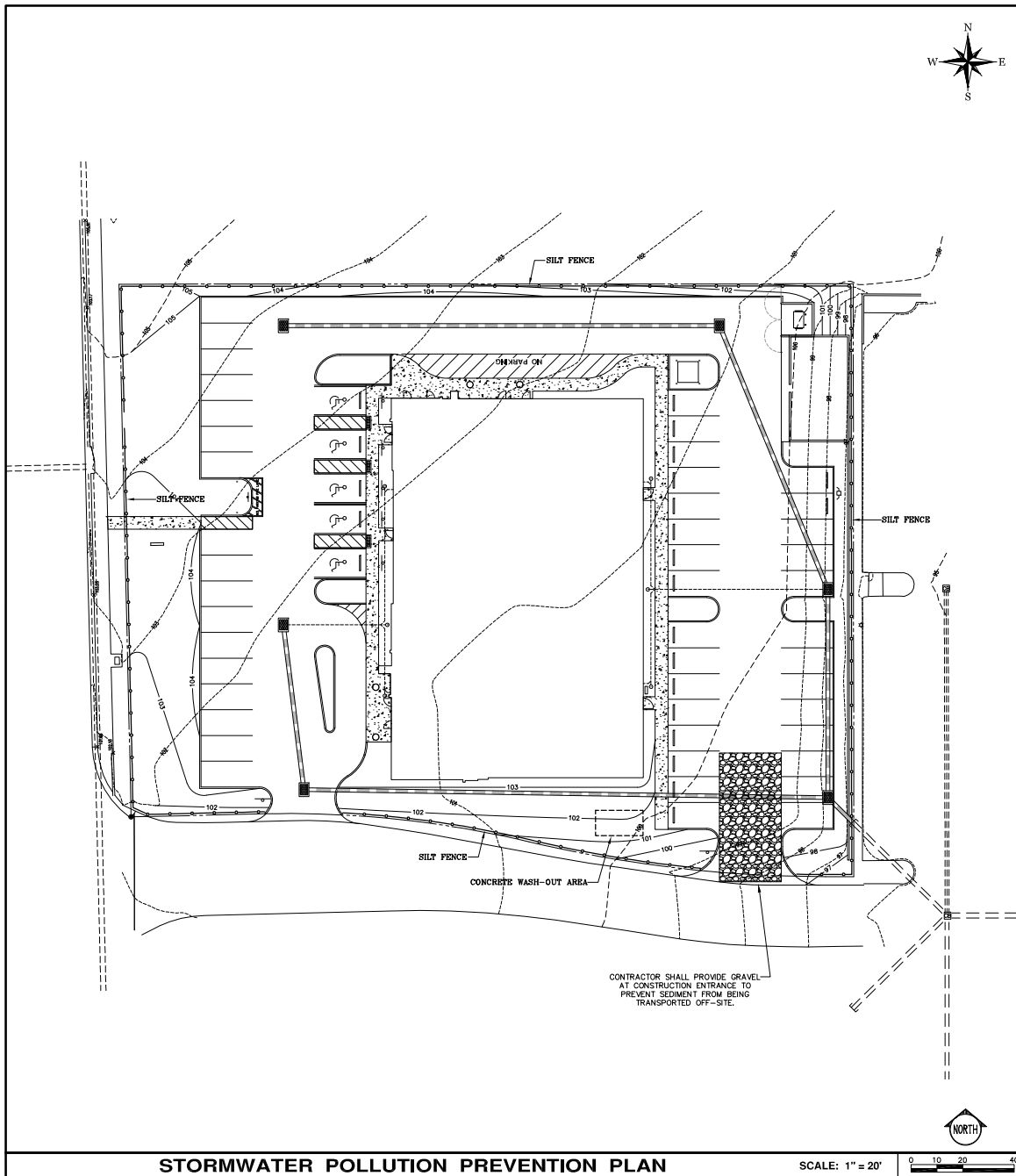
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 -04:00
 KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

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DRAWN: R.S.H. CHECKED: K.E.R. SCALE: AS SHOWN DATE: 2/27/25 PROJECT NO: 24119

REV # REV # REV # REV #
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 REVISIONS FOR WILDWOOD & SWFMD 5/29/25
 REVISIONS FOR COORDINATION 3/21/25

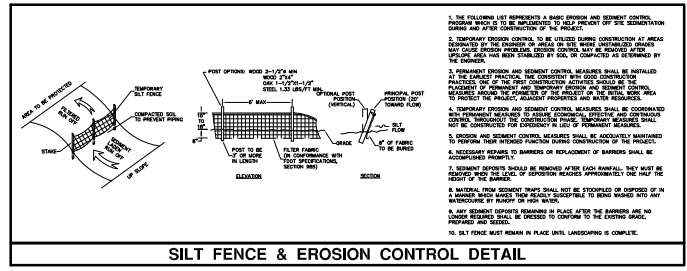
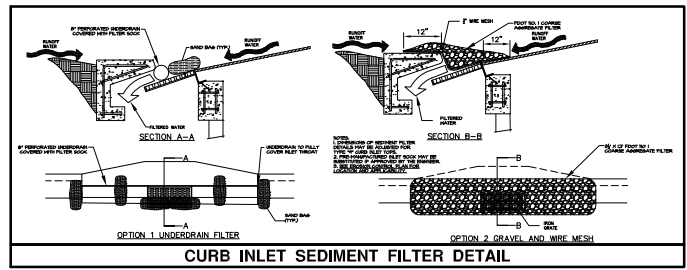
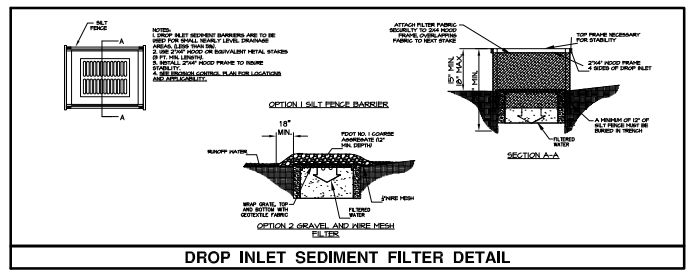
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THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "T" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR MAT BALES. UNTIL UNDERCUT BASE IS FINISHED AND PRIMED.



NPDES REQUIREMENTS

- Federal Law prohibits all point source discharges of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acre) construction activities, to a water of the United States without a National Pollutant Discharge Discharge Discharge System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), Town, City or County, shall obtain coverage either under a discrete permit or an individual permit.
- The Contractor shall obtain the NPDES permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dep.state.fl.us/water/stormwater/index.cfm. The Contractor shall be responsible for maintenance of the site in accordance with all requirements of the SWPPP and have in place (starting along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Forms). The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The one of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5 inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and those inspections are required to be made by a "Qualified" Inspector. Those inspections must document compliance with the permit and the SWPPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-5322 for additional information on qualified inspectors or additional information on the NPDES requirements.

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 33748
PHONE: (352) 787-7412
FAX: (352) 787-7412
keith@riddlenewman.com
www.riddlenewman.com

RIDDLE NEWMAN ENGINEERING INC.

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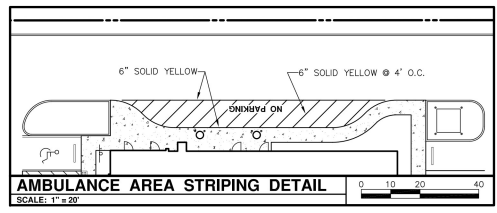
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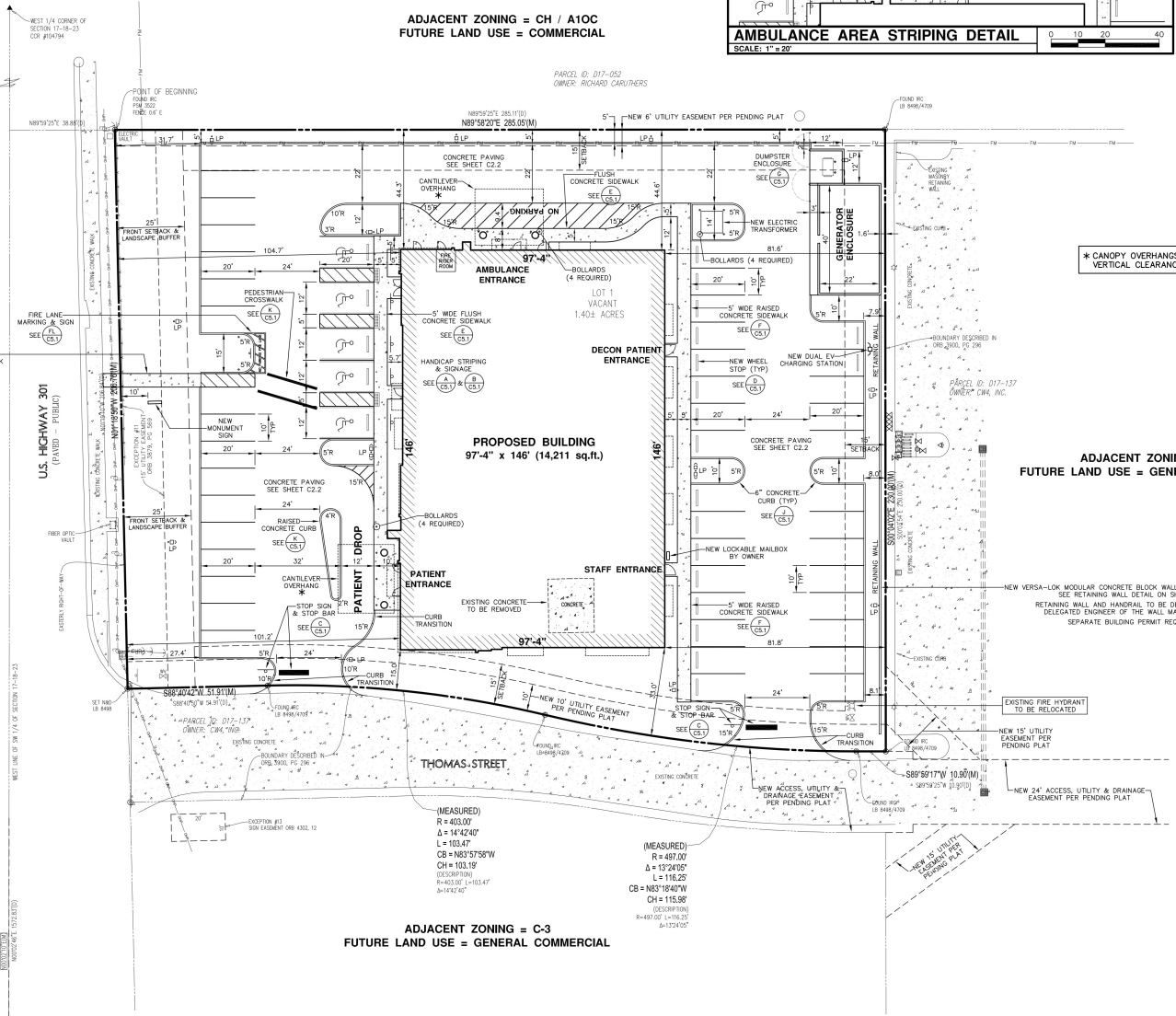
ADJACENT ZONING = CH / A10C
FUTURE LAND USE = COMMERCIAL

* CANOPY OVERHANGS SHALL HAVE MINIMUM 15 FOOT VERTICAL CLEARANCE IN ACCORDANCE WITH NFPA.

ADJACENT ZONING = C-3
FUTURE LAND USE = GENERAL COMMERCIAL

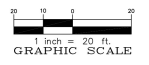
ADJACENT ZONING = C-3
FUTURE LAND USE = GENERAL COMMERCIAL

- LEGEND**
- A/C AIR CONDITIONING UNIT
 - HPPE HIGH-DENSITY POLYETHYLENE
 - LB LICENSED BUSINESS
 - ORB OFFICIAL RECORDS BOOK
 - PG PAGE
 - NAD NORTH AMERICAN VERTICAL DATUM
 - (W) FIELD MEASUREMENT
 - (D) DEED MEASUREMENT
 - DHP OVERHEAD UTILITIES
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - R/W RIGHT OF WAY
 - RCP REINFORCED CONCRETE PIPE
 - CO- CONTROL LINE ELEVATION
 - N&D NAIL AND DISK
 - RC 5/8" IRON ROD AND CAP
 - NOO NO IDENTIFICATION
 - IRV IRRIGATION CONTROL VALVE
 - WB WATER METER
 - WV WATER VALVE
 - BP BACKFLOW PREVENTER
 - FR FIRE HYDRANT
 - WU WOOD UTILITY POLE
 - CA CRY ANCHOR
 - CP LIGHT POLE
 - RS SIGN
 - ER ELECTRIC RISER
 - X10.00 SPOT ELEVATION



(MEASURED)
R = 403.00
A = 14°42'40"
L = 103.47
CB = N83°57'58"W
CH = 103.19
DISC(0.0700)
R = 403.00 L = 103.47
a = 14°42'40"

(MEASURED)
R = 497.00
A = 13°24'15"
L = 115.25
CB = N81°18'40"W
CH = 115.98
DISC(0.0900)
R = 497.00 L = 115.25
a = 13°24'15"



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RIDDLE NEWMAN ENGINEERING INC.
 ENGINEERS

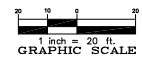
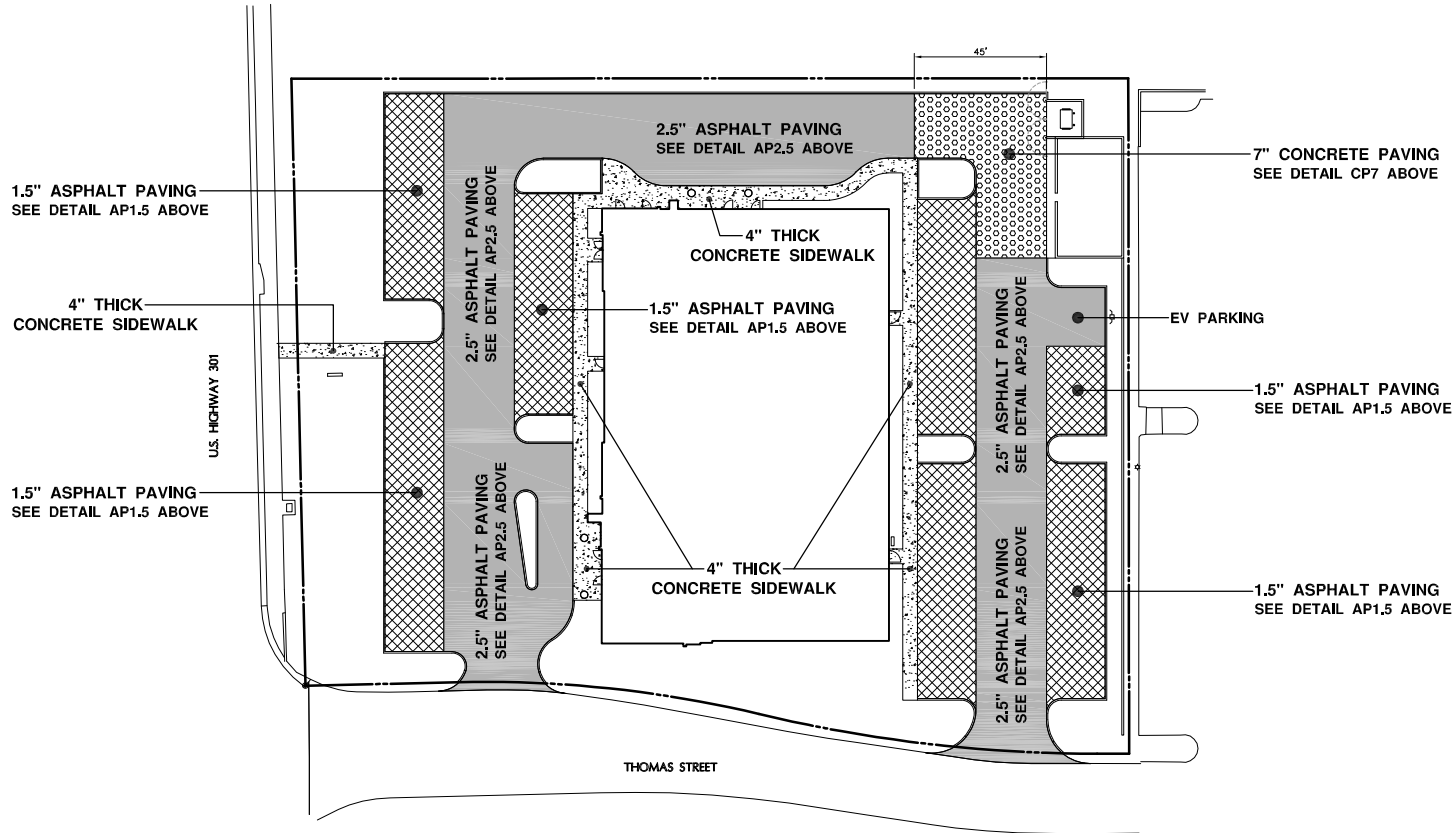
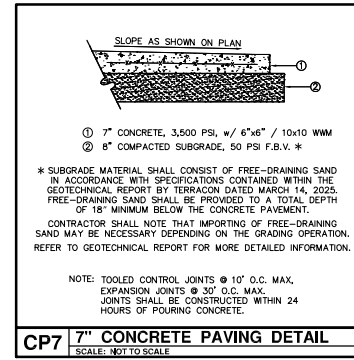
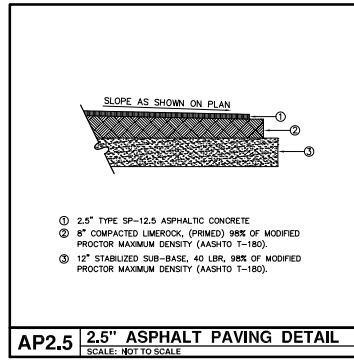
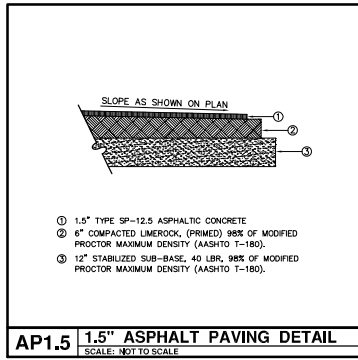
REV # REV # REV #
 1 1 1
 REV # REVISION PER CITY OF WILDWOOD 6/10/25
 REV # REVISION FOR WILDWOOD & SHAWNO 5/29/25
 REV # REVISION FOR COORDINATION 3/19/25

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38860

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: 1"=20'
 DATE: 2/27/25
 PROJECT NO. 24119

GEOMETRY PLAN
UF HEALTH OXFORD FUSED FLORIDA
 WILDWOOD

SHEET NO. **C2.1**



RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 33748
PH: FAX (352) 787-7412
keith@riddlenewman.com
Calif. 00529265

RIDDLE NEWMAN ENGINEERING INC.

| | | |
|-------|---------|---------------------------------|
| REV # | DATE | DESCRIPTION |
| REV # | 6/16/25 | REVISED PER CITY OF WILMWOOD |
| REV # | 5/28/25 | REVISED FOR WILMWOOD & SHIMADZU |
| REV # | 3/7/25 | REVISED FOR COORDINATION |

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 36800

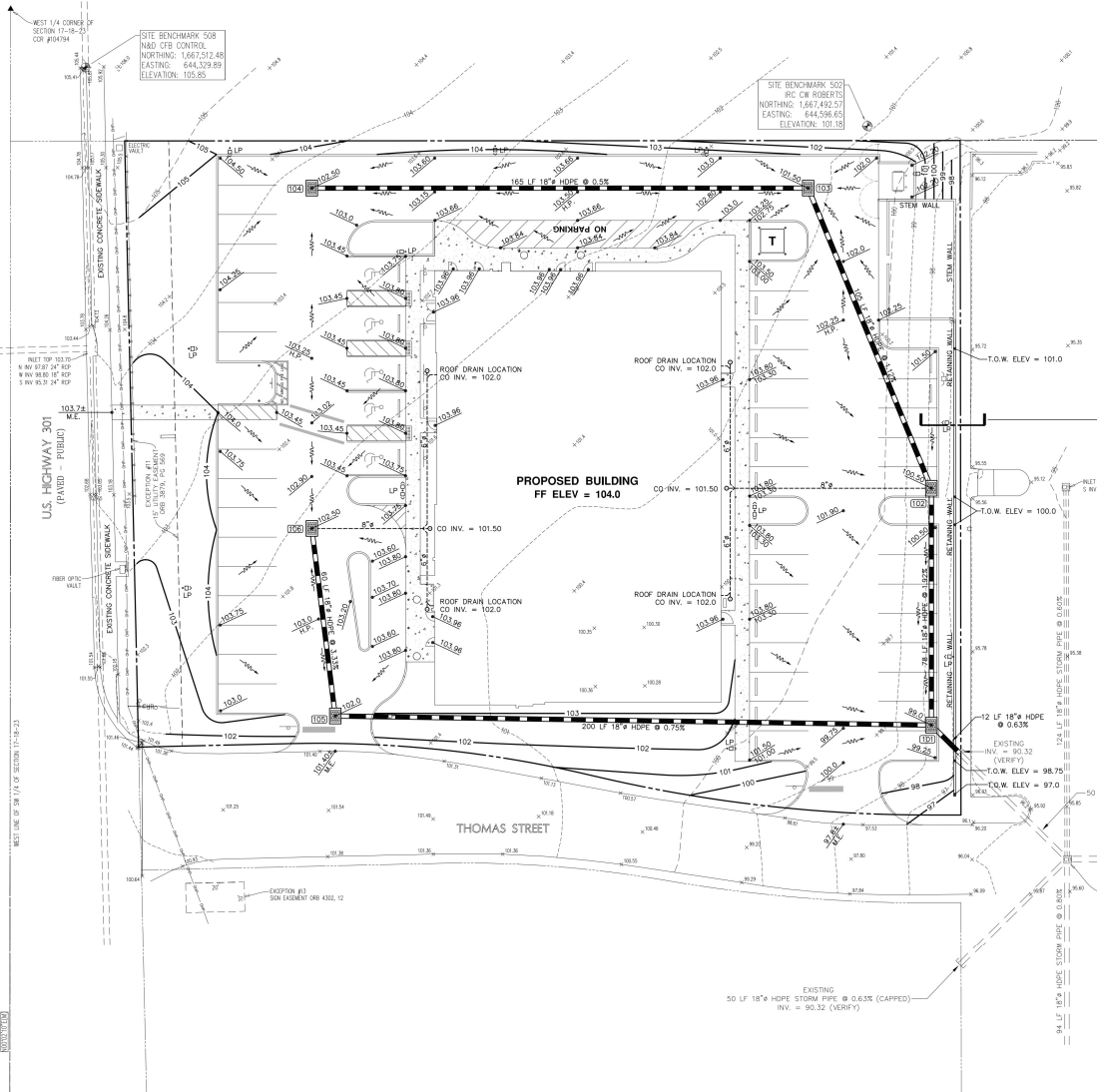
DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=20'
DATE: 2/27/25
PROJECT NO: 24119

CONCRETE PAVEMENT PLAN

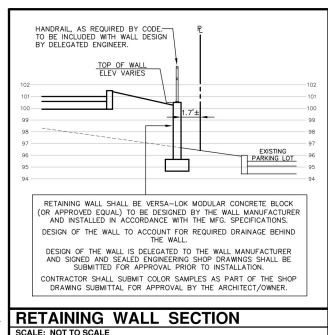
UF HEALTH OXFORD FUSED FLORIDA WILMWOOD

SHEET NO. C2.2

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- LEGEND**
- A/C AIR CONDITIONING UNIT
 - HPPE HIGH-DENSITY POLYETHYLENE
 - LB LICENSED BUSINESS
 - ORB OFFICIAL RECORDS BOOK
 - PG PAGE
 - NAD NORTH AMERICAN VERTICAL DATUM
 - (M) FIELD MEASUREMENT
 - (D) DEED MEASUREMENT
 - DHP OVERHEAD UTILITIES
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - R/W RIGHT OF WAY
 - RP REINFORCED CONCRETE PIPE
 - CO- CONTROL LINE ELEVATION
 - N&D NAIL AND DISK
 - RC 5/8" IRON ROD AND CAP
 - NOO NO IDENTIFICATION
 - IRV IRRIGATION CONTROL VALVE
 - W WATER METER
 - WV WATER VALVE
 - BP BACKFLOW PREVENTER
 - FI FIRE HYDRANT
 - WU WOOD UTILITY POLE
 - GA GUY ANCHOR
 - LI LIGHT POLE
 - S SIGN
 - ER ELECTRIC RISER
 - X10.00 SPOT ELEVATION



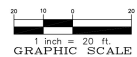
STORM DRAINAGE SCHEDULE

| INLET/MPH | GRATE ELEV. | INV. ELEV. | TYPE |
|-----------|-------------|-----------------------|------|
| 101 | 99.00 | 95.50 N&W 90.00 SE | "F" |
| 102 | 100.50 | 97.00 | "F" |
| 103 | 101.50 | 98.18 | "F" |
| 104 | 102.50 | 99.00 | "F" |
| 105 | 102.00 | 97.00 | "F" |
| 106 | 102.50 | 99.00 | "F" |

STORM SEWER NOTE:
ALL STORM INLETS SHALL BE TYPE "T" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N. ALL STORM PIPING SHALL BE HANCOCK ASKATO HOPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

ALL GRADING OF THIS SITE SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY TERRACON DATED MARCH 14, 2025. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND SHALL BE RESPONSIBLE FOR GRADING AND EARTHWORK WORK ALL IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE REPORT.



RIDDLE - NEWMAN ENGINEERING, INC.

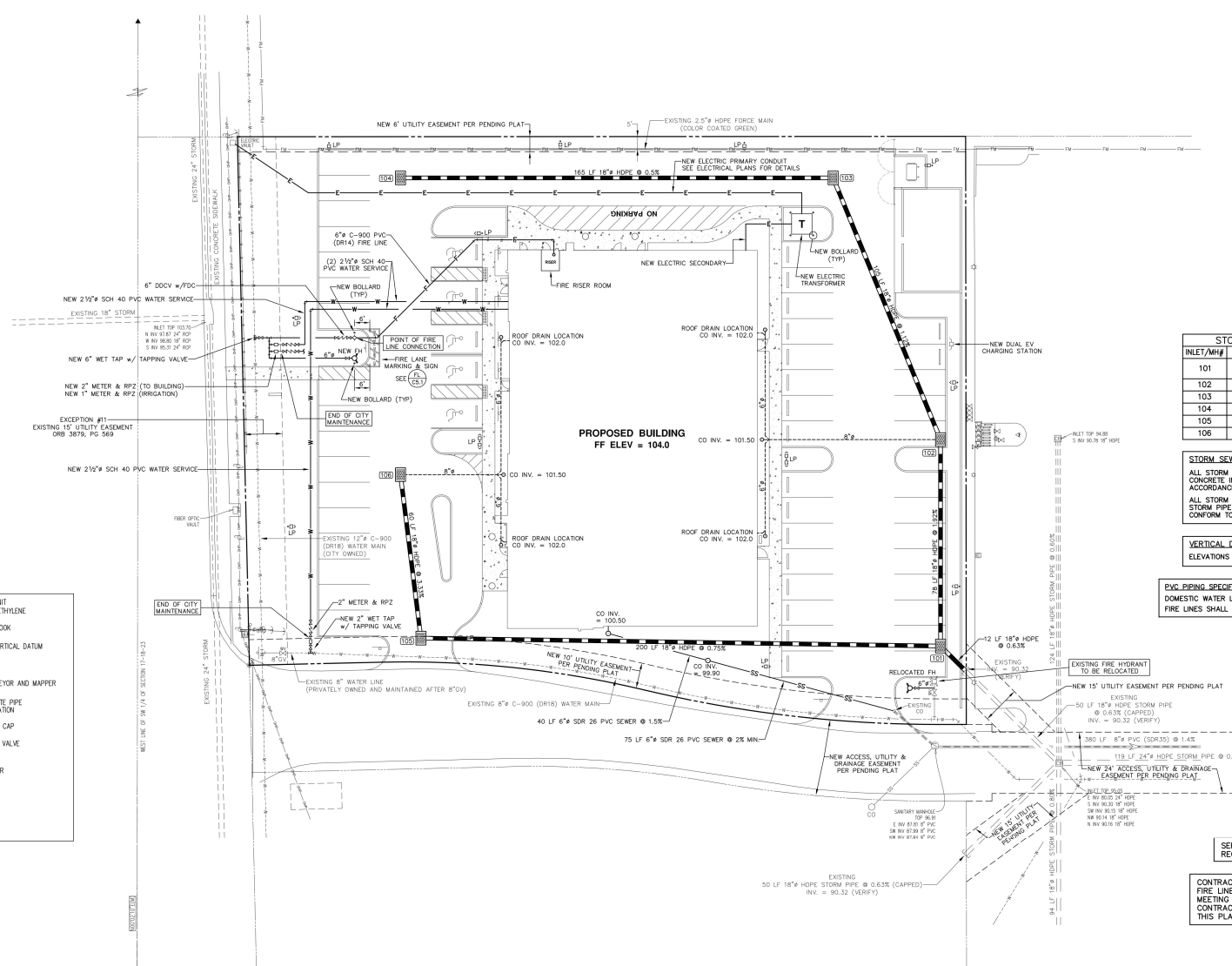
115 NORTH CANAL STREET
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RIDDLE - NEWMAN ENGINEERING INC.

KEITH E. RIDDLER, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38860

UF HEALTH OXFORD FSED
WILDWOOD

SHEET NO. **C3.1**



LEGEND

| | |
|--------|----------------------------------|
| A/C | AIR CONDITIONING UNIT |
| HPPE | HIGH-DENSITY POLYETHYLENE |
| LB | LICENSED BUSINESS |
| ORB | OFFICIAL RECORDS BOOK |
| PC | FACE |
| NAVD | NORTH AMERICAN VERTICAL DATUM |
| (M) | FIELD MEASUREMENT |
| (D) | DEED MEASUREMENT |
| OHP | OVERHEAD UTILITIES |
| PSM | PROFESSIONAL SURVEYOR AND MAPPER |
| R/W | RIGHT OF WAY |
| RCP | REINFORCED CONCRETE PIPE |
| RD | CONTOUR LINE ELEVATION |
| M&D | MAIL AND DOK |
| IRC | 5/8" IRON ROD AND CAP |
| IND | NO IDENTIFICATION |
| IRV | IRRIGATION CONTROL VALVE |
| W | WATER METER |
| WV | WATER VALVE |
| BP | BACKFLOW PREVENTOR |
| FH | FIRE HYDRANT |
| UD | WOOD UTILITY POLE |
| CA | CUT ANCHOR |
| CP | CURTAIN POLE |
| CS | CONCRETE SIGN |
| ER | ELECTRIC RISER |
| x10.00 | SPOT ELEVATION |

STORM DRAINAGE SCHEDULE

| INLET/MH# | GRATE ELEV. | INV. ELEV. | TYPE |
|-----------|-------------|-----------------------|------|
| 101 | 99.00 | 95.50 N&W 90.00 SE | "F" |
| 102 | 100.50 | 97.00 | "F" |
| 103 | 101.50 | 98.18 | "F" |
| 104 | 102.50 | 99.00 | "F" |
| 105 | 102.00 | 97.00 | "F" |
| 106 | 102.50 | 99.00 | "F" |

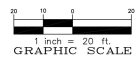
STORM SEWER NOTE:
ALL STORM INLETS SHALL BE TYPE "T" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N. ALL STORM PIPING SHALL BE HANCOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

PVC PIPING SPECIFICATIONS
DOMESTIC WATER LINES SHALL BE C-900 PVC, DR18, CLASS 235. FIRE LINES SHALL BE C-900 PVC, DR14, CLASS 305.

SEPARATE FIRE LINE PERMITTING REQUIRED PER NFPA.

CONTRACTOR SHALL PROVIDE ENGINEERED FIRE LINE PLAN FOR FIRE LINE PERMITTING MEETING THE REQUIREMENTS OF NFPA. CONTRACTOR TO INCLUDE THE COST OF THIS PLAN IN HIS COST FOR CONSTRUCTION.



UTILITY PLAN

UF HEALTH OXFORD FSED
FLORIDA

WILDWOOD

SHEET NO. **C4.1**

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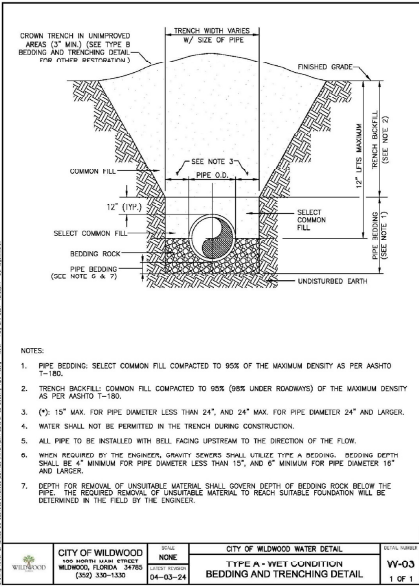
RIDDLE NEWMAN ENGINEERING INC.
REGISTERED PROFESSIONAL ENGINEER

REV. # DATE REVISIONS
1 6/1/25
2 5/29/25
3 5/29/25

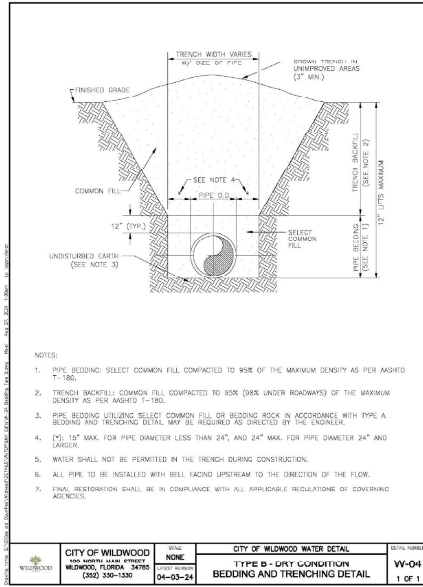
KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=20'
DATE: 2/27/25
PROJECT NO. 2419

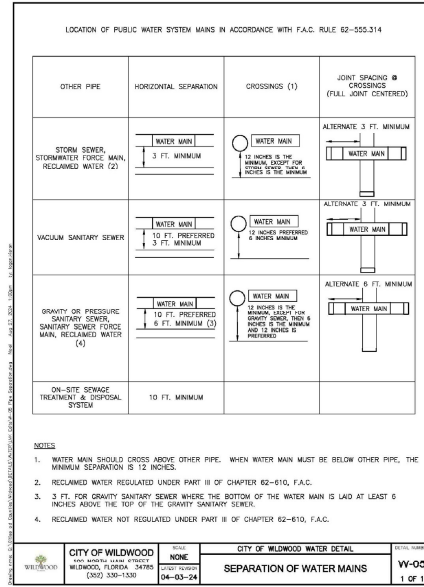
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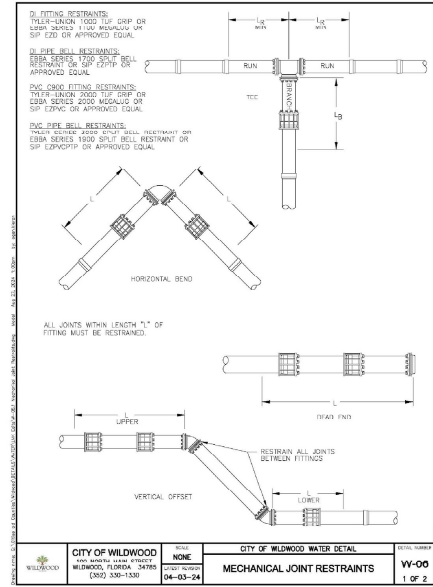
| | | | |
|---|---------------|---|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL TYPE A - YIELD CONDITION BEDDING AND TRENCHING DETAIL | REVISED NUMBER W-03 1 OF 1 |
|---|---------------|---|----------------------------------|



| | | | |
|---|---------------|---|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL TYPE B - GRI-COMPOSITION BEDDING AND TRENCHING DETAIL | REVISED NUMBER W-04 1 OF 1 |
|---|---------------|---|----------------------------------|



| | | | |
|---|---------------|--|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL SEPARATION OF WATER MAINS | REVISED NUMBER W-05 1 OF 1 |
|---|---------------|--|----------------------------------|



| | | | |
|---|---------------|--|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL MECHANICAL JOINT RESTRAINTS | REVISED NUMBER W-06 1 OF 2 |
|---|---------------|--|----------------------------------|

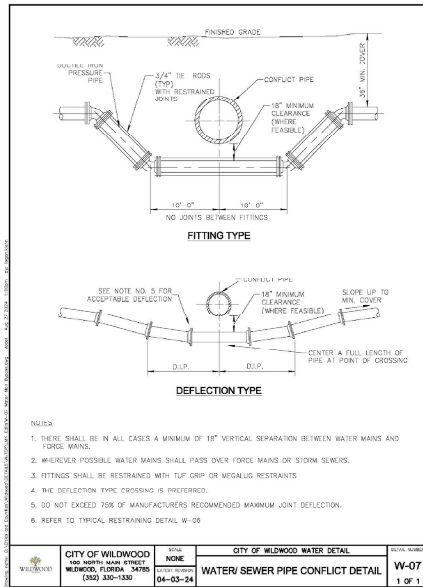
MINIMUM LENGTH OF PIPE "L" (FEET) TO BE RESTRAINED
(SOURCES: FEMA REINFORCEMENT LENGTH CALCULATION PROGRAM FOR PIPE RELEASE 3.1, AND DPMR TAPREST RESTRAINT FOR DUCTILE IRON PIPE RELEASE 3.2)

| FITTING TYPE | PIPE SIZE | | | | | | | | | | | |
|---------------------|-----------|----|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| | 4" | 6" | 8" | 10" | 12" | 15" | 18" | 24" | 30" | 36" | 42" | 54" |
| 90° HORIZ. BEND | 17 | 24 | 31 | 37 | 43 | 49 | 55 | 68 | 78 | 89 | 99 | 110 |
| 45° HORIZ. BEND | 9 | 9 | 6 | 7 | 8 | 9 | 10 | 11 | 13 | 15 | 16 | 18 |
| 22.5° HORIZ. BEND | 3 | 3 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 |
| 45° VERT. OFFSET | 16 | 22 | 29 | 34 | 41 | 46 | 52 | 64 | 74 | 85 | 95 | 106 |
| LOWER BEND | 7 | 10 | 13 | 15 | 18 | 20 | 23 | 28 | 32 | 37 | 41 | 46 |
| UPPER BEND | 7 | 12 | 15 | 17 | 20 | 22 | 25 | 31 | 36 | 41 | 46 | 51 |
| 11.25° VERT. OFFSET | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 13 | 15 | 16 | 18 |
| UPPER BEND | 4 | 5 | 6 | 7 | 8 | 11 | 12 | 14 | 16 | 18 | 22 | 24 |
| LOWER BEND | 2 | 2 | 3 | 4 | 4 | 5 | 7 | 7 | 8 | 9 | 9 | 9 |
| UPPER (SLOPE BEND) | 28 | 30 | 33 | 36 | 39 | 42 | 45 | 49 | 53 | 57 | 61 | 65 |
| LOWER (SLOPE BEND) | 38 | 39 | 42 | 45 | 48 | 51 | 54 | 58 | 62 | 66 | 70 | 74 |
| VALVE | 47 | 4 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| TEE | 87 | 4 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| (BRANCH REST.) | 127 | 4 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 147 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 167 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 187 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 207 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 227 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 247 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 267 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 287 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 307 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 327 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 347 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 367 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 387 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 407 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 427 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 447 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 467 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 487 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 507 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 527 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 547 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 567 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 587 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 607 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 627 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 647 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 667 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 687 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 707 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 727 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 747 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 767 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 787 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 807 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 827 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 847 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 867 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 887 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 907 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 927 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 947 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 967 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| 987 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
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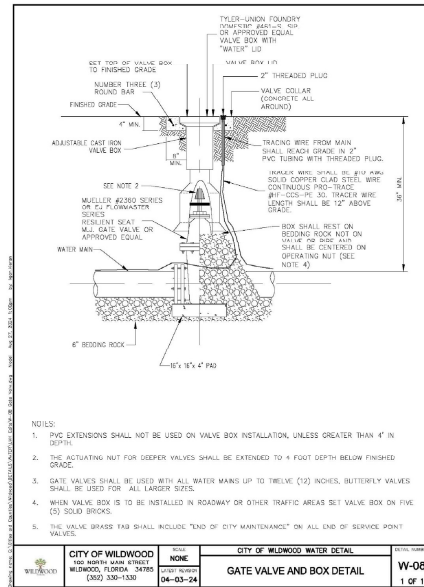
NOTES:

- THE DATA IN THE ABOVE TABLE ARE BASED UPON THE FOLLOWING INSTALLATION CONDITIONS:
SOIL TYPE - GP
TRENCH TYPE - A
TEST PRESSURE - 150 PSI
VERTICAL OFFSET - 3"
- THE RESTRAINED PIPE LENGTHS APPLY TO DUCTILE IRON AND PVC PIPE.
- ALL JOINTS BETWEEN FITTINGS AND LONGER SIZES SHALL BE RESTRAINED.
- RESTRAINED PIPE LENGTHS FOR VALVES APPLY TO PIPE ON BOTH SIDES OF VALVES.
- THIS TABLE IS FOR SP SOILS. THE ENGINEER IS TO BE NOTIFIED IF OTHER TYPE SOILS ARE ENCOUNTERED.
- ALL FITTINGS SHALL BE RESTRAINED PER THE LENGTHS AS CALLED FOR IN THE ABOVE REFERENCED TABLE. THE COVER FOR THESE RESTRAINED JOINTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PIPE.
- ANY CALL OUTS AS NOTED ON THE PLANS FOR "TAP GRIP" RESTRAINTS OR "MULLIGAN" ARE IN ADDITION TO THOSE AS NOTED AND CALLED FOR IN THE ABOVE TABLE.

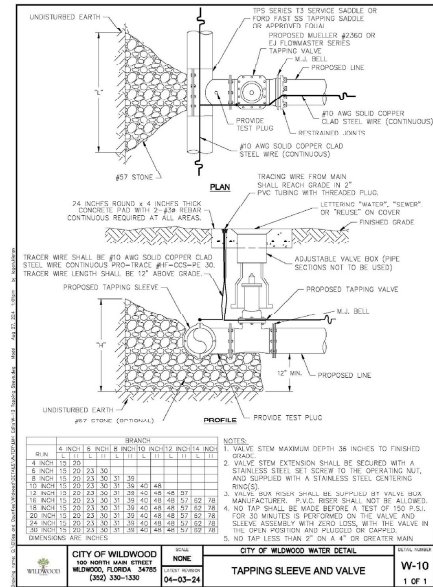
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|---|---------------|--|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL MECHANICAL JOINT RESTRAINTS | REVISED NUMBER W-06 2 OF 2 |
|---|---------------|--|----------------------------------|



| | | | |
|---|---------------|---|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL WATER SEWER PIPE CONFLICT DETAIL | REVISED NUMBER W-07 1 OF 1 |
|---|---------------|---|----------------------------------|



| | | | |
|---|---------------|--|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL GATE VALVE AND BOX DETAIL | REVISED NUMBER W-08 1 OF 1 |
|---|---------------|--|----------------------------------|



| | | | |
|---|---------------|---|----------------------------------|
| CITY OF WILDWOOD 1400 NORTH MAIN STREET WILDWOOD, FLORIDA 34785 (882) 330-1330 | ISSUE NONE | CITY OF WILDWOOD WATER DETAIL TAPPING SLEEVE AND VALVE | REVISED NUMBER W-10 1 OF 1 |
|---|---------------|---|----------------------------------|

TYPICAL WATER DETAILS

UF HEALTH OXFORD FSED FLORIDA

WILDWOOD

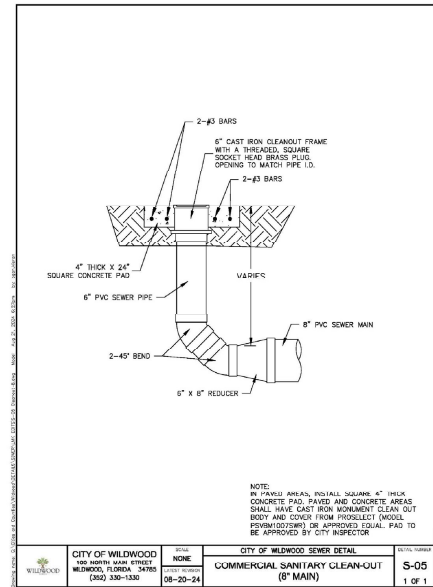
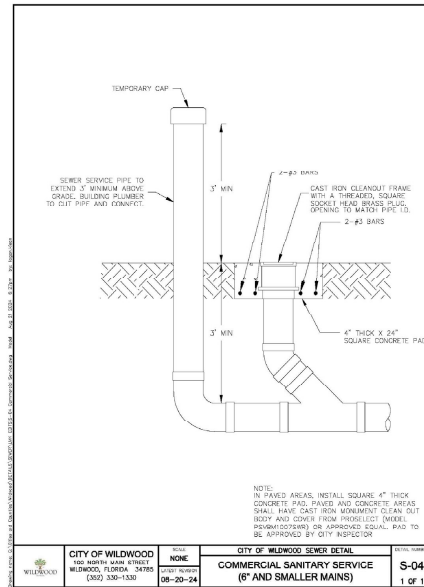
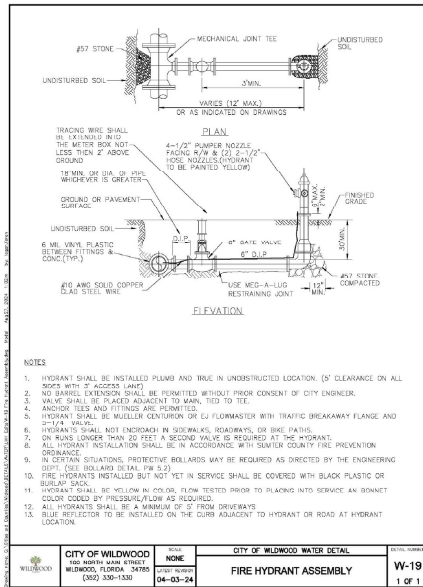
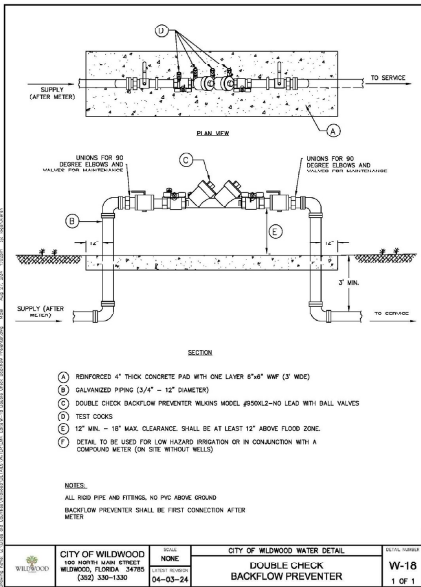
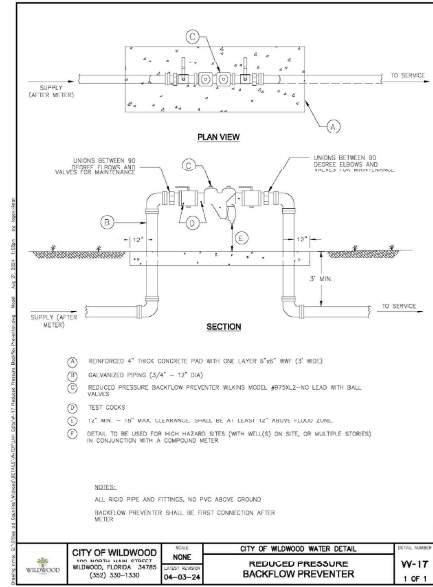
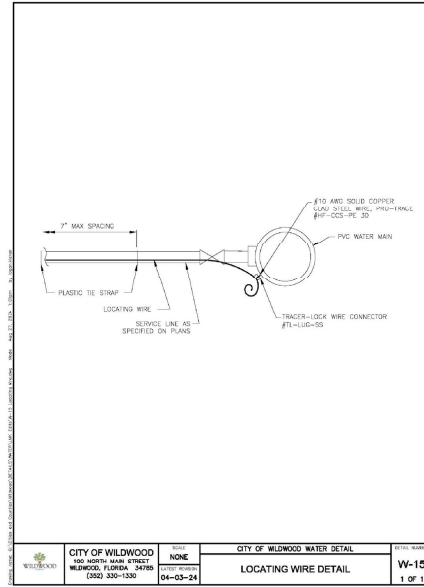
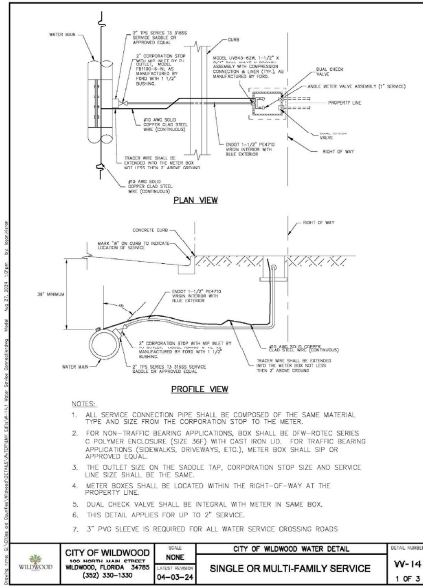
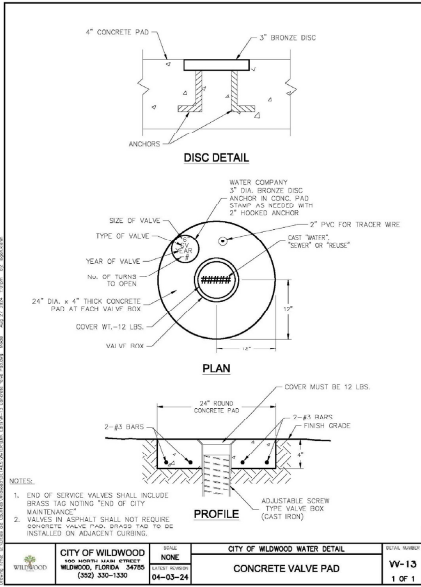
SHEET NO. **C6.2**

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STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

R.S.H.
OXFORD K.E.R.
S.M.G. N.T.S.
DATE: 2/27/23
PROJECT NO. 24119

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STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

R.S.H.
OWNER: K.E.R.
SCALE: N.T.S.
DATE: 2/27/23
PROJECT NO: 24119

TYPICAL WATER & SEWER DETAILS

UF HEALTH OXFORD FSED

WILDWOOD

SHEET NO:
C6.3

INSTALLATION AND MAINTENANCE NOTES

- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and the performing of all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintenance of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, bearing relationships to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to avoid any misunderstanding and facilitate a trouble free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is re-inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", as published by the Florida Department of Agriculture and Consumer Services, most current edition.
- All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
- All trees 6" or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- Planting soil shall consist of the existing soil amended if required.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida and City of Wildwood fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.
- All plants shall be watered thoroughly when planted.
- Sod shall be well matted with grass roots. The sod shall be taken up in rectangles preferably 12" by 24" a minimum of 2" in thickness, and shall be reasonably free of weeds and other grasses and shall have a soil mat of sufficient thickness adhering firmly to the roots to withstand all necessary handling. The sod shall be shaded and kept moist until it is planted. Damaged sod will be rejected. Replanting shall be done within 48 hours after time of harvesting or kept damp until planted.
- Sodding schedule:
 - All lawn areas shall be planted with a species specified by the Owner (limits determined by Owner).
 - Soft spots and irregularities in grade shall be corrected before starting work.
 - Lay sod without voids. Thoroughly water after planting. The surface shall be true to finish grade lines and even and firm at all points.
 - Place sod with staggered joints closely butted, tapered or rolled to an even surface. Erosion control measures are mandatory in swales, bights of ways, or any other areas subject to erosion.
- All shrub areas and areas to be sodded will be automatically irrigated. Verify areas to be irrigated with owner prior to commencing work.
- Contractor shall clean up and remove from the premises all surplus materials and rubbish.
- All shrubs and sod shall be guaranteed for one hundred eighty (180) days after final acceptance of the final phase by owner. All trees shall be guaranteed for one (1) year after final acceptance of the final phase.
- Protective barricades shall be placed around all protected trees to be saved and shall remain in place until construction is complete. Barricades shall be constructed as detailed.
- Final Inspection will not take place until all materials have been planted/installed properly.
- Contractor will be notified by letter of the final acceptance of each phase within ten (10) days after final phase inspection or ten (10) days after reinspection should that be necessary.
- Upon final notice of final acceptance of each phase, the owner will assume maintenance.
- If trees are wrapped in burlap and wire, remove wire and burlap from the surface of the root ball.

Landscape Notes:

All plant material to be Florida #1 or better as defined in the Florida Grades and Standards for Nursery Plants, most current edition.

Required canopy trees shall have a single straight trunk to a minimum of four feet (4'), and a minimum DBH of two inches (2"), and be a minimum of eight feet (8') tall at the time of planting.

Required ornamental trees may be single stemmed or multi-stemmed, a minimum DBH of two inches (2"), and be a minimum of eight feet (8') tall at the time of planting.

Required shrubs and hedges shall have a container size of 3 gallon minimum, have a minimum height of 30 inches (30") at the time of planting and shall reach an average height of three feet (3') within 1 year of planting. When a continuous hedge is required, the plants shall be planted at a maximum spacing of thirty inches (30") on center.

Landscape plants and features that are not required by code shall be optional to install at owner's discretion without plan revision.

All Landscape trees to be from preferred tree list or approved alternatives.

All landscape shrubs to be from preferred shrub list or approved alternatives.

Installation of trees and shrubs shall comply with standard nursery practice.

Landscape to meet all applicable Florida Friendly and City requirements.

Required landscape buffers to utilize existing plant material where applicable.

All landscape planting in the WRAs will be above the designated high water elevation.

See engineering plans for details and dimensions.

Ground cover hatch patterns illustrate differences in mass planted areas, hatch pattern is not associated with any particular ground cover type.

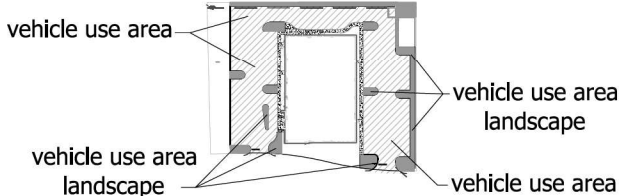
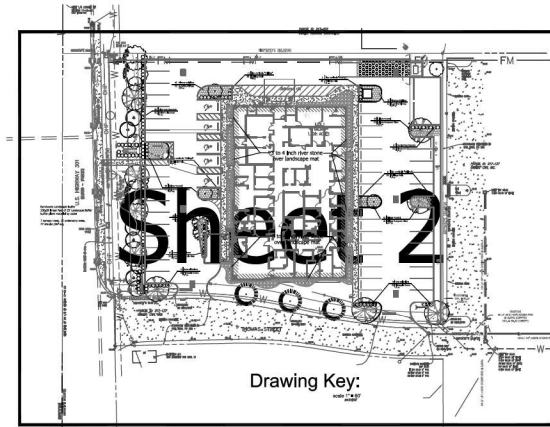
Minor changes to tree locations are possible to avoid conflict with Photometric plan.

All landscaped areas will be 100% irrigated by an automatic system.

Trees with invasive root systems will maintain a 12' setback from utilities.

All foundation plantings to be a minimum of 3' from building walls.

No protected trees to be removed.



Vehicle Use Area Diagram

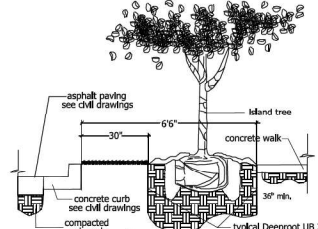
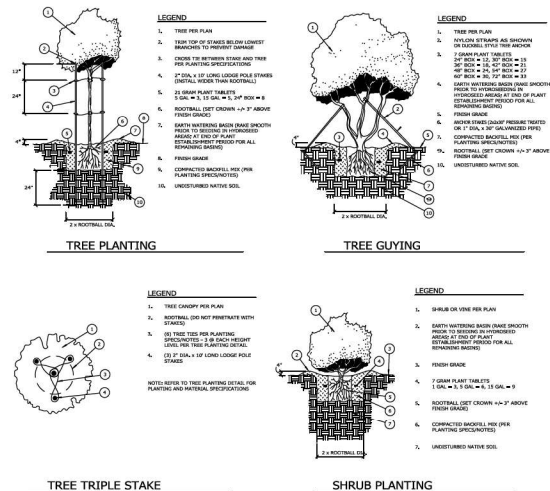
Landscape Area Within Vehicle Use Areas:

Vehicle use area: 26,816 sf. Landscape area required (10%) = 2,681 sf.
Landscape area provided (15.5%) = 5,490 sf (see diagram)

Tree Symbol Legend:

- 1 Quercus virginiana
Live Oak
- 1 Acer rubrum
Florida Flame Red Maple
- 1 Taxodium distichum
Bald Cypress
- 1 Ilex attenuata 'Eagleston'
Eagleston Holly
- 1 Lagerstroemia indica
Muscooge Crape Myrtle
- 1 Sabal palmetto
Sabal Palm

Planting Details:



Island Tree Planting With Root Barrier Detail
not to scale

Plant List:

| Quantity | Common Name | Scientific Name | Soil Moisture Range | Native | Spacing | Notes |
|---------------------|--|-------------------------------------|---------------------|--------|----------|------------------------------|
| TREES | | | | | | |
| 9 | Southern Live Oak | Quercus virginiana | L, M | Yes | as shown | 2" DBH, 8'x4' |
| 3 | Bald Cypress | Taxodium distichum | L, M | Yes | as shown | 2" DBH, 8'x4' |
| 2 | Cabbage palm, sabal palm, cabbage palmetto | Sabal palmetto | L, M | Yes | as shown | regenerated head, sick trunk |
| 3 | Florida Flame Red Maple | Acer rubrum | L, M | Yes | as shown | 2" DBH, 8'x4' |
| 6 | Muscooge Crape myrtle | Lagerstroemia indica 'Muscooge' | L, M | No | as shown | 2" DBH, 8'x4' |
| 7 | Eagleston Holly | Ilex attenuata 'Eagleston' | L, M | Yes | as shown | 2" DBH, 8'x4' |
| SHRUBS | | | | | | |
| 10 | Loropetalum Purple Flare | Loropetalum chinense 'Purple Flare' | L, M | No | 3' oc | 3G, 30" |
| 16 | Pineapple Guava | Acca sellowiana | L, M | No | 3' oc | 3G, 30" |
| 30 | Shillings Holly | Ilex vomitoria 'Shillings Dwarf' | L | Yes | 3' oc | 3G, 30" |
| 8 | Simpson stopper, Iwi-berry | Myciartnes fragrans | L, M | Yes | 3' oc | 3G, 30" |
| 93 | Walters's viburnum | Viburnum obtovatum | L, M, H | Yes | 3' oc | 3G, 30" |
| GROUND COVER | | | | | | |
| 189 | Liriope Evergreen Giant | Liriope muscari 'Evergreen Giant' | L | No | 24" oc | 1G |
| 96 | Sunshine Mimosa | Mimosa stipulacea | M | Yes | 24" oc | 1G |
| SOD | | | | | | |
| 9284 sf | Argentine Baha | Paspalum notatum | L, M | No | | sod |

HUFFSTETLER
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Digitally signed by Leslie R. Huffstetler
Date: 2025.05.18 12:55:09 -0400

Landscape Plan

UF Health Oxford
Wildwood, Florida

scale: N/A when plotted on 24" x 36" sheet
sheet: L1 of 2



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IRRIGATION DESIGN NOTES

A. GENERAL NOTES

1. The plans and drawings are diagrams of the work to be performed. The work shall be executed in a manner so that conflicts with utilities and other elements of construction, including landscape materials. Any and all deviations shall be brought to the attention of the owner or owners representative. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings when it is obvious in the field that circumstances, grade differences, or discrepancies exist that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will assume full responsibility for any revisions.

2. Irrigation system shall be installed in accordance with the plans, Irrigation System Specifications and all contract documents. Contractor shall comply with all prevailing local codes, ordinances and regulations.

3. Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and/or new plantings to avoid conflicts with location, piping, sloping, cables and service utilities. The irrigation contractor is responsible for coordinating installation with all other construction on the specifically landscaped installations. Irrigation systems to be relocated for no additional cost for any conflict with landscape installation or for any other site construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will be accepted. All piping and other components are to remain within the property of the OWNER.

4. Where existing or new trees, light standards, signs, electronic controllers and/or other objects are on obstruction to an Irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. The Landscape Architect or representative is to determine if obstruction occurs or not.

5. Component spacing to maximum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacing does not exceed the spacing shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.

6. All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by the manufacturer.

7. Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operating layout as long as the modified spacing does not exceed the spacing shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage or existing native vegetation.

8. Contractor to provide installation shop drawings and manufacturer product information for all Irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and summary sheets shall not be used for bidding purposes. The contractor will be responsible for rounding a comprehensive takeoff of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.

9. All trenches shall be backfilled with clean, debris-free materials. Clean sand shall be used for bedding materials. Trench soil cannot adequately fill of rock or other extraneous debris. Pulling pipe may be utilized where applicable.

10. All solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.

11. Contractor and label number all zone valve covers with corresponding controller zone number and location valve box with recording drawing details.

B. MAINLINE & PIPING

1. All Irrigation main(s) & sub main(s) and lateral piping shall be CLASS 200 PVC Purple Pantone (Reclaimed) pipe with glue fittings. All

C. SLEEVING

1. All sleeves SCH 40 PVC size as per plan. All sleeves to be twice the diameter of piping to be sleeved.

2. Irrigation controller shall coordinate with general contractor for the location of sleeving crossings whether shown or not. At no time shall sleeving cross the same sleeve with main(s) or other piping unless sleeving is installed in conduit inside of sleeve for protection.

D. ISOLATION VALVES

1. Not applicable on this project

E. QUICK COUPLER VALVES

1. Not applicable on this project

F. CONTROL SYSTEM WEATHERMATE SL-1600 Rain-Sensor

SL1600 CONTROLLER(S) shall be model SL1600 as manufactured by Weathermate; Sprinkler Division of Telco Industries, or approved equal. Controller(s) shall be modular.

OPERATION: Controller shall be capable of standard time-based watering or auto adjust watering lines when equipped with an optional SLW weather monitor manufactured by Weathermate. Auto Adjust watering shall be based on real time, on-site weather data and system rainfall data entered by the user. Auto adjust timing shall be based on the proprietary ET calculation formula. Controller shall provide reversible watering cycles, scheduled run times by zone and a total run time relay for each zone which is resettable by the user. A more or less function shall be provided to allow in time adjustment by zone for shade/light, system efficiency and other local factors. Auto adjust mode shall also include automatic calculation of runtimes based on both soil type and zone elevation.

Each pump shall have eight independent start times, calendar schedules, watering budgets by month and a schedule for verifying all precipitation rates.

Controller shall have a pump start/stop valve position which will be programmable to operate on demand for any selected zone. A programmable safety delay shall be included for zone to zone delay and master valve to zone delay for operating and closure.

Controller shall have input for rain and freeze sensor devices. Use of the optional SLW weather monitor shall incorporate the rain and freeze shutdown functions and shall incorporate a 48 hour delay after closure of the rain sensor switch.

Controller shall have self-diagnostic capabilities to detect "short" or "open" zones and the ability to display lists of faults on an LCD display for the user. Diagnostics shall also include LCD display of voltage readings by zone and for transformer output as well as backup battery reading. A chatter function shall also be provided to assist in locating buried valves. The controller shall automatically prevent master valve opening or pump start when the valve locator diagnostic is used.

Display shall be backlit for clear viewing in all lighting conditions. Zone timing shall be settable from 1 minute to 9 hours and 55 minutes.

Program D shall operate concurrently with programs A, B, and C. Programs A, B, and C shall check in sequence of start time operation.

Program schedules shall include options for days of the week, odd date, even date and an interval of 1 to 30 days. A "no water" schedule shall be available to inhibit daily operations of a program between two selected times on a given day combination of up to 7 specified calendar dates or specific days of the week. Adjustments for leap year shall be automatic.

Manual operation shall be provided by program, by station, or on a programmable test program with durations from ten (10) seconds to ten (10) minutes. The programmable test program shall also check for short and open conditions on each zone each time it runs.

Non-volatile memory shall retain all programming and real-time clock shall be provided to maintain date and time.

CONSTRUCTION: Controller shall be enclosed in a U.L., C.E. and C-Mark, Listed rainproof plastic enclosure with optional key lock. The enclosure shall be used for outdoor or indoor use. Enclosure shall be a wall mount (optional model) with removable knockouts on the lower side and back of the housing for choice of wiring location. The opening panel shall be a totally enclosed knockout that is removable from the housing for programming a separate location. A test point for 24V ac, operation shall be accessible with or without the opening panel. Zone modules (SLM) shall be self-contained modules that can be installed without turning off the power to the unit and programming of the zones shall not be required. Module wiring connections shall be of the type that allow insertion of solid wires without any tool. Each module shall contain its own surge protection.

ELECTRIC: Controller shall be completely electric in operation. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from an independent power supply. Primary shall be 115V ac, 60Hz or 230V, 50Hz.

WARRANTY: Controller shall have a manufacturer's limited warranty of three (3) years.

G. RAIN SENSOR SmartRain® Weather Stations SLWS

WEATHER STATION(S) shall be model SLWS manufactured by Weathermate; Sprinkler Division of Telco Industries. Weather stations must be compatible for use with SmartLine Irrigation controls.

CONSTRUCTION: Weather station shall be wireless in design using radio-frequency communication. Weather station shall have integrated enable sensors for rain-out-of, freeze shut-off and substitution of daily evapotranspiration irrigation deficits. Weather station shall have an integral mounting bracket with a two-point articulating arm made from aircraft grade metal. Weather station shall be suitable for outdoor mounting in light-commercial or residential environments. Weather station shall be capable of two-way communications with the SmartLine controls and have independent power supply, self-diagnostic trouble and troubleshooting.

OPERATION: Weather station rain sensor shall be adjustable to Internet Irrigation after a user selected precipitation amount of 1/8", 1/4" or 1/2". Weather station shall be capable of interrupting irrigation after temperatures reach below 37 degrees Fahrenheit. Weather station shall provide instant notification to the controller of either a rain or freeze event and upon ending of the same. Evapotranspiration deficits shall be calculated daily and transmitted to the SmartLine controller each day.

WARRANTY: Weather station shall have a manufacturer's limited warranty of two (2) years

L. IRRIGATION CONTROL WIRES

1. Irrigation Control wires shall be minimum of 18 Gauge Direct Burial wire approved for use in irrigation.

2. **CONSTRUCTION:** Conductors must be soft drawn, annealed, solid copper conforming to ASTM 33. Controller insulation must be polyvinyl chloride (PVC) conforming to UL #443.

Multiple insulated conductors shall be laid in and enclosed in a single outer jacket of thick, high-density, sunlight resistant polyethylene conforming to IEC6A 545-402 and NEMA WCS. The conductors must be color-coded: normally one conductor wire for common and the other three colored. All conductors shall be the same size.

A. REMOTE CONTROL VALVES Hunter ICV® Filter Safety

The valve shall be available in a globe body style with 1 inch Female National Pipe Thread (NPT) inlet and outlet. The 3/8" inlet shall be available in a combination globe/angle configuration. When specified, the valve shall be configured with British Standard Pipe threads. The valve shall be equipped with a flow control mechanism with removable handle that will regulate flow from full on to completely off. When specified for use with reclaimed water, a retained water filter/strainer handle shall be available.

The body and bonnet shall be molded of non-corrosible, glass-reinforced nylon, rated to 220 PSI (15 bars, 1500 KPa). The body of the valve shall have brass inserts, with through-holes, which will accept the bonnet bolts. The bonnet bolts shall be available with a slotted screwdriver, Phillips screwdriver, or a hex wrench, and shall be held captive in the bonnet when the bonnet is removed from the valve body. The diaphragm assembly shall be molded EPDM construction, reinforced with nylon fabric and have a EPDM sealing membrane. The valve shall be equipped with an internal filter as well as a self-cleaning metering rod, so only clean water can enter the solenoid chamber. An optional filter cleaning system that cleans a stainless steel filter each time the valve opens and closes shall be available. All metal parts internal to the valve shall be manufactured from corrosion-resistant stainless steel.

The standard solenoid shall be 24 VAC with a 370mA Inrush current and 180mA holding current at 60 cycles and a 475 mA Inrush current and 230 mA holding current at 50 cycles. When specified, the unit shall be equipped with a DC latching solenoid for use with battery-operated controllers. The solenoid shall be an encapsulated, one-piece unit with captive plunger. It shall be equipped with manual internal and external bleed capability to release the upper chamber water to the downstream piping, or to atmosphere, allowing the valve to open.

The valve shall carry a five-year, exchange warranty (not promoted). The valve shall be manufactured by Hunter Industries Incorporated, San Marcos, California.

B. VALVE & SPLICE BOXES

1. All valve boxes shall meet specifications, be sized 1" valves in 7" valve box 1.5" and longer valves in 10 inch valve boxes. Boxes shall be installed as shown and detailed herein. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.

K. POP-UP SPRAY HEADS Hunter PRO Series PPS 40 PSI as per plan

The sprinkler shall be available with a 6 or 12-inch pop-up stroke, depending on the body specified, to bring the nozzle into a clean environment. The sprinkler shall be available as an aboveground shrub head. The sprinkler shall have the option of either a factory-installed or field-adjustable nozzle. Top of valve boxes shall be flush and level with grade when installed. Contractor to reinstall and re-level boxes if soil settling occurs.

The sprinkler shall have a standard pressure-regulating device as an integral part of the pop-up head. This regulator will prevent fogging or misting of the nozzle spray pattern by maintaining a constant nozzle outlet pressure of 30 PSI for use with Spray Nozzles and constant nozzle outlet pressure of 40 PSI for MP Rotator Nozzles with inlet pressures of up to 100 PSI, regardless of the radius of the nozzle.

The body of the sprinkler shall be constructed of corrosion and UV-resistant, heavy-duty A.B.S. The floor of the sprinkler shall be constructed of abrasion and UV-resistant A.B.S. and shall be adjustable for pattern alignment. The floor shall be compatible with threaded nozzles and shall have a stainless steel spring for positive retraction when irrigation is complete.

The sprinkler shall have a pressure-activated, multi-function, UV stable valve seal that will clean debris from the pop-up stem while it retracts. The seal shall be molded around a rigid plastic ring to prevent seal deformation. This seal shall prevent the sprinkler from sinking in the up position and be capable of sealing the sprinkler floor stem to the sprinkler cap under normal operating pressures. The seal shall be removable from the cap for easy service and shall be replaceable.

The sprinkler shall have a factory-installed, removable flush cap with a pull-up tab that shall prevent debris from entering the sprinkler during installation and allow the system to be flushed before installing the nozzle. The flush cap shall have a directional flushing action that allows the water to escape only in one direction. The flush cap shall open as the stem extends and completely close when the stem is in its retracted position.

The sprinkler shall have an exposed surface diameter after installation of 2-1/4 inches (6.35 cm). In addition, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers shall be available with a 1/2-inch FNPT side inlet. When specified with a factory-installed check valve, the 6-inch (15 cm) and 12-inch (30 cm) sprinklers will be supplied without the side inlet. The sprinkler shall carry a five-year, exchange warranty (not promoted).

The sprinkler shall be manufactured by Hunter Industries Incorporated, San Marcos, California.

2. Hunter MP Rotator Nozzles
The sprinkler shall produce and maintain a matched precipitation rate no greater than 0.6" per hour throughout the arc adjustment range and radius adjustment range, (up to 25% of radius reduction), when spaced at 50% of wetted diameter.

The part drive sprinkler shall have an infinitely adjustable arc from 45° to 105°, 90° to 210° or between 210° to 270° depending on the model selected. The full drive sprinkler shall irrigate a full 360°. The 45° to 105° model shall not require coverage from adjacent sprinklers closer than 3' from the head.

Full arc drive sprinklers shall be capable of up to 25% radius reduction using a stainless-steel radius adjustment screw. The radius reduction screw shall have a slip clutch mechanism to prevent internal damage if turned past the minimum or maximum radius settings. The radius reduction screw shall reduce the pressure and flow upstream of the adjustable offset thereby maintaining stream integrity.

Part drive sprinklers shall have an adjustment capability using a stainless-steel offset. The adjustment dial shall be effective only while the sprinkler is popped up and shall be ineffective while the sprinkler is popped down. When turned past the minimum or maximum arc limits the adjustment mechanism shall have a ratcheting action to prevent internal damage.

This same ratcheting action shall allow the orientation of the left edge of the vertical arc when installed on a fixed riser in a pop-up body. This is independent of and in addition to any ratchet that may exist in a pop-up body.

The sprinkler head shall pop-up at approximately 15 psi of water pressure. Upon cessation of water pressure, the sprinkler head shall retract. When installed in a pop-up body the sprinkler head shall pop-up after the body stem is almost fully extended. Upon decreasing pressure, the sprinkler head shall pop-down before the pop-down of the body stem is complete.

The sprinkler adjustable offset shall be manufactured from polyurethane and acetyl plastic materials for durability.

The sprinkler shall be fitted with a detachable filter.

Sprinkler Assembly models MP Corner, MP Side Stk, MP Lat Stk, MP Right Stk, MP100, MP300, MP300A, MP300B shall be able to be installed in pop-up bodies having a 5/8-27 UNS male threaded stem, at all common pop heights.

Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-27 UNS male threaded adapter for use on fixed flow stems. Models MP Corner, MP Side Stk, MP Lat Stk, MP Right Stk, MP100, MP300, MP300A, MP300B, MP200H1 & MP200H2 shall be able to be installed in pop-up spray head bodies having a 5/8-28 UNS female threaded stem, at all common pop heights. Sprinkler Assembly shall also be able to be attached to a 1/2 FNPT x 5/8-28 UNS female threaded adapter for use on fixed flow stems.

L. DripLine Tubing Hunter HDL - 1
The Hunter DripLine (HDL) family of products includes HDL-PC, HDL-CV, and HDL-R. HDL provides constant irrigation at designated flows and emitter spacing and conforms to an inside diameter (ID) of 0.600" (14.2 mm) and an outside diameter (OD) of 0.607" (16.8 mm). The HDL-CV incorporates a check valve function that will hold back up to 6" (1.5 m) of elevation (2.0 PSI, 0.2 bar check valve).

2. Filter/cover: constructed, pressure-compensating HDL dripLine manufactured by Hunter Industries. Pressure-compensating filter emitters installed during extrusion process at factory shall have regular intervals and flows as specified by model.

DripLine shall be available in the following options:

M. Contractor to provide to provide static pressure reading from water source to Landscape Architect prior to construction of Irrigation system. System design based on typical information for systems in Florida of 65 PSI static pressure at 18 GPM at point of connection designated on plan.

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | PSI |
|--------|---|---------|-----|
| 1 | Hunter IC2-101-254-FAR 1" Drip Control Zone Kit, 1in. ICV Globe Valve with 1in. HY100 filter system, Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen. | 5 | 5 |
| 2 | Hunter PL-DEV Manual flush/shut off valve, barbed insert. Typically installed in 1/2in. box, with adequate marking leading to entire valve out of valve box. Use with HDL or other 3/4in. diameter. | 14 | |
| 3 | Hunter ECO4D-12 ECO4D: 1/2in. FIPt connection with 15 psi - 100 psi operating pressure. Specify with Hunter SU swing fitting. | 5 | |
| 4 | Hunter HDL-20-12-220-R Rig Drip Ring 2 Row 13 Drip Line | 55 | 25 |
| 5 | Area to Receive DripLine Hunter HDL-20-12-220-R HDL-20-12-220-R Hunter DripLine with 0.2 GPH flow. Light brown tubing with black striping. Emitters at 12" O.C. DripLine emitters spaced at 12" apart, with emitters offset for irregular pattern. Install with Hunter PL-D barbed or PL-DA O.C. fitting. | 3,094 # | 25 |

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
|--------|---|-----|
| 6 | Hunter ICV-64-RS 1" 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use, With Filter Safety. | 6 |

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
|--------|---|-----|
| 7 | Hunter MP3000 PRO-360-PR540-CV-F-R B Turf Rotator, 6in. pop-up with factory installed check valve, fogged, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body, Blue/Blue adj arc 90-210, Yellow adj arc 210-270, A-Gray 360 arc. | 10 |
| 8 | Hunter MP600SR PRO-360-PR540-CV-F-R ADJ Turf Rotator, 6in. pop-up with check valve, fogged, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body, ADJ Change and Gray (arc 90-210), 360/Arc Green and Gray (arc 360) | 10 |
| 9 | Hunter MP1000 PRO-06-PR540-CV-F-R M Turf Rotator, 6in. pop-up with check valve, fogged, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body, M/Maroon adj arc 90 to 120, L/Light Blue 210 to 270 arc, O-Blue 360 arc. | 9 |
| 10 | Hunter MP2000 PRO-360-PR540-CV-F-R K Turf Rotator, 6in. pop-up with factory installed check valve, fogged, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body, Red/Black adj arc 90-210, G/Green adj arc 210-270, R/Red 360 arc. | 28 |
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SHEET HAS BEEN OPTIMIZED FOR COLOR PRINTING

SHEET HAS BEEN OPTIMIZED FOR COLOR PRINTING

GRAPHIC SCALE: 1/8" = 1'-0"
 GRAPHIC SCALE: 1/8" = 1'-0"
 GRAPHIC SCALE: 3/32" = 1'-0"
 GRAPHIC SCALE: 1/8" = 1'-0"
 GRAPHIC SCALE: 1/4" = 1'-0"
 GRAPHIC SCALE: 3/8" = 1'-0"
 GRAPHIC SCALE: 1/2" = 1'-0"
 GRAPHIC SCALE: 3/4" = 1'-0"
 GRAPHIC SCALE: 1" = 1'-0"
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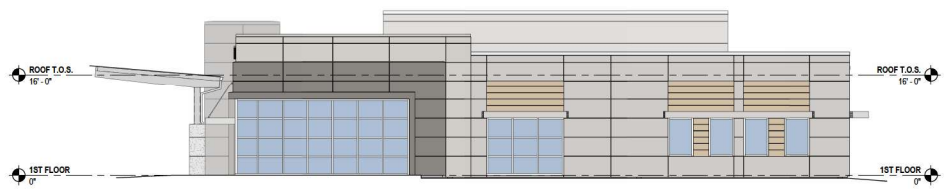
A WEST ELEVATION
SCALE: 1/8" = 1'-0"



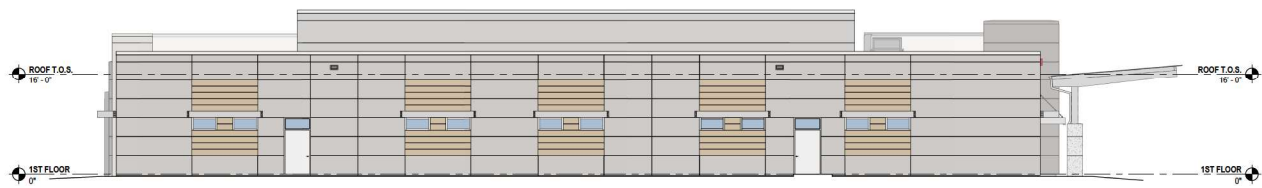
A2 WEST ELEVATION - ENTRANCE CANOPY
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

| | |
|---------------------------------|-----------------------------------|
| EPS - COLOR 1 | COMPOSITE METAL PANEL - WOOD LOOK |
| EPS - COLOR 2 | INSULATED VISION GLASS |
| COMPOSITE METAL PANEL - COLOR 1 | INSULATED SPANDREL GLASS |
| COMPOSITE METAL PANEL - COLOR 2 | HAND RUBBED CONCRETE |



B SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



C EAST ELEVATION
SCALE: 1/8" = 1'-0"



D NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ES&A
Earl Swenson Associates, Inc.
James Todd Robinson, Architect
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Firm License Number: AAC001464
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NOT VALID FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION WITHOUT ARCHITECT'S SEAL IS NOT PRESENT

Freestanding Emergency Department
 UF Health Oxford
 #### Street Name -- Wildwood, FL ZIP CODE

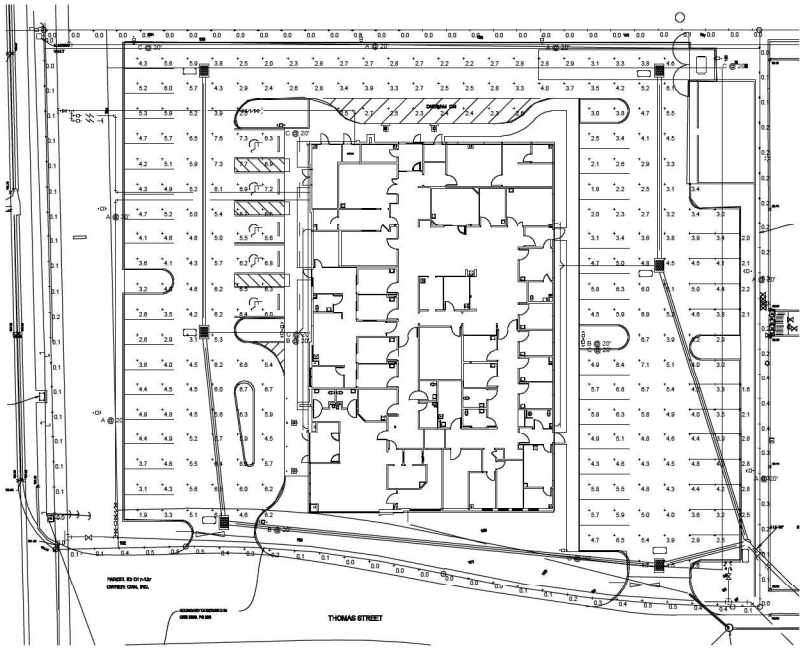
DOCUMENT CHANGES

| Change | Date |
|--------|------|
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Issue Description
Original Issue Date
Project No. 24277.02
Drawn By
Checked By JPK
Drawing Title

EXTERIOR ELEVATIONS
Sheet Number
A2.01

GRAPHIC SCALE: 1/32" = 1'-0"
 GRAPHIC SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE: 3/32" = 1'-0"
 GRAPHIC SCALE: 1/8" = 1'-0"
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 GRAPHIC SCALE: 1/2" = 1'-0"
 GRAPHIC SCALE: 3/4" = 1'-0"
 GRAPHIC SCALE: 1" = 1'-0"



ELECTRICAL - SITE PLAN - PHOTOMETRICS
 SCALE: 1" = 20'-0"

enfinity ENGINEERING
 214 Commerce Dale, Suite 200
 Nashville, Tennessee 37023
 Phone: 615.577.0993
 Email: Project # 24223
 THOMAS H DANIEL, P.E. No. 10227
 TERRY P. BLAIR, P.E. No. 49243
 FL Engineering Certificate of Authority No. 27378

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NOT VALID FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION WITHOUT ARCHITECT'S SEAL IS NOT PRESENT

D-Series Size 1
 LED Area Luminaires

Specifications:
 Size: 14.5" x 14.5"
 Length: 14.5"
 Width: 14.5"
 Height: 2.5"
 Weight: 2.2 lbs

Introduction:
 The D-Series features a high quality LED chip and a premium aluminum housing with a low power density. D-Series outshines other LED area luminaires in terms of performance, energy efficiency and lower power density. D-Series outshines other LED area luminaires in terms of performance, energy efficiency and lower power density. D-Series outshines other LED area luminaires in terms of performance, energy efficiency and lower power density.

Example: D5X1 LED P4 40K 80CRI TM MVOLT SPA NATARD PIRWV COB20

| Model | Power (W) | Beam Angle (°) | Beam Diameter (ft) | Beam Diameter (m) | Footcandle (fc) | Footcandle (lx) | Mounting Height (ft) | Mounting Height (m) |
|-------|-----------|----------------|--------------------|-------------------|-----------------|-----------------|----------------------|---------------------|
| D5X1 | 10 | 60 | 1.5 | 0.46 | 133.94 | 133.94 | 1.5 | 0.46 |
| D5X1 | 10 | 45 | 2.0 | 0.61 | 103.18 | 103.18 | 2.0 | 0.61 |
| D5X1 | 10 | 30 | 3.0 | 0.91 | 47.76 | 47.76 | 3.0 | 0.91 |

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|-------------------------|--------|--------|--------|--------|---------|---------|
| PARKING AND DRIVE AREAS | + | 4.4 fc | 7.7 fc | 1.5 fc | 5.1:1 | 2.9:1 |
| PROPERTY LINE | + | 0.1 fc | 0.5 fc | 0.0 fc | N/A | N/A |

Schedule

| Symbol | Label | Image | QTY | Catalog Number | Description | Lamp | Number Lamps | Lumens per Lamp | LLF | Wattage | Polar Plot |
|--------|-------|-------|-----|----------------------------|--|------|--------------|-----------------|-----|---------|------------|
| A | A | | 6 | DSX1 LED P4 40K 80CRI BLC4 | D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 4 Extreme Backlight Control | | 1 | 11051 | 0.9 | 123.94 | |
| B | B | | 3 | DSX1 LED P4 40K 80CRI LCCO | D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control | | 1 | 10797 | 0.9 | 123.94 | |
| C | C | | 6 | DSX1 LED P4 40K 80CRI RCCO | D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control | | 1 | 10797 | 0.9 | 123.94 | |

Freestanding Emergency Department
 UF Health Oxford
 #### Street Name - Wildwood, FL ZIP CODE

DOCUMENT CHANGES

| Description | Date |
|-------------|------|
| | |
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| | |

Issue Description: 5/27/23
 Original Issue Date: 5/27/23
 Project No: 24223.02
 Drawn By: JMS Checked By: RLC
 Drawing Title: ELECTRICAL - SITE PLAN - PHOTOMETRICS
 Sheet Number: **E0.04**

UF Health Central Florida

John Maze
Associate Vice President Support Services
UF Health Central Florida
600 East Dixie Avenue
Leesburg, FL 34748

January 27, 2025

Melanie Strickland
Development Services Director – Project Review Committee
City Hall
100 N. Main Street
Wildwood, FL 34785
dsdinfo@wildwood-fl.gov

Subject: Technical Standards Waiver Request for proposed UF Health/Intuitive Health Oxford Freestanding Emergency Department (FSED), Wildwood, FL. Parcel ID D17-134 (north 1.40 acre portion). Project #Pending

Dear Ms. Strickland,

Thank you for taking the time to review the site plan for the proposed UF Health Freestanding Emergency Department (FSED) project in Wildwood, FL. Enclosed, you will find:

- Exhibit A – Site plan detailing the building layout, parking spaces, and the associated floor plan for our proposed facility.
- Exhibit B – Plans from other facilities along with historical parking data for your reference.

1. Description of Waiver Request

We are requesting a waiver to reduce the number of parking stalls required under the City of Wildwood’s LDR 6.6 (G) Table 6-12 Minimum Standards for Off-Street Parking Requirements for Non-Residential Land Uses. Specifically, Table 6-12 requires 1 parking stall per 250 square feet of gross floor area (GFA). Based on the proposed building size of ~14,211 square feet, 57 stalls would typically be required, while our site plan provides 52.

2. Regulation Subsection to be Waived

We are requesting a waiver to LDR 6.6 (G) Table 6-12, which stipulates minimum parking requirements based on GFA, to allow approval of our proposed 52 parking stalls for the Wildwood FSED.

3. Justification for Waiver Request

a. Surplus Parking Based on Historical Operational Data:

Historical data from other UF Health/Intuitive Health FSED locations supports that the proposed parking count will adequately meet operational demands & handle peak patient and staff volumes without exceeding available parking. Across comparable facilities, parking usage is consistently well below the number of provided stalls, even during peak patient volumes. See Exhibit A table attached for more information.

- Campfield Commons (12,490 sq. ft., 65 stalls provided): 27 surplus stalls based on actual usage.
- Dunn Avenue (12,274 sq. ft., 53 stalls provided): 17 surplus stalls based on actual usage.
- Clermont (14,281 sq. ft., 54 stalls provided): 26 surplus stalls based on actual usage.
- Proposed Wildwood (14,200 sq. ft., 52 stalls provided): Estimated 19 surplus stalls based on patient/staff projections.



b. Usable Floor Area (UFA) vs. Gross Floor Area (GFA)

The parking calculation based on GFA overestimates the actual parking demand for this facility. Non-active spaces such as the mechanical/plumbing/electrical rooms do not contribute to occupancy load and therefore do not generate parking demand. Additionally, the square footage of the exterior walls should be discounted. 5 parking stalls can be removed from GFA if these spaces are not included.

Additionally, non-occupied equipment storage, C.T. computer equipment, med. gas tank storage, clean storage, soil holding, EVS, and deliveries breakdown rooms are not typically found in medical office buildings or clinics. Not including these rooms in the parking calculation would further reduce the need for 4 stalls.

Deductions:

1. Exterior walls: 528 SF
2. MPE and TDR spaces: 772 SF
3. Non-occupied equipment storage, C.T. computer equipment, med. gas tank storage, clean storage, soil holding, EVS, and deliveries breakdown rooms: 970 SF
4. Total of items 1-3: 2,270 SF
5. Parking space reduction at 1# per 250 SF, using exterior walls and MPE/TDR spaces only: $1,300/250 = 5$ (rounded)
6. Parking space reduction at 1# per 250 SF: $2,270/250 = 9$ (rounded)

When recalculating parking based on Usable Floor Area (UFA)—which excludes these non-active spaces listed 1-3 above—the required stall count aligns more closely with our proposed 52 spaces. This approach reflects the actual usage patterns observed at our other facilities and ensures that parking supply meets but does not exceed demand.

Given the operational data from existing facilities, the proposed 52 parking stalls will sufficiently serve the Wildwood FSED’s needs. Reducing the requirement to reflect UFA rather than GFA more accurately represents real-world demand and avoids unnecessary overbuilding of parking infrastructure.

Thank you for your consideration of our request. We are confident that the justification provided demonstrates the adequacy of our proposed parking count.

If you have any questions or require additional information, please do not hesitate to contact me.

This letter outlines our formal request for a Technical Standards Waiver related to parking requirements for the proposed Wildwood FSED.

Sincerely,
John Maze
Associate Vice President Support Services
UF Health Central Florida

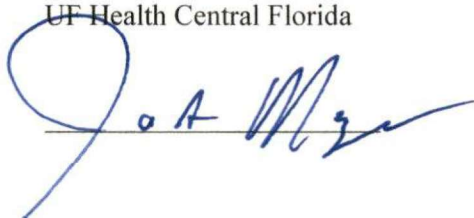


Exhibit B - Historical UF FSED Parking Data & Plans for Reference

UF-Intuitive Health FSED/Urgent Care Parking Statistics

| | | | | | | | Provided Parking | | | |
|---|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Campfield Commons (Greenfield Site) - Jacksonville, FL | | | | | | | | | | |
| Square Feet: 12,490 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 9 | 5 | 16 | 67 | 22 | 38 | 62 | 3 | 65 | 27 |

| | | | | | | | Provided Parking | | | |
|---|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Dunn Avenue (Greenfield Site) - Jacksonville, FL | | | | | | | | | | |
| Square Feet: 12,274 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 9 | 5 | 15 | 64 | 21 | 36 | 50 | 3 | 53 | 17 |

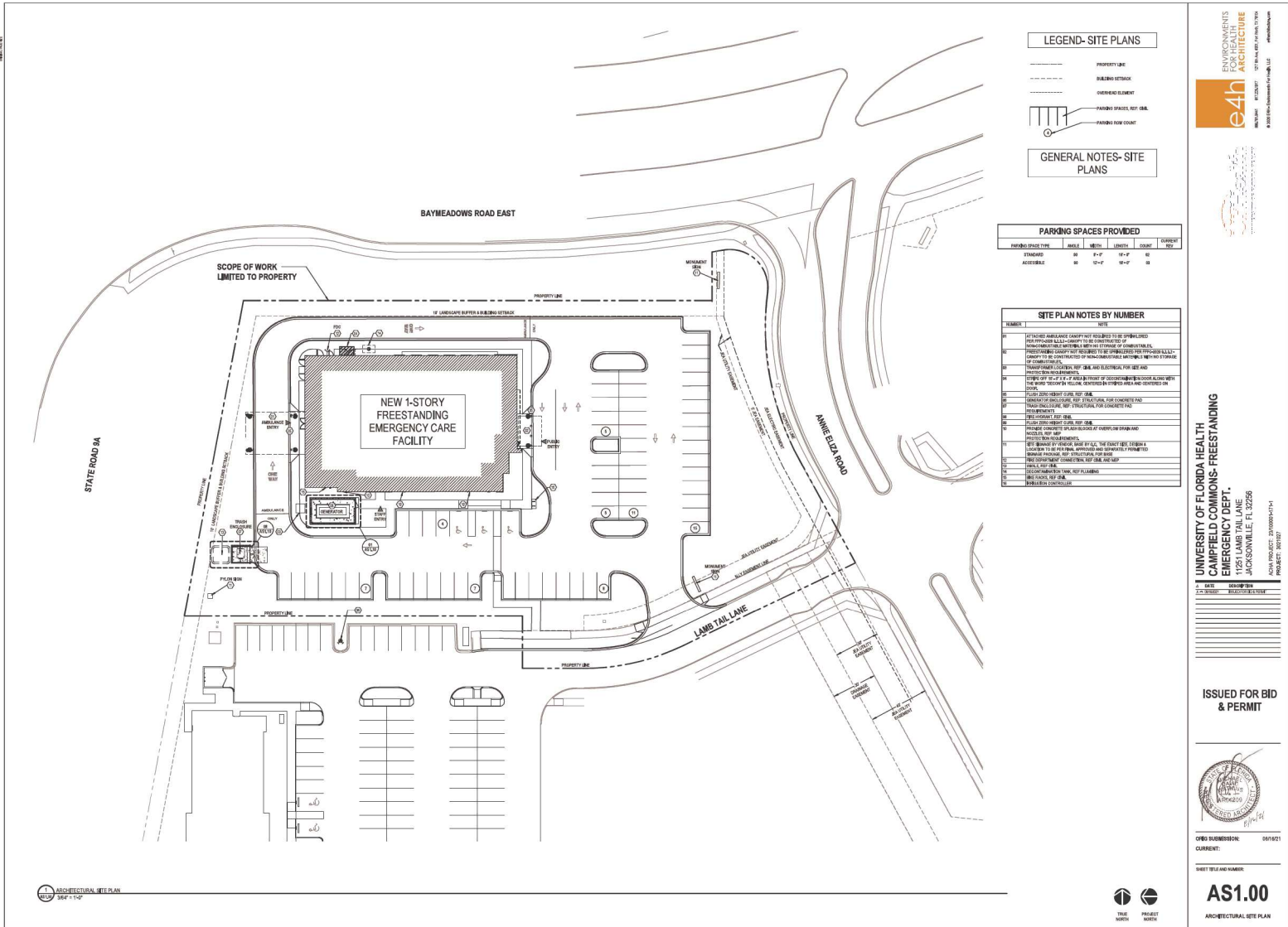
| | | | | | | | Provided Parking | | | |
|--|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Lane Ave (Greenfield Site) - Jacksonville, FL | | | | | | | | | | |
| Square Feet: 11,718 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 7 | 5 | 17 | 71 | 21 | 38 | 36 | 2 | 38 | 0 |

| | | | | | | | Provided Parking | | | |
|---|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Eustis (Old CVS Building) - Eustis, FL | | | | | | | | | | |
| Square Feet: 10,997 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 8 | 4 | 14 | 52 | 17 | 31 | 45 | 2 | 47 | 16 |

| | | | | | | | Provided Parking | | | |
|---|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Clermont (Old CVS Building) - Clermont, FL | | | | | | | | | | |
| Square Feet: 14,281 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 10 | 4 | 14 | 50 | 17 | 31 | 54 | 3 | 57 | 26 |

| | | | | | | | Provided Parking | | | |
|---|---------------|----------|-----------------|---------------------|-----------------------|-----------------|------------------------|-------------------|----------------------|----------------|
| | | | | | | | Regular Parking Spaces | HC Parking Spaces | Total Parking Spaces | Surplus Stalls |
| Proposed Wildwood (Greenfield) FSED - Wildwood, FL | | | | | | | | | | |
| Square Feet: 14,200 | ER Exam Rooms | FT Rooms | Avg Staff/Shift | Avg Patients/24 hrs | Patients at Peak Flow | Minimum Parking | | | | |
| Count | 10 | 4 | 14 | 56 | 19 | 33 | 46 | 6 | 52 | 19 |

Campfield Commons



LEGEND-SITE PLANS

- PROPERTY LINE
- - - BUILDING SETBACK
- - - OVERHEAD ELEMENT
- ▬ PARKING SPACES, REF. 04A
- PARKING ROW COUNT

GENERAL NOTES- SITE PLANS

| PARKING SPACES PROVIDED | | | | | |
|-------------------------|------|--------|--------|-------|---------|
| PARKING POSITION | AREA | WIDTH | LENGTH | COUNT | CURRENT |
| ACCESSIBLE | 10 | 10'-0" | 18'-0" | 18 | 0 |

SITE PLAN NOTES BY NUMBER

| TABLE | NOTES |
|-------|---|
| 01 | STANDARD BUILDING DEPARTMENT REQUIRED TO BE OBTAINED PER APPROVED ALL-CITY OF THE JURISDICTION OF THE PROJECT AND THE CITY OF JACKSONVILLE, FLORIDA. THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 02 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 03 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 04 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 05 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 06 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 07 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 08 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 09 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
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| 14 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 15 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
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| 17 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 18 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 19 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |
| 20 | THE PROJECT IS SUBJECT TO THE CITY OF JACKSONVILLE, FLORIDA, AND THE CITY OF JACKSONVILLE, FLORIDA, IS THE JURISDICTION OF THE PROJECT. |



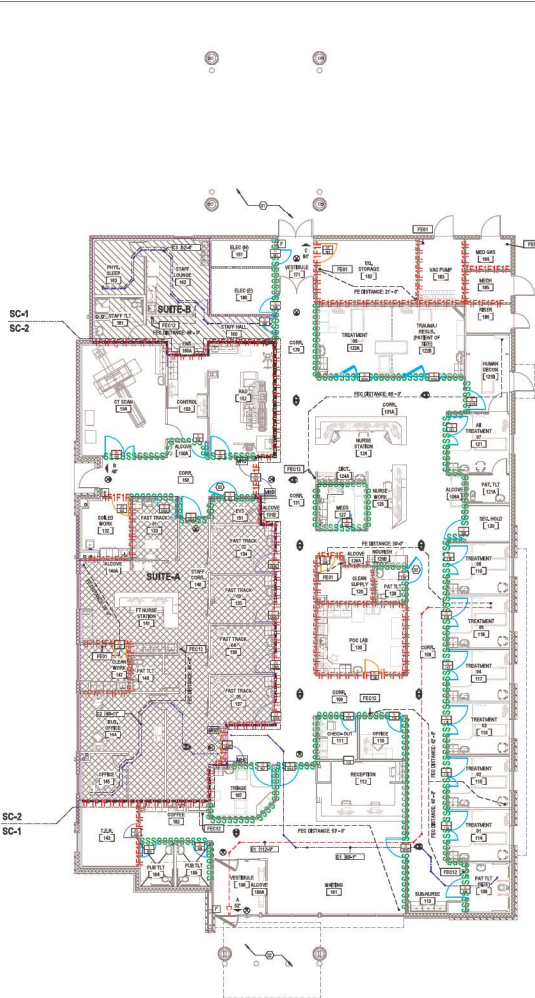
UNIVERSITY OF FLORIDA HEALTH
 CAMPFIELD COMMONS-FREESTANDING
 EMERGENCY DEPT.
 JACKSONVILLE, FL 32256

ISSUED FOR BID & PERMIT



DATE: 05/14/21
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: 2019004-174
 SHEET TITLE AND NUMBER: AS1.00 ARCHITECTURAL SITE PLAN

Campfield Commons



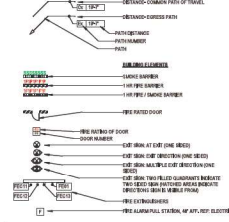
01 CODE COMPLIANCE PLAN
SCALE: 1/8" = 1'-0"

CODE COMPLIANCE - PROJECT INFO

THE OWNER HAS PROVIDED A NEW CONSTRUCTION PROJECT WITH THE FOLLOWING INFORMATION FOR THE ARCHITECT TO VERIFY. THE ARCHITECT SHALL VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

THE ARCHITECT SHALL VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

LEGEND- CODE COMP PLANS



GENERAL NOTES- CODE PLANS

- THE ARCHITECT SHALL VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.
- THE ARCHITECT SHALL VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

CODE COMPLIANCE NOTES BY NUMBER

| NUMBER | NOTE |
|--------|---|
| 01 | VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER. |
| 02 | VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER. |
| 03 | VERIFY THE INFORMATION PROVIDED BY THE OWNER AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER. |

OCCUPANT LOAD CALCULATIONS

| OCCUPANCY | AREA | FLOOR FACTOR | OCCUPANT LOAD | MINIMUM | MAXIMUM |
|------------|------|--------------|---------------|---------|---------|
| OFFICE | 1000 | 1.0 | 1000 | 1000 | 1000 |
| RECEPTION | 500 | 1.0 | 500 | 500 | 500 |
| LABORATORY | 200 | 1.0 | 200 | 200 | 200 |
| CONFERENCE | 100 | 1.0 | 100 | 100 | 100 |
| RECEPTION | 500 | 1.0 | 500 | 500 | 500 |
| LABORATORY | 200 | 1.0 | 200 | 200 | 200 |
| CONFERENCE | 100 | 1.0 | 100 | 100 | 100 |

LIFE SAFETY SUITES

| SUITE | AREA | EJECT TYPE | PROTECTED | MINIMUM | MAXIMUM |
|-------|------|------------|-----------|---------|---------|
| 01 | 1000 | NO | NO | 1000 | 1000 |
| 02 | 500 | NO | NO | 500 | 500 |
| 03 | 200 | NO | NO | 200 | 200 |
| 04 | 100 | NO | NO | 100 | 100 |
| 05 | 500 | NO | NO | 500 | 500 |
| 06 | 200 | NO | NO | 200 | 200 |
| 07 | 100 | NO | NO | 100 | 100 |

EGRESS PATHS- LEVEL 1

| NO. | DESCRIPTION | MINIMUM | MAXIMUM |
|-----|-------------|---------|---------|
| 01 | EGRESS PATH | 1000 | 1000 |
| 02 | EGRESS PATH | 500 | 500 |
| 03 | EGRESS PATH | 200 | 200 |
| 04 | EGRESS PATH | 100 | 100 |
| 05 | EGRESS PATH | 500 | 500 |
| 06 | EGRESS PATH | 200 | 200 |
| 07 | EGRESS PATH | 100 | 100 |

FIRE EXTINGUISHER

| TAG | DESCRIPTION | MODEL | NET WEIGHT | NET LOCATION |
|------|--------------------|-----------|------------|--------------|
| FE01 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE02 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE03 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE04 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE05 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE06 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE07 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE08 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE09 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |
| FE10 | 2A:10ABC:UL LISTED | UL LISTED | 10.5 LB | RECEPTION |

ENVIRONMENTAL ARCHITECTURE
4eh

UNIVERSITY OF FLORIDA HEALTH
CAMPFIELD COMMONS- FREESTANDING
EMERGENCY DEPT.
JACKSONVILLE, FL 32206

ISSUED FOR BID & PERMIT

01/16/21

AC1.01
CODE COMPLIANCE PLAN

Clermont

| EGRESS PATHS-LEVEL 1 | | |
|----------------------|-------------|--------------|
| NO. | DETAILS | CURRENT REV. |
| 01 | EGRESS PATH | |
| 02 | EGRESS PATH | |
| 03 | EGRESS PATH | |
| 04 | EGRESS PATH | |
| 05 | EGRESS PATH | |
| 06 | EGRESS PATH | |
| 07 | EGRESS PATH | |
| 08 | EGRESS PATH | |
| 09 | EGRESS PATH | |
| 10 | EGRESS PATH | |

| LIFE SAFETY-OCCUPANCY-LEVEL 1 | | | | | |
|-------------------------------|------------|------------------|---------------------|-----------|--------------|
| NO. | AREA | AREA DESCRIPTION | AREA AREA OCCUPANCY | OCCUPANCY | CURRENT REV. |
| 01 | MECH ROOM | MECH ROOM | 100 | U | |
| 02 | STORAGE | STORAGE | 100 | U | |
| 03 | RECEPTION | RECEPTION | 100 | U | |
| 04 | OFFICE | OFFICE | 100 | U | |
| 05 | LABORATORY | LABORATORY | 100 | U | |
| 06 | CONFERENCE | CONFERENCE | 100 | U | |
| 07 | WAITING | WAITING | 100 | U | |
| 08 | RECEPTION | RECEPTION | 100 | U | |
| 09 | OFFICE | OFFICE | 100 | U | |
| 10 | LABORATORY | LABORATORY | 100 | U | |

| HEALTHCARE SUITES | | | |
|-------------------|------------|-------------|---------------------|
| SUITE | AREA | DESCRIPTION | AREA TOTAL SQ. FEET |
| 101 | LABORATORY | LABORATORY | 100 |
| 102 | LABORATORY | LABORATORY | 100 |
| 103 | LABORATORY | LABORATORY | 100 |
| 104 | LABORATORY | LABORATORY | 100 |
| 105 | LABORATORY | LABORATORY | 100 |

| EXITING REQUIREMENTS-LEVEL 1 | | | | | |
|------------------------------|----------------------|--------------|--|--|--|
| NO. | DESCRIPTION | CURRENT REV. | | | |
| 01 | EXITING REQUIREMENTS | | | | |
| 02 | EXITING REQUIREMENTS | | | | |
| 03 | EXITING REQUIREMENTS | | | | |
| 04 | EXITING REQUIREMENTS | | | | |
| 05 | EXITING REQUIREMENTS | | | | |
| 06 | EXITING REQUIREMENTS | | | | |
| 07 | EXITING REQUIREMENTS | | | | |
| 08 | EXITING REQUIREMENTS | | | | |
| 09 | EXITING REQUIREMENTS | | | | |
| 10 | EXITING REQUIREMENTS | | | | |

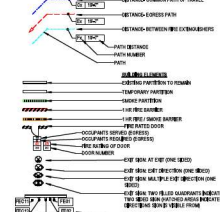
| FIRE EXTINGUISHER SCHEDULE | |
|----------------------------|-------------------|
| NO. | DESCRIPTION |
| 01 | FIRE EXTINGUISHER |
| 02 | FIRE EXTINGUISHER |
| 03 | FIRE EXTINGUISHER |
| 04 | FIRE EXTINGUISHER |
| 05 | FIRE EXTINGUISHER |
| 06 | FIRE EXTINGUISHER |
| 07 | FIRE EXTINGUISHER |
| 08 | FIRE EXTINGUISHER |
| 09 | FIRE EXTINGUISHER |
| 10 | FIRE EXTINGUISHER |

| EXITS | |
|-------|-------------|
| NO. | DESCRIPTION |
| 01 | EXIT |
| 02 | EXIT |
| 03 | EXIT |
| 04 | EXIT |
| 05 | EXIT |
| 06 | EXIT |
| 07 | EXIT |
| 08 | EXIT |
| 09 | EXIT |
| 10 | EXIT |

CODE COMPLIANCE - PROJECT INFO

PROJECT DESCRIPTION:
 THE CODE COMPLIANCE - PROJECT INFO SECTION OF THE PROJECT MANUAL IS TO BE USED TO IDENTIFY THE CODES AND REGULATIONS THAT APPLY TO THE PROJECT. THE PROJECT MANUAL IS TO BE USED TO IDENTIFY THE CODES AND REGULATIONS THAT APPLY TO THE PROJECT. THE PROJECT MANUAL IS TO BE USED TO IDENTIFY THE CODES AND REGULATIONS THAT APPLY TO THE PROJECT.

LEGEND-LIFE SAFETY PLANS



GENERAL NOTES-LIFE SAFETY PLANS

1. ALL REQUIREMENTS SHOWN ON THESE PLANS SHALL BE CONSIDERED AND ADDED TO THE REQUIREMENTS OF THE applicable CODES AND REGULATIONS FOR THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

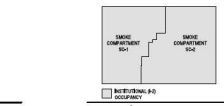
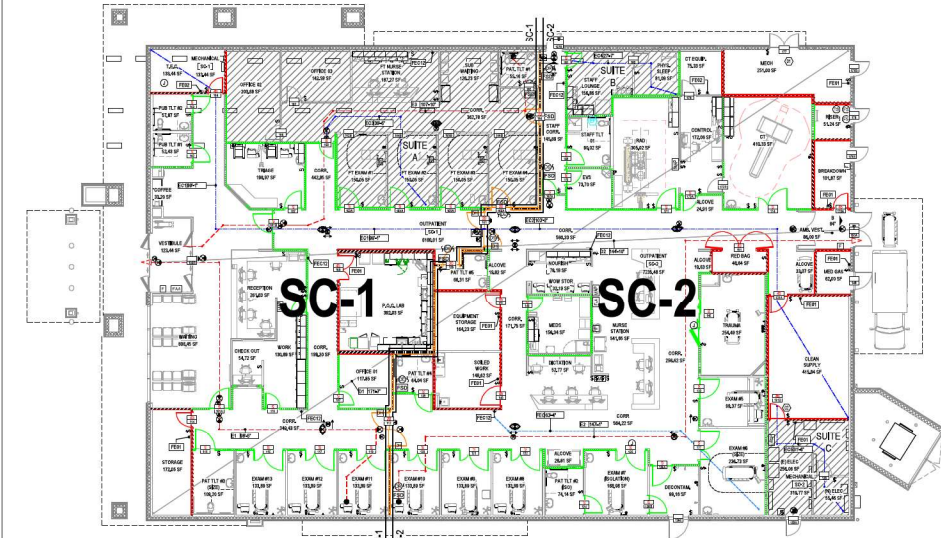
LIFE SAFETY NOTES BY NUMBER

| NO. | DESCRIPTION |
|-----|-------------|
| 01 | EGRESS PATH |
| 02 | EGRESS PATH |
| 03 | EGRESS PATH |
| 04 | EGRESS PATH |
| 05 | EGRESS PATH |
| 06 | EGRESS PATH |
| 07 | EGRESS PATH |
| 08 | EGRESS PATH |
| 09 | EGRESS PATH |
| 10 | EGRESS PATH |

UF Health
 UNIVERSITY OF FLORIDA HEALTH
 CLERMONT, FL 34711

UP HEALTH
 FREESTANDING CLERMONT
 CLERMONT, FL 34711

LS1.01
 LIFE SAFETY PLAN-LEVEL 1



LIFE SAFETY PLAN-LEVEL 1
 10/1/20