



PLANNING & ZONING BOARD - CITY OF WILDWOOD
Special Magistrate – Lindsay C.T. Holt

Agenda
Regular Meeting
September 2, 2025 2:15 PM
City Hall Commission Chamber
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

1. **Planning & Zoning Regular Meeting August 05, 2025, at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

1. **A25-2847 (RZ) St. Vincent De Paul Church Expansion**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

PARCEL D32-069

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from A10C & RR5C (Sumter County) to Institutional (City) for the parcel listed above on 35.04 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-2848 (O2025-40). **Staff recommends approval.**

2. **A25-0055 - SP - Tri-County Heart
G16M004**

The applicant is seeking a favorable recommendation from the Special Magistrate for the construction of a five-thousand and ninety-eight (5,098) square foot medical building providing for thirty (30) parking spaces including two (2) Florida ADA accessible parking spaces and a dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 0.7 acres MOL, as per the attached plans. **The Project Review Committee recommends approval.**

3. **A25-0900 - SP - Twistee Treat
Parcel G04-055C**

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a one-story 583 square foot Twistee Treat featuring three outdoor patio tables, one bench, one drive thru lane, providing 17 parking spaces including 1 Florida ADA accessible parking spaces, a single dumpster enclosure, together with associated infrastructure such as landscaping buffers, connecting sidewalks, and site lighting improvements on 0.52 acres MOL, as per the attached plans. **The Project Review Committee recommends approval.**

4. **A25-3016 (SE) Circle K at Twisted Oaks
A portion of parcel D31A218**

The applicant is seeking Special Exception approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for a travel center (Circle K) located on the 3.17-acre parcel listed above, zoned C-3. The Circle K is a proposed 5,964 SF convenience store that includes a "Circle K Kitchen" fast food service area, fourteen (14) vehicle fueling stations, and four (4) high-speed diesel fueling stations. **Staff recommends approval.**

5. **A25-2786 - Rezoning - 5341 Lexington Circle**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

G16ED003

The applicant seeks a favorable recommendation from the Planning and Zoning Board/Special Magistrate for a Zoning Map amendment to change the

zoning district from RPUD (Sumter County) to MHP (City) for the parcel listed above on 0.115 acres MOL. This request is accompanied by small-scale comprehensive plan amendment request A25-2724 (O2025-42). **Ordinance O2025-43 is to be considered by the Planning and Zoning Board/Special Magistrate for further action.**

V. ADJOURNMENT

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

September 2, 2025 2:15 PM

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Planning & Zoning Regular Meeting August 05, 2025, at 2:15 PM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA
REGULAR MEETING
 August 5, 2025 2:15 PM
CITY HALL COMMISSION CHAMBER

(meeting taped)

I. CALL TO ORDER: Planning & Zoning Board

Attendee Name	Title	Status
Lindsay C.T. Holt	Special Magistrate	Present
Wendy Then	Assistant Development Services Director	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present
Jessica Barnes	City Clerk	Present
Brian Harrie	Lieutenant	Present

Special Magistrate Holt brought the meeting to order at 2:06 p.m. and explained the quasi-judicial process of the meeting. She then proceeded with the swearing-in of city staff and audience members.

II. APPROVAL OF SUMMARY MINUTES

1. Planning & Zoning Regular Meeting July 01, 2025, at 2:15 PM.
Special Magistrate Holt saw no revisions necessary and approved the summary minutes for the July 1, 2025, meeting.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

III. OLD BUSINESS

None.

IV. NEW BUSINESS

1. A25-1909 - Rezoning - SunKool Office
Special Magistrate Holt read aloud case number A25-1909 - Rezoning - SunKool Office, Ordinance O2025-34. Planner Lammers presented the Zoning Map Amendment to change the zoning district from CL and RR1C (County) to C-3 (City) for approximately 5.6 acres located at the southeast corner of North US 301 and County Road 114. Stephen Campbell was present as a representative for the case. There was no public comment. Special Magistrate Holt made a favorable recommendation for approval of Ordinance O2025-34 based on the testimony and evidence presented.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

2. A25-0583 UF Health Oxford Freestanding Emergency Department

Special Magistrate Holt read aloud case number A25-0583 UF Health Oxford Freestanding Emergency Department. Assistant Development Services Director Then presented the site plan for construction of a 14,211-square-foot freestanding emergency room building on a 1.40-acre parcel located approximately 0.46 miles south of the intersection of US 301 and CR 466. Then indicated there was one outstanding comment from the city attorney regarding an easement that was being resolved. Once resolved, the project could be scheduled for final consideration by the City Commission. Keith Riddle with Riddle Newman Engineering was noted as the engineer of record for the project. The applicant's representative was present for the hearing. There were no public comments. Special Magistrate Holt made a favorable recommendation for approval, subject to resolution of the outstanding city attorney comment.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

V. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 2:13 p.m.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

APPEAL: NECESSITY OF RECORD.

SEAL

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA

Date

Lindsay C.T. Holt,
Special Magistrate
City of Wildwood, Florida

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: A25-2847 (RZ) St. Vincent De Paul Church Expansion

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-2847 St. Vincent De Paul Church Expansion
Ordinance Number	O2025-40
Owner/Applicant	Noonan John G Bishop of the Diocese of Orlando
Property Location	The subject property is generally located on the west side of E C 462 approximately 0.55 miles north of the intersection of E C 462 and C 466A
Parcel Number	D32-069
Date	August 21, 2025

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from A10C & RR5C (Sumter County) to Institutional (City) for the parcel listed above on 35.04 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-2848 (O2025-40).

ANALYSIS: The development currently consists of approximately 46,603 square-feet of structures being used as a religious institution. The history of the St. Vincent De Paul Catholic Church reveals its beginnings dating back to 1994. While there are plans to develop an expansion at some point in the future, there are no plans at this time.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to R-5 should be granted based on the following criteria:

(a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to Institutional is consistent with the proposed Future Land Use Map designation of Public Facilities (PF) and the intent of the Comprehensive Plan as stated in FLU Policy 1.2.8.

(b) The existing land use pattern of the surrounding area;

The land use pattern of the surrounding area is mainly residential with some mixed use areas to the southeast. The proposed Institutional zoning designation will serve City residents in this area by accommodating a religious institution use.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc;

Schools: There will be no school-aged children generated by the church facility at the subject location.

Potable Water & Sewer: City water and sewer services are available to the subject parcel, and the parcel is currently serviced by City water and sewer. Future expansions to the existing development will continue to be serviced by City utilities.

Streets: The applicant has submitted a Traffic Impact Analysis to Sumter County for their review and approval. It was determined that the Comprehensive Plan Amendment and Rezoning for the property would not cause an increase in daily trips, as these processes will not result in a change to the Church’s daily operation at this time. An updated analysis will be required for any change in operations or expansions to the existing site.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

For the existing Church to properly organize and plan for future expansion, the proposed amendment is necessary. The subject parcel is located within the Joint Planning Area, which encourages annexation, land use change, and rezoning for parcels, especially those with City services available.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

The proposed change will not create or excessively increase traffic congestion or otherwise be a detriment to public safety due to the existing conditions or the site remaining the same. Any proposed changes to the daily operation of the site will require an additional TIA to be reviewed by Sumter County Public Works.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	RR1C (County)
SOUTH	R-3 (City)
EAST	R-2 (City), RR5C (County)
WEST	E C 462, R-3 (City), RPUD (County)

If the rezoning is approved, the applicant will be required to submit a site plan to the City prior to any further development of the existing site. The site plan will need to follow requirements established in the City’s Land Development Regulations and the Design District Standards as

well as any Planned Development Agreements or Developer's Agreements that may be needed.

The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2025-40 to be forwarded to the City Commission for further action, subject to the approval of O2025-39, which establishes a future land use appropriate for the proposed zoning.

A handwritten signature in black ink, appearing to read 'MP', with a stylized flourish at the end.

McKenna Page
Planner I, Development Services

ORDINANCE NO. O2025-40

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

D32-069

NOONAN JOHN G BISHOP OF THE DIOCESE OF ORLANDO

35.041 +/-

LEGAL DESCRIPTION:

THE NORTH 630 FEET OF THE SE 1/4 OF THE SE 1/4, SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS ACROSS THE SOUTH 30 FEET THEREOF AND TOGETHER WITH AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS ACROSS THE SOUTH 30 FEET OF THE N 660 FEET OF THE SE 1/4 OF SE 1/4, SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, LESS RIGHT OF WAY ON EAST SIDE FOR CR 462.

AND

THE SE 1/4 OF THE SE 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, LESS THE SOUTH 413 FEET AND LESS THE NORTH 630 FEET THEREOF, SUMTER COUNTY, FLORIDA.

AND

COMMENCE AT THE SE CORNER OF THE NE 1/4 OF THE SW 1/4 OF THE SE 1/4 FOR A POB; THENCE RUN N 208.75 FEET; THENCE RUN W 208.75 FEET; THENCE RUN S 208.75 FEET; THENCE RUN E 208.75 FEET TO THE POINT OF BEGINNING, SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.

AND

THE NORTH 210 FEET OF THE EAST 210 FEET OF THE S 1/2 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.

AND

THE NORTH 1/2 OF THE SOUTH 413 FEET OF THE SE 1/4 OF THE SE 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.

SAID LANDS CONTAINING 35.04 ACRES, MORE OR LESS.

This property is to be reclassified from A10C & RR5C (Sumter County) to Institutional (City of Wildwood).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this ____ day of _____, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

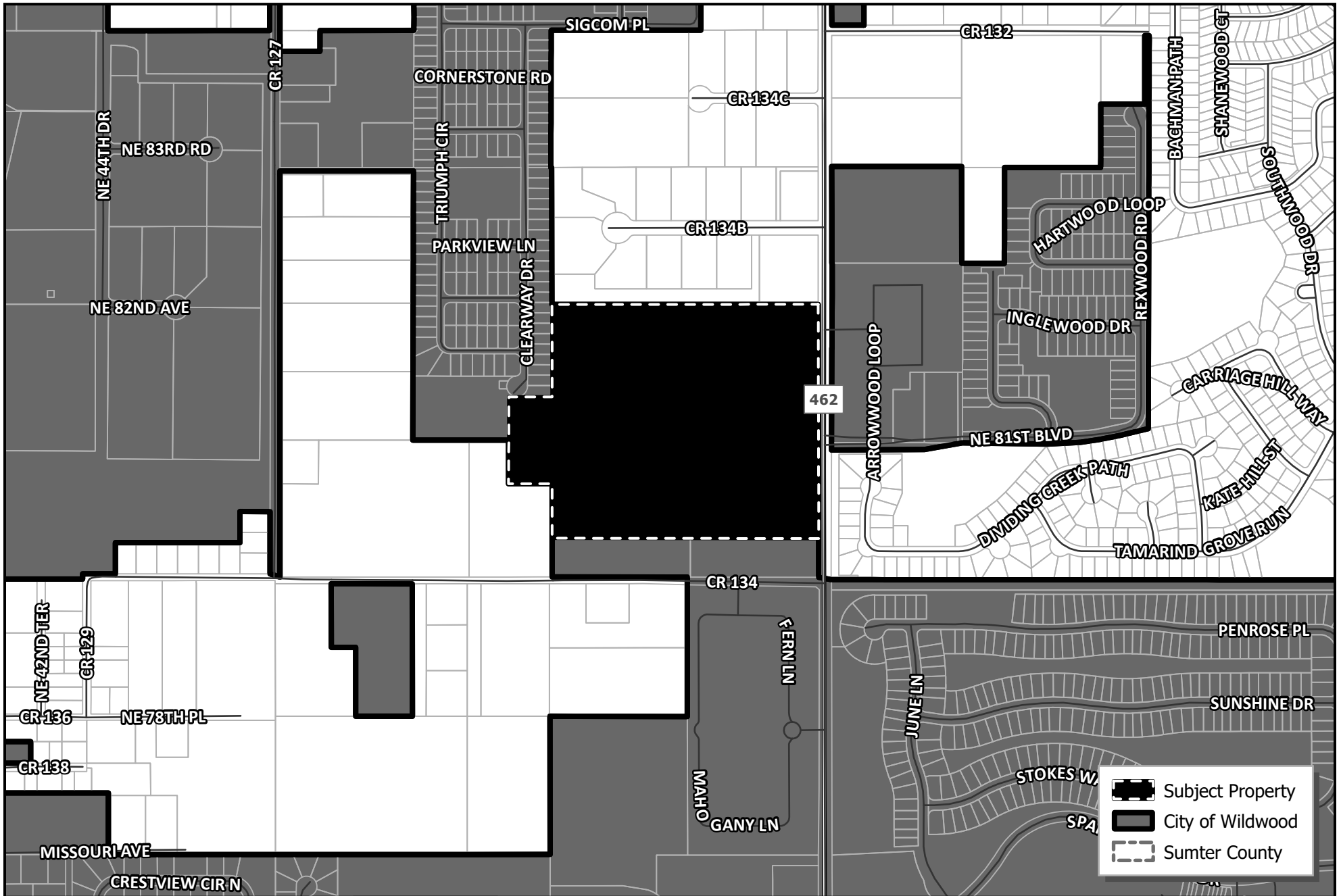
First Reading: _____

Second Reading: _____

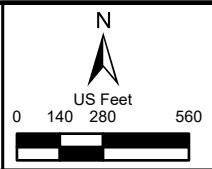
Approved as to form:

City Attorney

EXHIBIT A



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov

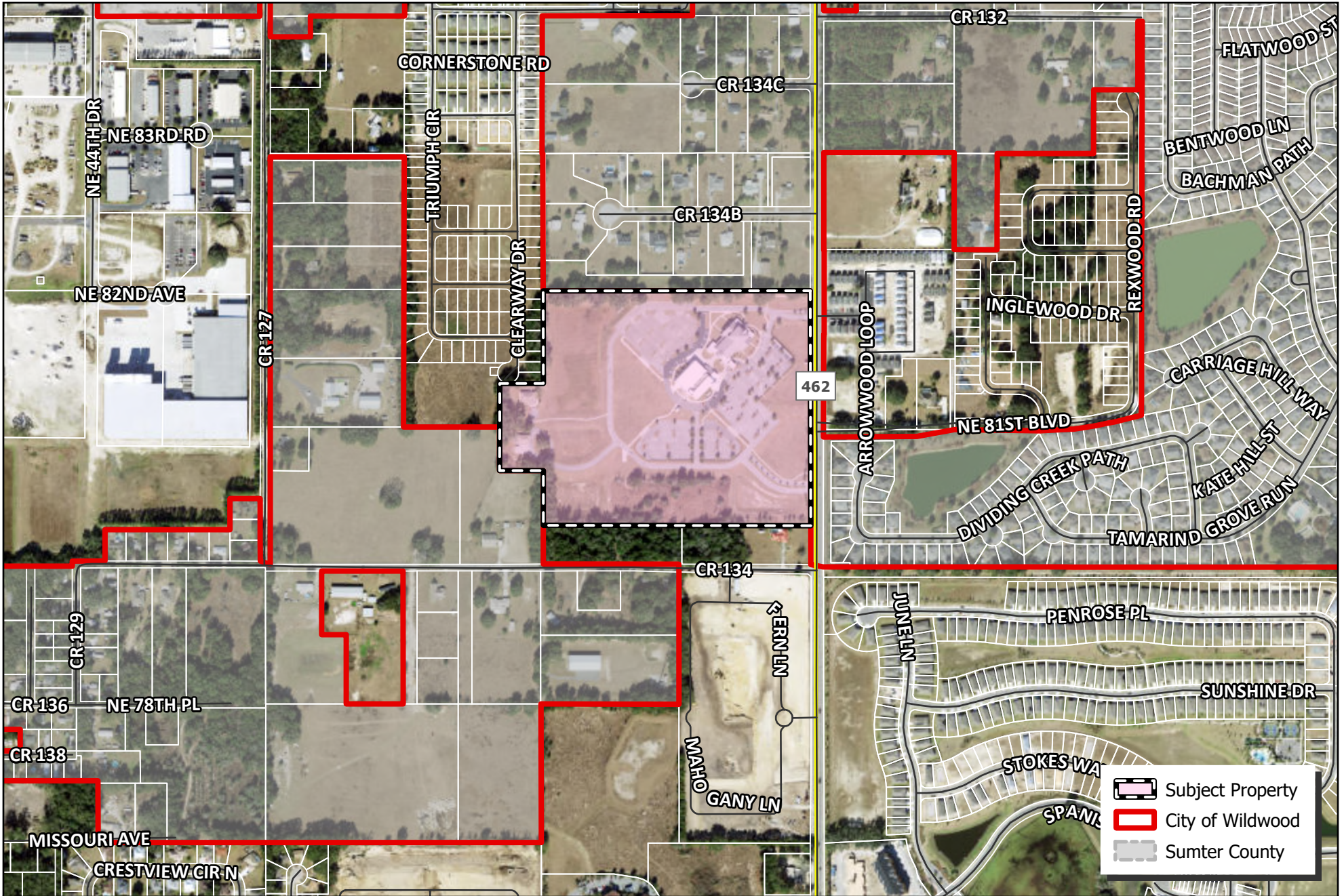


#A25-2847

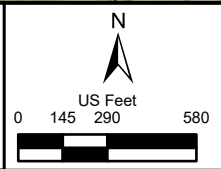
ST. VINCENT DE PAUL CHURCH EXPANSION

PARCEL D32-069

MAP 1A
LOCATION
MAP
JUL 2025

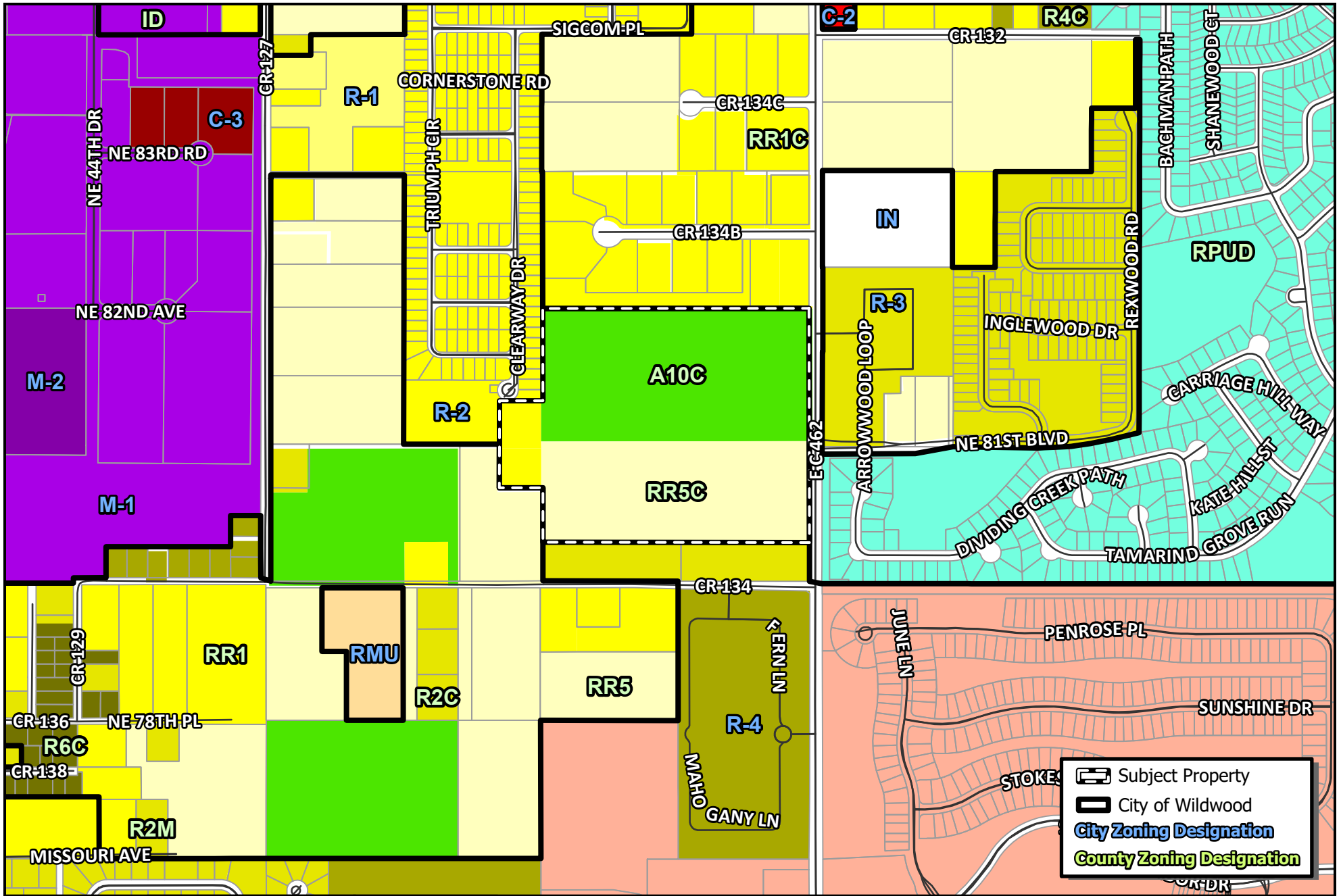


CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
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#A25-2847
ST. VINCENT DE PAUL CHURCH EXPANSION
 PARCEL D32-069

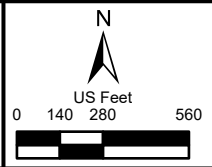
MAP 1B
LOCATION
MAP
JUL 2025



	Subject Property
	City of Wildwood
	City Zoning Designation
	County Zoning Designation



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
 www.wildwood-fl.gov



#A25-2847
ST. VINCENT DE PAUL CHURCH EXPANSION
 PARCEL D32-069

MAP 3A
EXISTING ZONING
JUL 2025



Business Impact Estimate

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2025-40

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

APPROVED

Matthew Tadlock

Assistant Public Works Director - Planning and Design
07/31/2025

As stated in the report, a traffic impact analysis meeting with the Sumter County TIA Guidelines would be required for any change in operations or expansion at the site.

MEMORANDUM

To: Mr. Tommy Newton, EI, Clymer Farner Barley, Inc.
From: Amber L. Gartner, PE; Kimley-Horn and Associates, Inc.
Date: June 17, 2025

RE: **St. Vincent de Paul Catholic Church**
Comprehensive Plan Amendment and Rezoning Traffic Analysis
Kimley-Horn Project Number 040616206

BACKGROUND

The St. Vincent de Paul Catholic Church is currently located in unincorporated Sumter County. The site is being annexed into the City of Wildwood. The site includes the 35.44-acre parcel D32-069 located west of C 462 and north of C 466A. This memorandum provides trip generation calculations for the existing and proposed Future Land Use (FLU) and existing and proposed zoning categories. Although the site is being annexed into the City of Wildwood with the new City of Wildwood FLU and zoning categories, no change in site operations or trip generation will occur from the FLU and zoning changes.

EXISTING AND PROPOSED FLU

The site has an existing FLU of Sumter County Rural Residential. The Rural Residential FLU allows up to 2 dwelling units per 1 acre. Per the existing FLU, the site has a maximum development potential of 70 single-family dwelling units. The site currently houses a 22,230-square-foot church with 1,121 seats.

The proposed FLU is City of Wildwood Public Facility. The Public Facility FLU allows up to 0.6 Floor Area Ratio (FAR). Per the proposed FLU, the site has a maximum development potential of 926,000 square feet of public uses (rounded down to the nearest 1,000 square feet).

The trip generation potential of the maximum allowed development program from the existing and proposed FLU was calculated using the rates and equations from the 11th Edition of the Institute of Transportation Engineer’s (ITE) Trip Generation Manual. The ITE Land Use Code 210 (single-family residential) was used for the Rural Residential FLU and the ITE Land Use Code 560 (Church) was used for the Public Facility FLU.

A summary of the estimated trip generation for maximum allowed intensity of the current and proposed FLU is provided in **Table 1**.

Table 1: FLU Maximum Intensity Trip Generation Summary

Future Land Use	FAR / Max Intensity	Max Development Potential (DU/KSF)	ITE LUC	Daily Trips	PM Pk Hr Trips
Existing Future Land Rural Residential (Sumter County)	2 du / acre	70	210	727	71
Proposed Future Land Public Facility (City of Wildwood)	0.6 FAR	926	560	5,051	338

EXISTING AND PROPOSED ZONING

The site has an existing zoning of Sumter County RR1 (2.0 acres), RR5C (14.5 acres), and A10C (18.9 acres). The RR1 zoning allows for up to 1 dwelling unit per acre, the RR5C zoning allows for up to 1 dwelling unit per 5 acres, and the A10 zoning allows for up to 1 dwelling unit per 10 acres. The maximum development program is 5 single-family dwelling units. The site currently houses a 22,230-square-foot church with 1,121 seats.

The proposed zoning is City of Wildwood Institutional. The Institutional zoning does not have a maximum FAR. A maximum FAR of 0.6 is assumed to be based on the FLU. Per the proposed zoning and FLU, the site has a maximum development potential of 926,000 square feet of public uses (rounded down to the nearest 1,000 square feet).

The trip generation potential of maximum allowed development program from the existing and proposed zoning was calculated using the rates and equations from the 11th Edition of the Institute of Transportation Engineer’s (ITE) Trip Generation Manual. The ITE Land Use Code 210 (single-family residential) was used for the existing zoning designations, and the ITE Land Use Code 560 (Church) was used for the proposed Institutional zoning category.

A summary of the estimated trip generation for maximum allowed intensity of the current and proposed zoning is provided in **Table 2**.

Table 2: Zoning Maximum Intensity Trip Generation Summary

Zoning Designation	Acres	FAR / Max Intensity	Max Development Potential (DU/KSF)	ITE LUC	Daily Trips	PM Pk Hr Trips
Existing Zoning						
RR1 (Rural Residential; Sumter Co.)	2.0	1 du / acre	2	210	28	3
RR5C (Low Density Rural Residential; Sumter Co.)	14.5	1 du / 5 acres	2	210	28	3
A10C (General Agriculture; Sumter Co.)	18.9	1 du / 10 acres	1	210	15	1
<i>Total Existing</i>	35.4		5		71	7
Proposed Zoning						
Institutional (City of Wildwood)	35.4	0.6 FAR	926	560	5,051	338

SITE TRIP GENERATION

The site currently houses a 22,230-square-foot church. The church operates daily, with morning masses held every day, as well as additional mass times on Saturdays and Sundays. No change to the existing church operations is proposed with the annexation, future land use, and zoning changes. The Comprehensive Plan Amendment and rezoning will not cause an increase in trips from the site over the existing operations. A traffic impact analysis meeting with the Sumter County TIA Guidelines would be required for any change in operations or expansion at the site.

If you have any questions or require additional information, please contact me at 352-438-3026 or via email at amber.gartner@kimley-horn.com.

ALG/jmc

Attachment: ITE Trip Generation Excerpts

Cc: File

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ATTACHMENTS

ITE Trip Generation Excerpts

Land Use: 210

Single-Family Detached Housing

Description

A single-family detached housing site includes any single-family detached home on an individual lot. A typical site surveyed is a suburban subdivision.

Specialized Land Use

Data have been submitted for several single-family detached housing developments with homes that are commonly referred to as patio homes. A patio home is a detached housing unit that is located on a small lot with little (or no) front or back yard. In some subdivisions, communal maintenance of outside grounds is provided for the patio homes. The three patio home sites total 299 dwelling units with overall weighted average trip generation rates of 5.35 vehicle trips per dwelling unit for weekday, 0.26 for the AM adjacent street peak hour, and 0.47 for the PM adjacent street peak hour. These patio home rates based on a small sample of sites are lower than those for single-family detached housing (Land Use 210), lower than those for single-family attached housing (Land Use 251), and higher than those for senior adult housing – single-family (Land Use 251). Further analysis of this housing type will be conducted in a future edition of *Trip Generation Manual*.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For 30 of the study sites, data on the number of residents and number of household vehicles are available. The overall averages for the 30 sites are 3.6 residents per dwelling unit and 1.5 vehicles per dwelling unit.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Arizona, California, Connecticut, Delaware, Illinois, Indiana, Kentucky, Maryland, Massachusetts, Minnesota, Montana, New Jersey, North Carolina, Ohio, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Vermont, Virginia, and West Virginia.

Source Numbers

100, 105, 114, 126, 157, 167, 177, 197, 207, 211, 217, 267, 275, 293, 300, 319, 320, 356, 357, 367, 384, 387, 407, 435, 522, 550, 552, 579, 598, 601, 603, 614, 637, 711, 716, 720, 728, 735, 868, 869, 903, 925, 936, 1005, 1007, 1008, 1010, 1033, 1066, 1077, 1078, 1079

Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 174

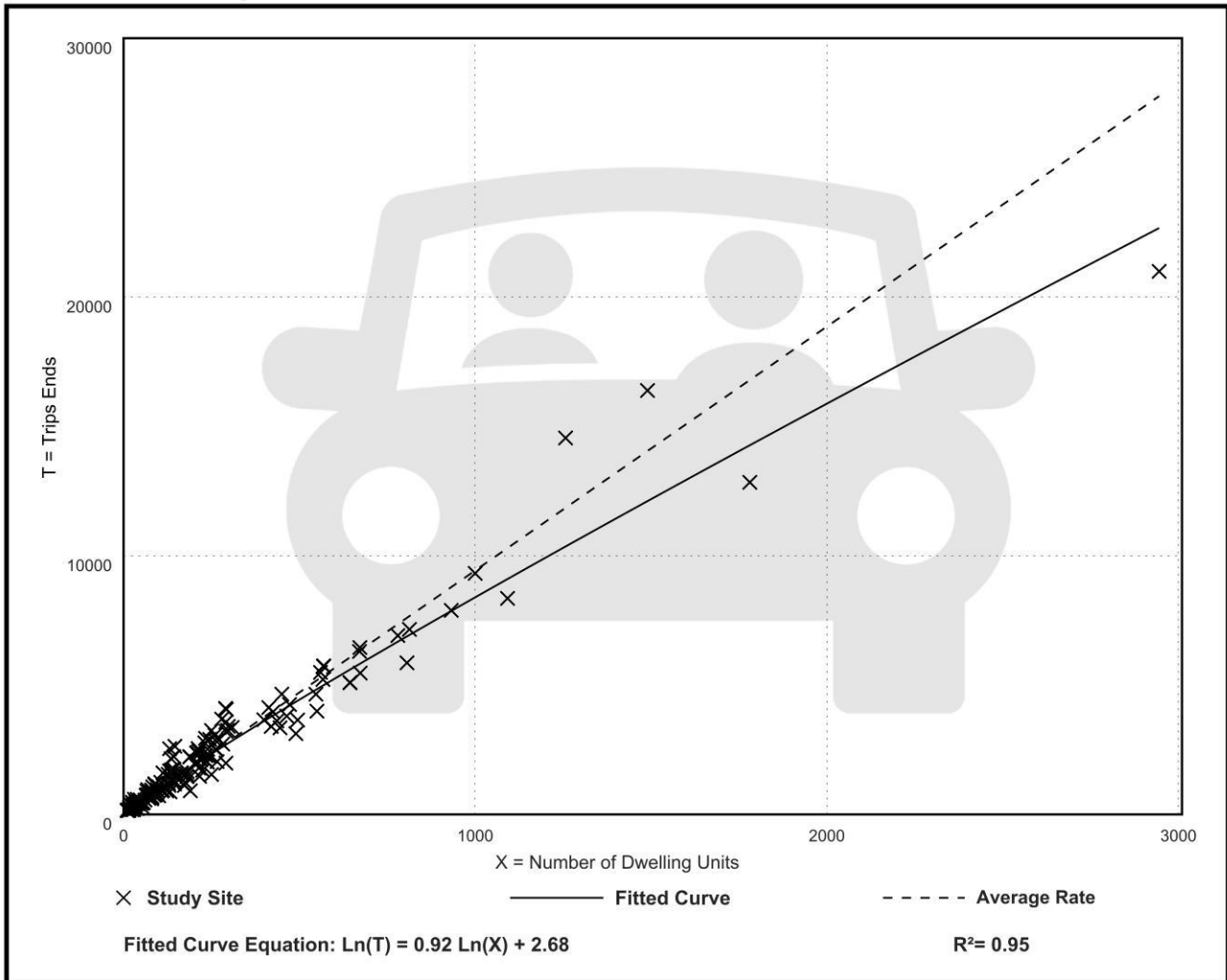
Avg. Num. of Dwelling Units: 246

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.43	4.45 - 22.61	2.13

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 208

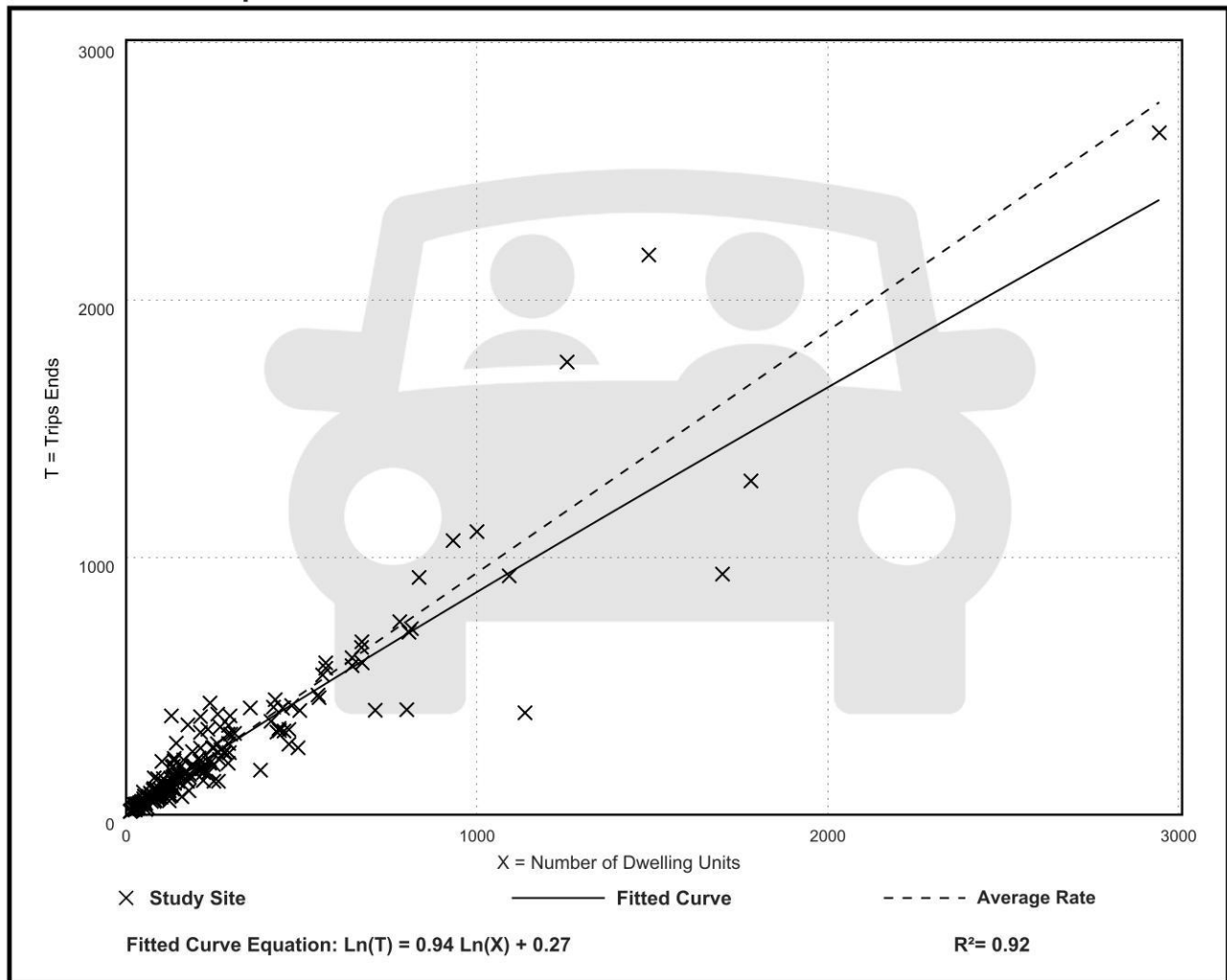
Avg. Num. of Dwelling Units: 248

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.94	0.35 - 2.98	0.31

Data Plot and Equation



Land Use: 560 Church

Description

A church is a building in which public worship services are held. A church houses an assembly hall or sanctuary. It may also house meeting rooms, classrooms, and, occasionally, dining, catering, or event facilities. Synagogue (Land Use 561) and mosque (Land Use 562) are related uses.

Additional Data

Worship services are typically held on Sundays. Some of the surveyed churches offered day care or extended care programs during the week.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Colorado, Florida, New Hampshire, New Jersey, New York, Oregon, Pennsylvania, Texas, and Virginia.

Source Numbers

169, 170, 423, 428, 436, 554, 571, 583, 629, 631, 704, 903, 904, 957, 971, 981, 1080

Church (560)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 5

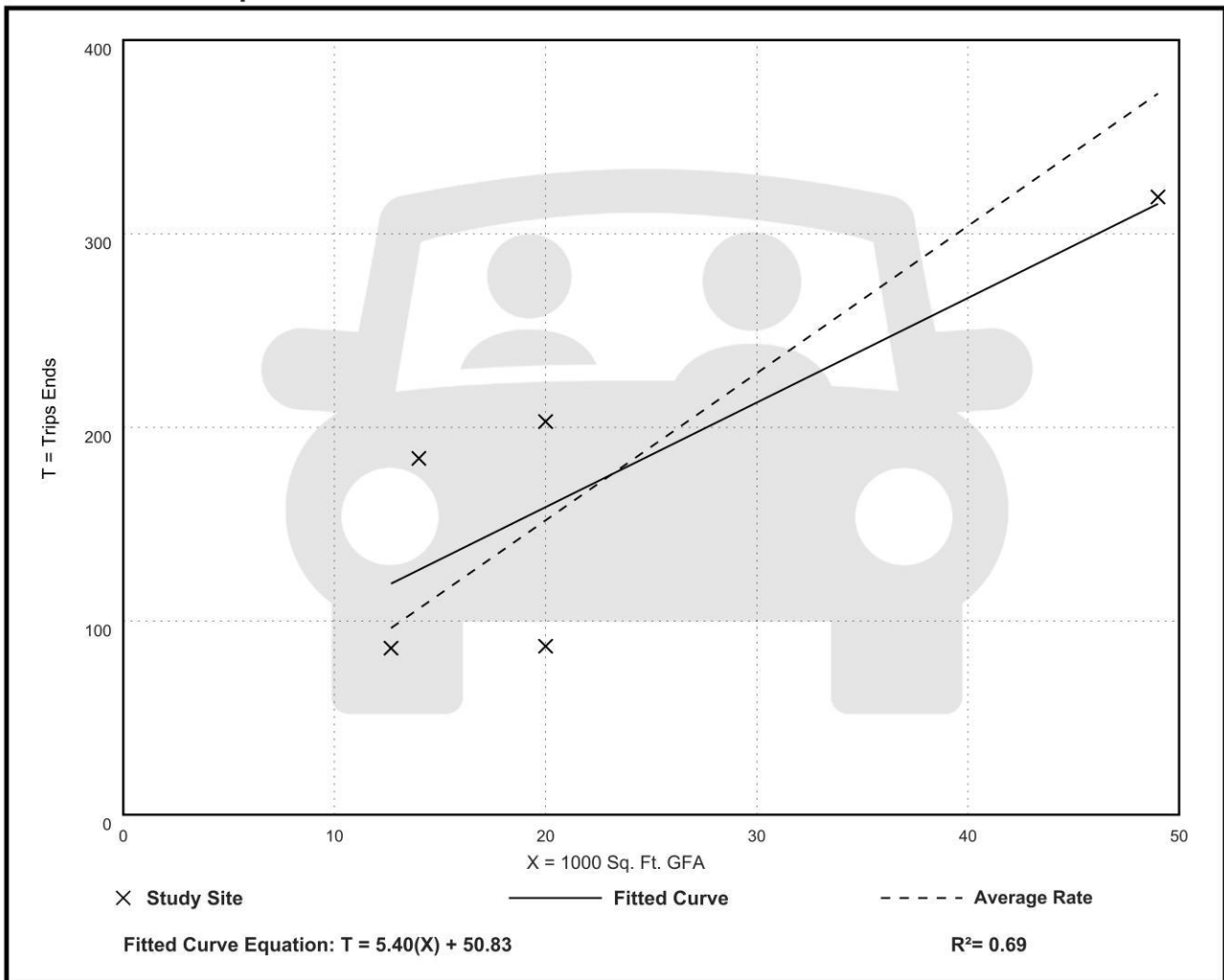
Avg. 1000 Sq. Ft. GFA: 23

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
7.60	4.35 - 13.14	3.01

Data Plot and Equation



Church (560)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 11

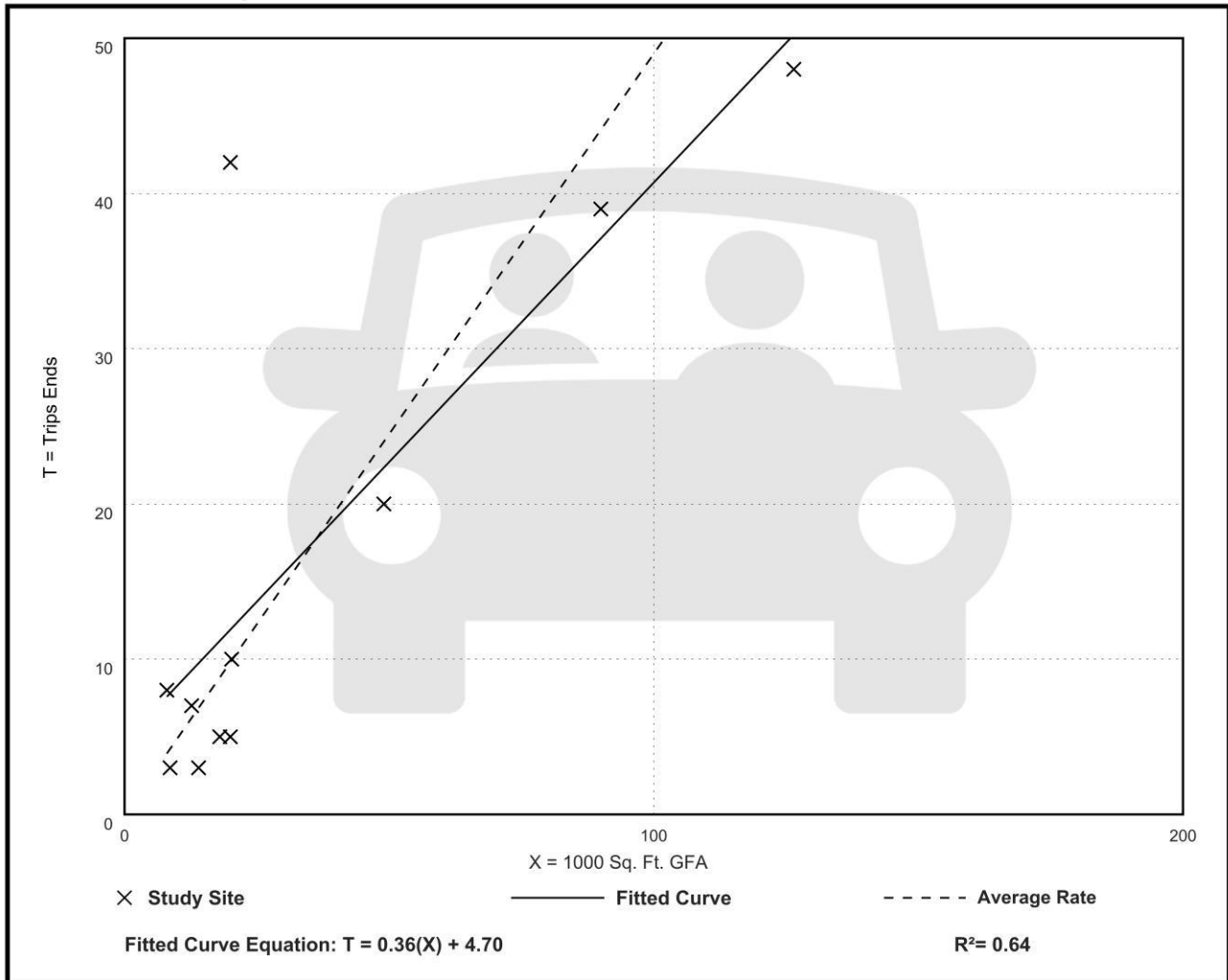
Avg. 1000 Sq. Ft. GFA: 35

Directional Distribution: 44% entering, 56% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.49	0.21 - 2.10	0.41

Data Plot and Equation



**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0055 - SP - Tri-County Heart

REQUESTED ACTION: The Project Review Committee recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No	A25-0055 (SP) Tri-County Heart
Parcel Number	G16M004
Acreage	0.7 Acres, MOL
Property Location	The property is generally located on Spencer Court, approximately 0.35 Miles southeast of the intersection of E SR 44 and S Buena Vista Blvd.
Owner	GRATUS RE HOLDINGS, LLC
Applicant	Jose Rivera Gonzalez, Manager Gratus RE Holdings, LLC

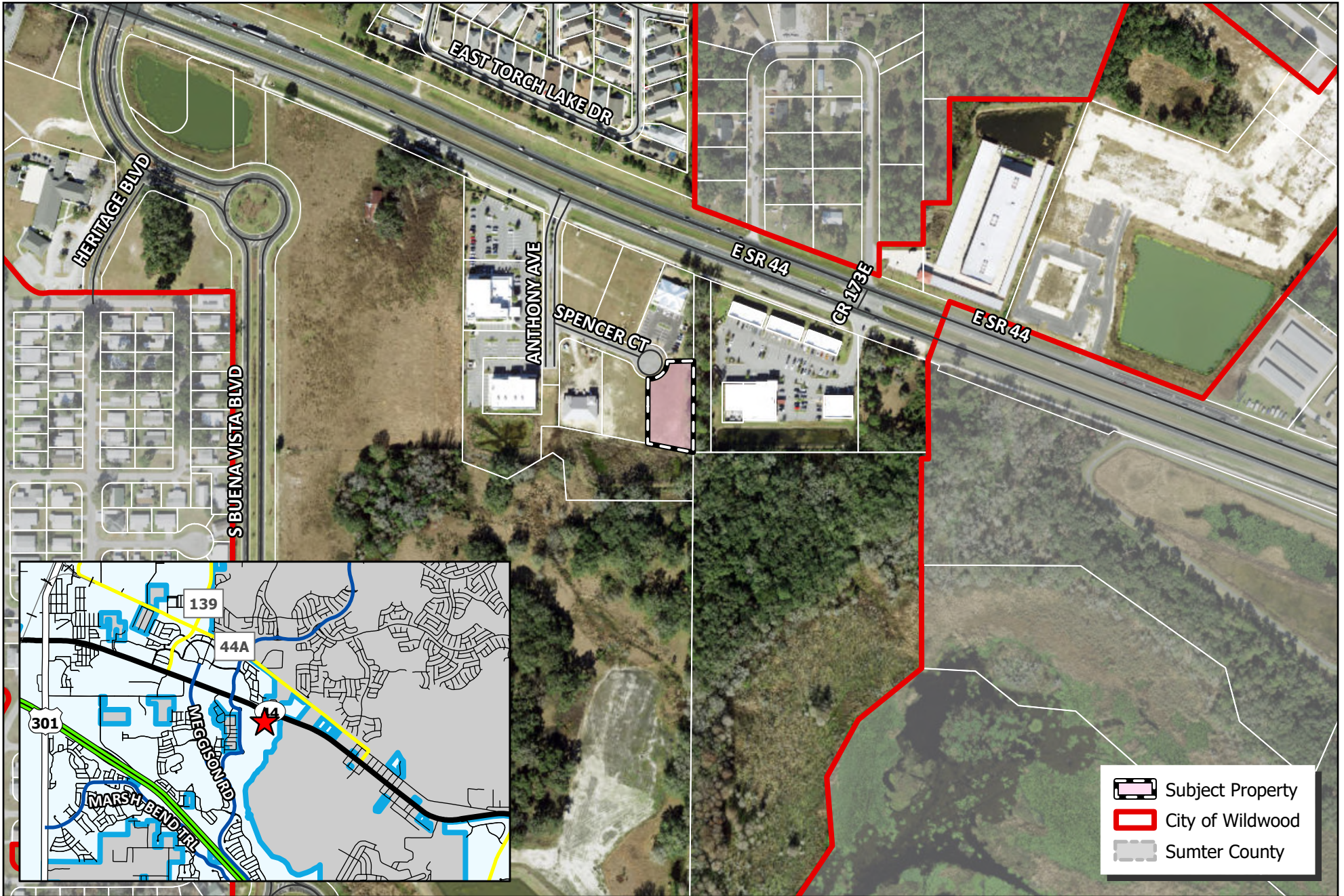
The applicant is seeking a favorable recommendation from the Special Magistrate for the construction of a five-thousand and ninety-eight (5,098) square foot medical building providing for thirty (30) parking spaces including two (2) Florida ADA accessible parking spaces and a dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on 0.7 acres MOL, as per the attached plans.




A25-0055 meets the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies within the 2050 Comprehensive Plan.

DATED: 7/21/2025



McKenna Page
Planner I, Development Services



-  Subject Property
-  City of Wildwood
-  Sumter County

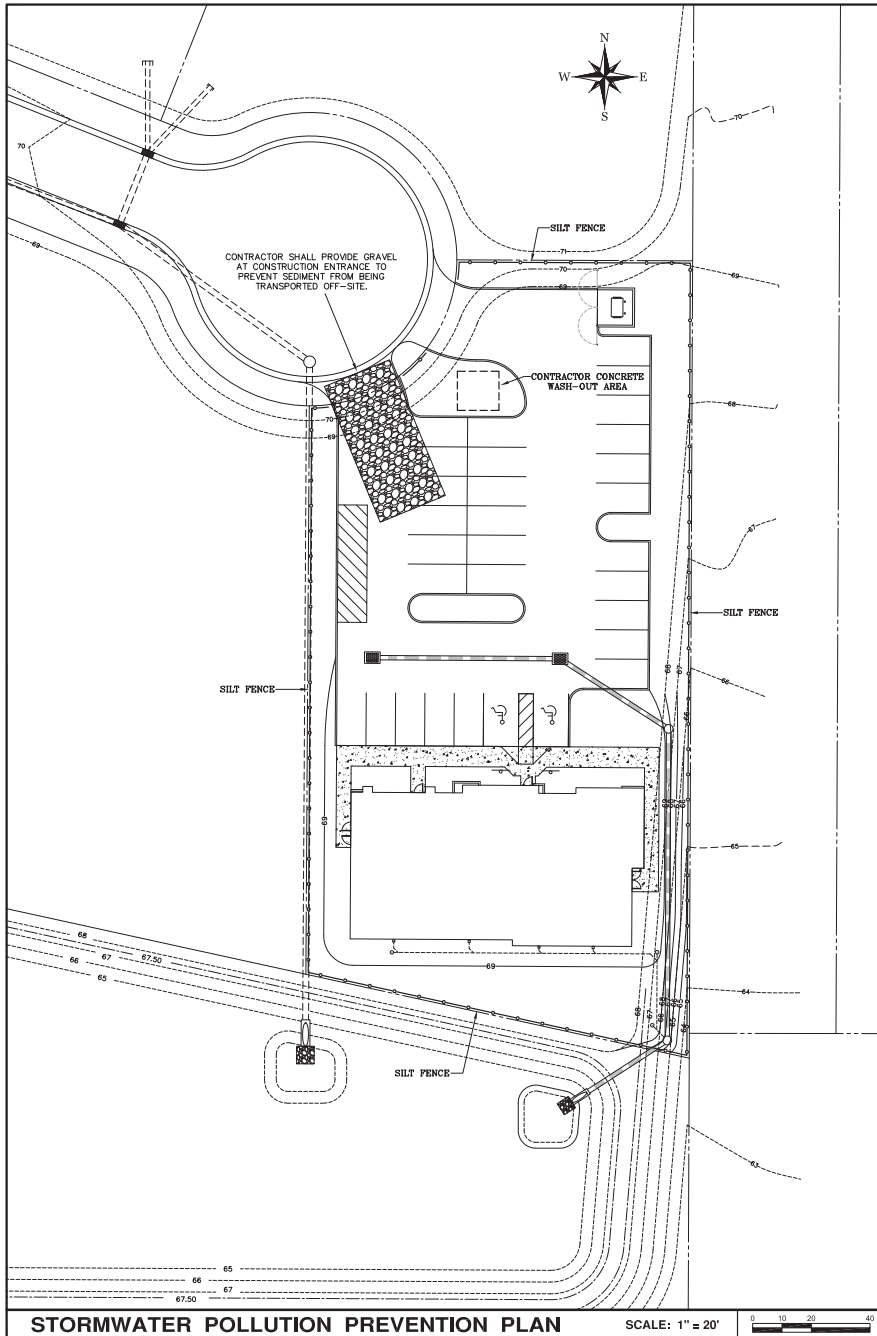


CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



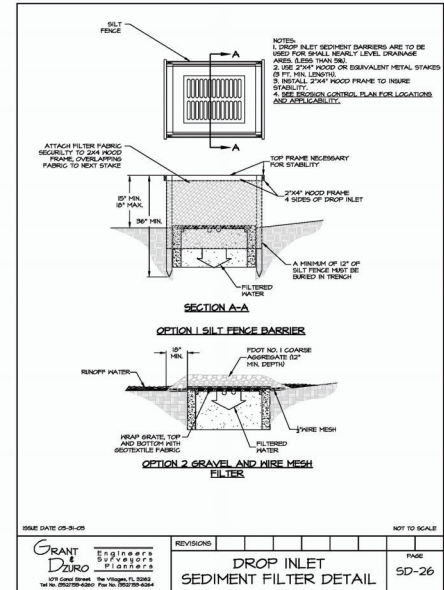
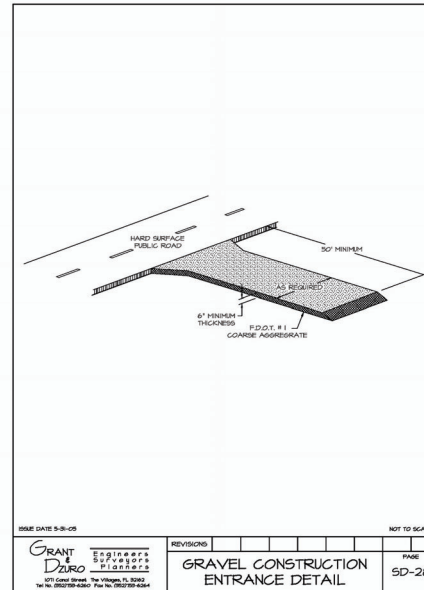
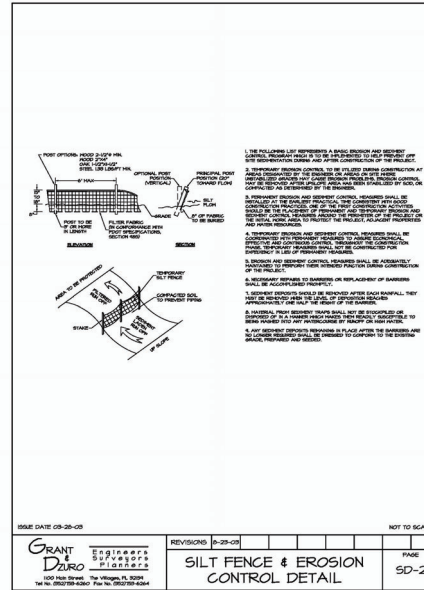
PJ #A25-0055
TRI-COUNTY HEART
 PARCEL G16M004

MAP 1B
LOCATION
MAP
MAR 2025



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 20'



THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "F" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMESTONE BASE IS FINISHED AND PRIMED.

ALL SWFMD METHODS / DETAILS SHALL MEET FDEP BEST MANAGEMENT PRACTICES.

FILE: L:\11\10\1\County Invert Lot 4 8C © 2025 RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.

STORMWATER POLLUTION PREVENTION PLAN

TRI COUNTY HEART FLORIDA

WILDWOOD

SHEET NO. C1.2

DATE: 11/16/2021

SCALE: 1"=20'

CHECKED: K.E.R.

DRAWN: R.S.H.

PROJECT: RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET
LEESBURG, FLORIDA 34448
TEL: (352) 785-7448
FAX: (352) 787-7412
keith@riddlenewman.com
info@riddlenewman.com
CUG: 000000000

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

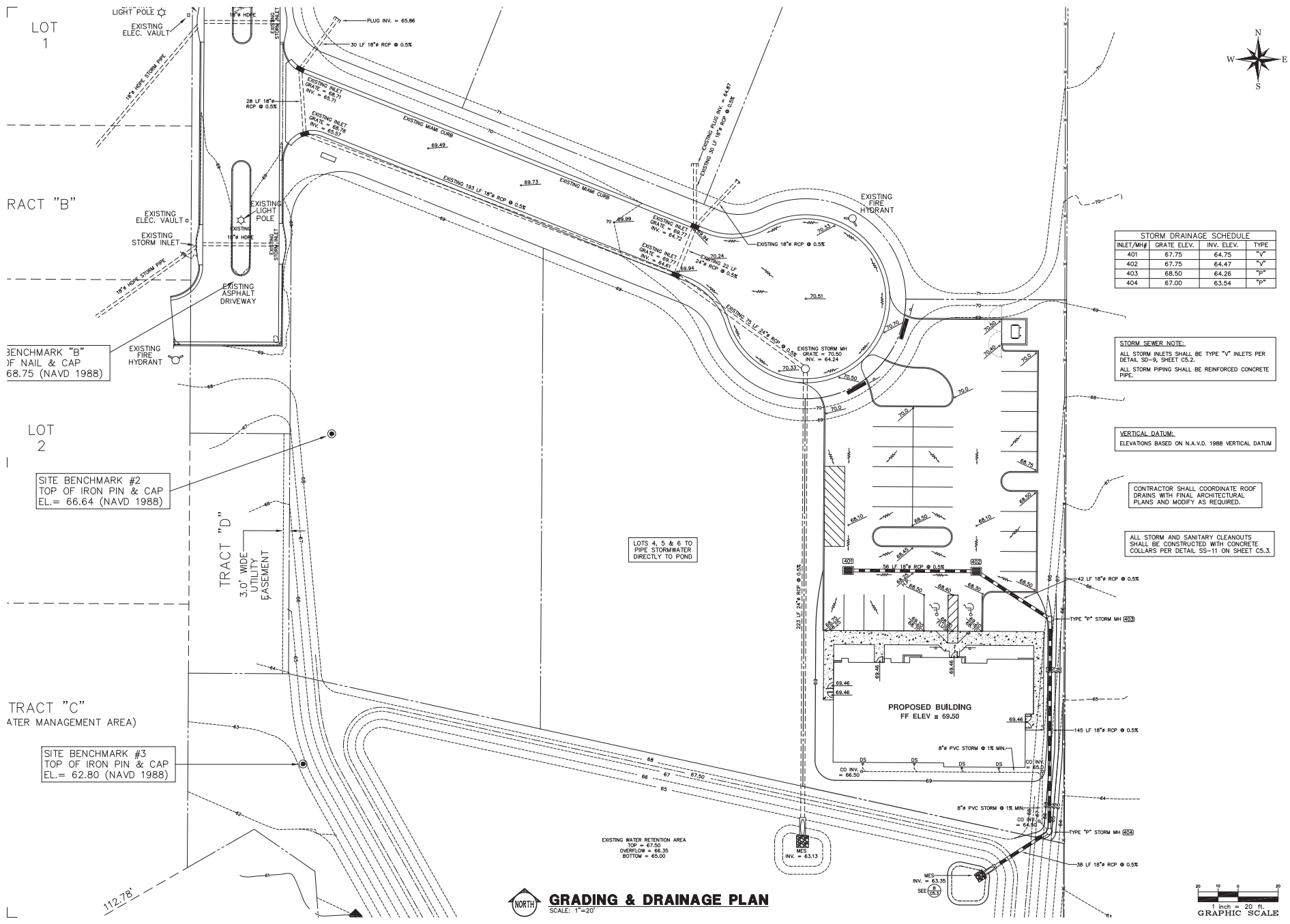
REV. # 1
REV. # 2
REV. # 3
REV. # 4
REV. # 5

DATE: 6/19/2025

REV. # 1: REVISION PER WILWOOD

REV. # 2: UPDATE PLAN FOR RE-SUBMITTING

1/23/25



STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
401	67.75	64.75	"Y"
402	67.75	64.47	"Y"
403	68.50	64.26	"P"
404	67.00	63.54	"P"

STORM SEWER NOTE:
 ALL STORM INLETS SHALL BE TYPE "Y" INLETS PER DETAIL SD-9, SHEET C5.2.
 ALL STORM PIPING SHALL BE REINFORCED CONCRETE PIPE.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

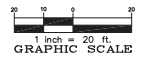
CONTRACTOR SHALL COORDINATE ROOF DRAINS WITH FINAL ARCHITECTURAL PLANS AND MODIFY AS REQUIRED.

ALL STORM AND SANITARY CLEANOUTS SHALL BE CONSTRUCTED WITH CONCRETE COLLARS PER DETAIL SS-11 ON SHEET C5.3.

LOTS 4, 5 & 6 TO PIPE STORMWATER DIRECTLY TO POND

EXISTING WATER RETENTION AREA
 TOP = 67.30
 OVERFLOW = 66.33
 BOTTOM = 65.00

GRADING & DRAINAGE PLAN
 SCALE: 1"=20'



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 TAMPA, FLORIDA 33604
 PHONE: (813) 767-7418
 FAX: (813) 767-7412
 keith@riddle-n.com
 jay@riddle-n.com

RIDDLE NEWMAN ENGINEERING INC.
 REGISTERED PROFESSIONAL ENGINEERS

REV # REV # REV # REV #
 1 1 1 1
 6/19/25 6/19/25 6/19/25 6/19/25

KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

GRADING & DRAINAGE PLAN
 TRI COUNTY HEART
 WILDWOOD
 FLORIDA

SHEET NO.
C3.1

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0900 - SP - Twistee Treat

REQUESTED ACTION: The Project Review Committee recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

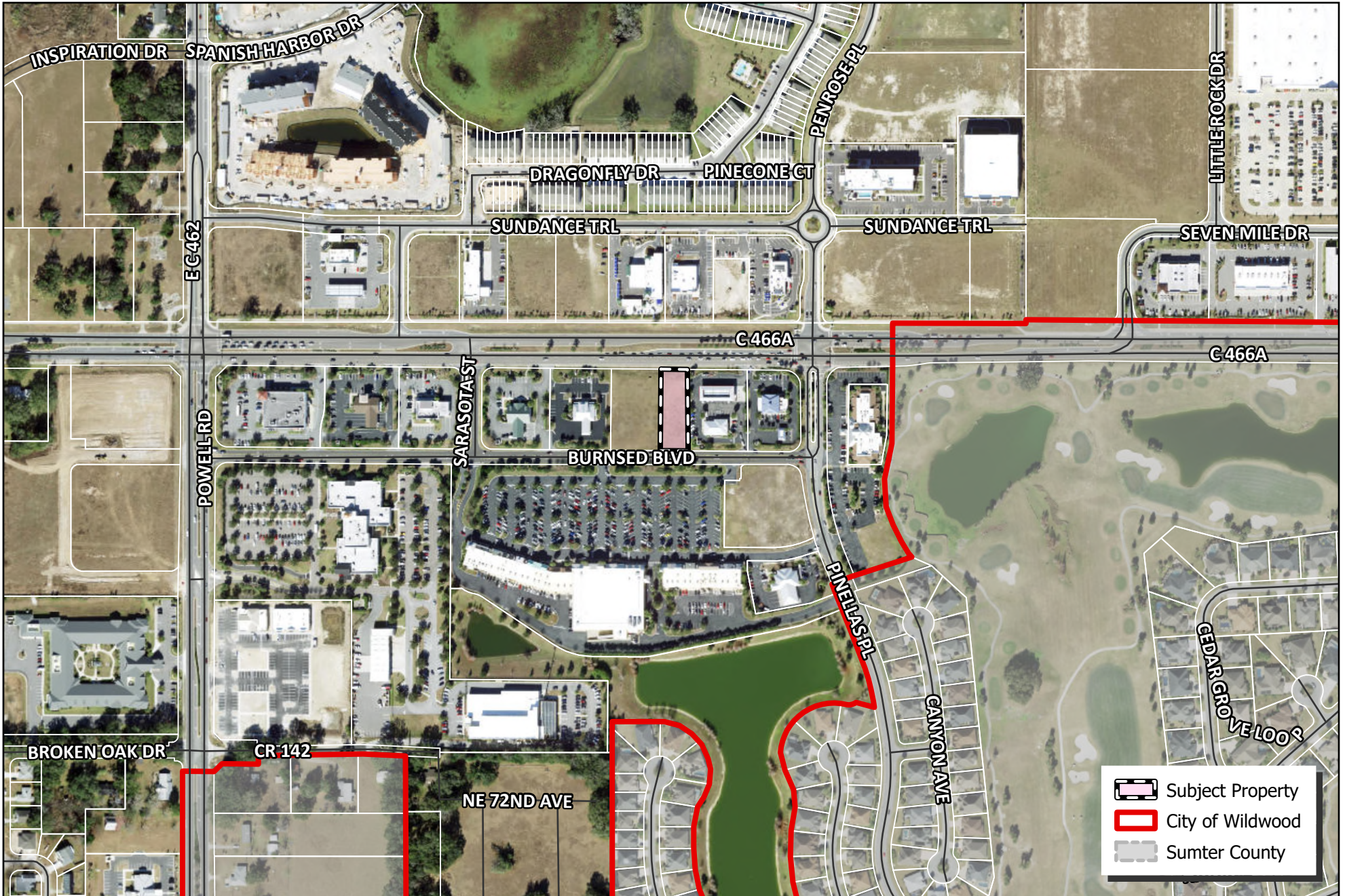
Case Number	A25-0900 - SP - Twistee Treat
Owner(s)	The Villages Southwest Plazas, LLC
Applicant	Kimley Horn and Associates, Inc. c/o Joe Pellarin
Acreage	0.52 +/-
Property Location	The subject property is generally located south side of CR 466A, 0.08 miles west of the intersection of CR 466A and Pinellas Place, addressed as 2465 Burnsed Blvd.
Parcel(s)	G04-055C

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a one-story 583 square foot Twistee Treat featuring three outdoor patio tables, one bench, one drive-thru lane, providing 17 parking spaces including 1 Florida ADA accessible parking spaces, a single dumpster enclosure, together with associated infrastructure such as landscaping buffers, connecting sidewalks, and site lighting improvements on 0.52 acres MOL, as per the attached plans. The Project Review Committee approved a technical waiver request to waive the requirement for a bypass lane parallel to the stacking lane where menu boards are located.

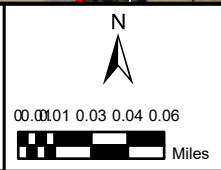
A25-0900 meets the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies within the 2050 Comprehensive Plan.



Alex Lammers
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



PJ #A25-0900
TWISTEE TREAT AT THE VILLAGES COMMUNITY
 PARCEL G04-055C

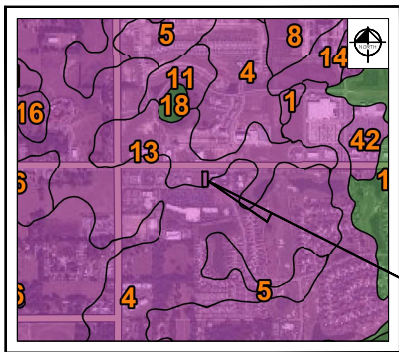
MAP 1B
LOCATION
MAP
MAR 2025

CONSTRUCTION PLANS FOR TWISTEE TREAT AT THE VILLAGES COMMUNITY

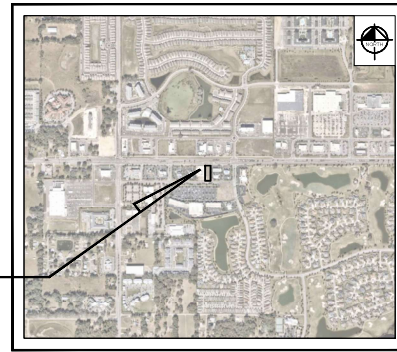
PARCEL #: G04-055C

CITY OF WILDWOOD, FLORIDA

7/31/2025



SOILS MAP 13 - TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES
SCALE = 1" = 100'

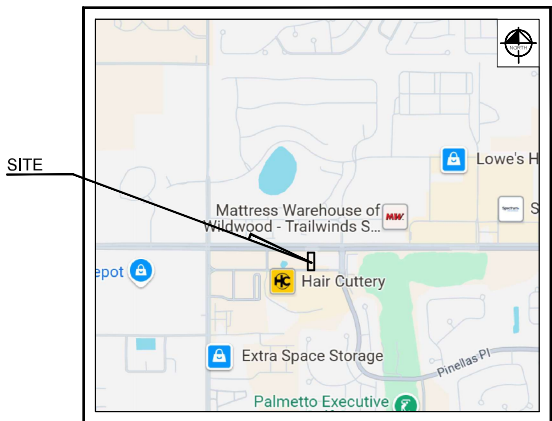


AERIAL PHOTOGRAPH
SCALE = 1" = 100'

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SUMTER, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
A PARCEL OF LAND LYING WITHIN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 4; THENCE ALONG THE WEST LINE THENCE RUN SOUTH 00 DEGREES 19 MINUTES 22 SECONDS WEST, 87.00 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF C-466A AS RECORDED IN OFFICIAL RECORDS BOOK 2136, PAGE 413, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THE FOLLOWING TWO COURSES BEING ALONG SAID SOUTHERLY RIGHT OF WAY LINE: RUNS SOUTH 89 DEGREES 30 MINUTES 00 SECONDS EAST, 149.38 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 30 MINUTES 00 SECONDS EAST, 84.18 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE RUN SOUTH 00 DEGREES 30 MINUTES 00 SECONDS WEST, 260.65 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF BARRIS BOLLINGER PEET OFFICE RECORDS BOOK 2450, PAGE 585, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE RUN NORTH 89 DEGREES 30 MINUTES 00 SECONDS WEST, 84.18 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE RUN NORTH 00 DEGREES 30 MINUTES 00 SECONDS EAST, 260.65 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH APPURTENANT EASEMENTS GRANTED IN THAT CERTAIN GRANT OF APPURTENANT EASEMENT AS RECORDED IN BOOK 2513, PAGE 26, AS AMENDED BY CORRECTIVE GRANT OF APPURTENANT EASEMENT AS RECORDED IN BOOK 2549, PAGE 193, OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.



SECTION 04 , TOWNSHIP 19, RANGE 23
LOCATION MAP
SCALE = 1" = 100'

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0,0	COVER
C1,0	GENERAL NOTES
C2,0	STORM WATER POLLUTION PREVENTION PLAN
C3,0	EXISTING CONDITIONS AND DEMOLITION PLAN
C4,0	SITE PLAN
C4,1	TRUCK TURN PLAN
C5,0	PAVING, GRADING, AND DRAINAGE PLAN
C6,0	UTILITY PLAN
C7,0	CONSTRUCTION DETAILS
C8,0-C8,2	THE VILLAGES STANDARD DETAILS
C8,3	VIKUS WATER DETAILS

PROJECT TEAM

OWNER
VILLAGES OF SOUTHWEST PLAZAS LLC
7580 MIDDLETON DRIVE
MIDDLETON, FL 34762
BRIAN HUDSON
(352) 753 8728

DEVELOPER
BURNSED BLVD VILLAGES TT, LLC
5555 S. KIRKMAN RD. SUITE 201
ORLANDO, FL 32819
CONTACT: RANDY HODGE
PHONE: (407) 384 2200
EMAIL: RHODGE@INTRAM.COM

SURVEYOR:
CFS SURVEYING
7413 ALFORD AVENUE
MIDDLETON, FL 34762
CONTACT: KAYLA JAMESON
PHONE: (352) 748-3128

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
200 S. ORANGE AVE. SUITE 600
ORLANDO, FL 32801
CONTACT: JOE PELLARINI, P.E.
PHONE: (407) 720-7373
EMAIL: JOE.PELLARINI@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT:
MPA
2351 SE 17TH ST
OCALA, FL 34741
CONTACT: SUZANNE STANCL
PHONE: (352) 351 3000
EMAIL: SSSTANCL@MPA-FL.COM

UTILITY PROVIDERS

**POTABLE WATER /
SANITARY SEWER**
VIKUS WATER
3635 MESSER ROAD
THE VILLAGES, FL 32163
CONTACT: STACI LOCKE
(352) 753 4747

ELECTRIC COMPANY
SUMTER ELECTRIC COOPERATIVE, INC.
3369 WEDGEWOOD LANE
THE VILLAGES, FL 32162
(352) 793-8801

VILLAGES FIBER
MCDONOUGH DEVELOPMENT SERVICES
4450 NE 32ND ROAD
WILLOWOOD, FL 34765
(352) 753-6219

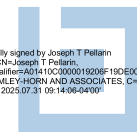
TELEPHONE:
CENTURYLINK
13465 SE CR 28
OCALA, FL 32179
(352) 753-6219

CATV:
COMCAST
8130 HIGHWAY 44 - LEG A
LEESBURG, FL 34788
(352) 797-6575

IRRIGATION UTILITIES:
SUMTER WATER CONSERVATION
AUTHORITY (SWCA)
3571 KISSSEL ROAD
THE VILLAGES, FL 32163
(352) 753-6300

PREPARED BY
Kimley»Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
200 S Orange Ave, Suite 600, Orlando, FL 32801
Phone: (407) 898-1511
WWW.KIMLEY-HORN.COM Registry No. 35106



Digitally signed by Joseph T Pellarin
DN: CN=Joseph T Pellarin,
o=Qualifer=AD410C3000016206F1D0E0000DEB3,
c=KIMLEY-HORN AND ASSOCIATES, INCUS
Date: 2025.07.31 09:14:06-0400'



This item has been digitally signed and sealed by Joseph Thomas Pellarin, P.E. on the date adjacent to the seal.
Signature must be verified on any electronic copies.
7/31/2025

SHEET NUMBER
C0.0

NO.	REVISIONS	DATE	BY

Drawing name: K:\proj_eb\1902-23-villages_twistee_treat\CONST\plan sheets\CO-C005.dwg CO.0 Jul 31, 2025 9:02am by: Joe Pellarin
This document, together with the concepts and designs presented therein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Release of said drawings, plans, or specifications in any form or by any means, without the written authority of Kimley-Horn and Associates, Inc.

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GENERAL NOTES:

- NO SITE WORK SHALL BE CONDUCTED PRIOR TO OBTAINING A SITE PERMIT FROM THE NSUCDD-CSU. CALL THE CITY DEVELOPMENT SERVICES DEPARTMENT AT (352) 330-1334 TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF WILDWOOD LAND DEVELOPMENT REGULATIONS AND THESE PLANS. ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO VIRKUS WATER'S WATER AND SEWER CONSTRUCTION SPECIFICATIONS. VIRKUS WATER WILL BE MAINTAINING WATER MAINS TO POINT OF METERING AND/OR DDC LOCATION AND SEWER MAINS 8" AND ABOVE.
- ALL WORK WITHIN COUNTY RIGHT OF WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FOOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FOOT STANDARDS, LATEST EDITION SHALL DETAIL SPECIFICATIONS AND REGULATIONS FOR ALL MATERIALS, INSTALLATION AND INSPECTIONS.
- KIMLEY-HORN & ASSOCIATES, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- LANDSCAPING SHALL BE IN ACCORDANCE WITH NSUCDD-CSU ORDINANCE NO. 599 (SEE LANDSCAPE PLAN).
- SIGNAGE MUST BE IN CONFORMANCE WITH THE CITY SIGN CODE AND IN ACCORDANCE WITH ALL APPLICABLE NSUCDD-CSU STANDARDS. BUSINESS SIGNAGE SHALL BE APPROVED UNDER A SEPARATE PERMIT PER THE REQUIREMENTS OF CHAPTER 365 AND 366 OF THE NSUCDD-CSU CODE OF ORDINANCES.
- PRIOR TO FINAL SITE PLAN APPROVAL, THE SIGNED AND SEALED BUILDING PLANS MUST BE SUBMITTED TO THE ZONING DEPARTMENT FOR PURPOSES OF VERIFYING THE BUILDING FOOTPRINT.
- COPIES OF ALL PERMITS FROM APPLICABLE REGULATORY AGENCIES SHALL BE PROVIDED TO THE CITY WHEN AVAILABLE AND PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PER SECTION 16 - 1 - CODE OF ORDINANCES IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM, CORPORATION OR AGENT THEREOF TO DO ANY CONSTRUCTION OR REPAIR WORK INVOLVING THE TEARING UP AND RELAYING OF ANY STREET OR PART OF STREET OR TO CONSTRUCT, DIG UP OR BURY OR IN ANY WAY DISTURB ANY STREET OR PART OF STREET, INCLUDING REMOVAL OF EARTH FROM DITCHES, IN THE CITY WITHOUT FIRST PROCURING FROM THE CITY A WRITTEN PERMIT. THEREFOR, THE PERMIT PROVIDED FOR THIS SECTION SHALL BE ISSUED UNDER SUCH CONDITIONS AS MAY BE PRESCRIBED BY THE CITY ENGINEER. DESCRIBE THE PORTION OF THE STREET TO BE AFFECTED AND SHALL MAKE PROVISION FOR THE REPLACEMENT OF THAT PART OF THE STREET WHICH IS TO BE REPLACED IN THE SAME CONDITION AS WHEN DISTURBED AND SHALL STATE A DEFINITE TIME WITHIN WHICH THE PERMIT SHALL BE COMPLETED.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OF NEW IMPROVEMENTS, AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. CAUTION IS ADVISED PRIOR TO DIGGING.
- TYPE#4 SILT FENCE & ORANGE BARRIER FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS PRIOR TO ANY SITE CLEARING OR DEMOLITION AND PRIOR TO ANY SITE DEVELOPMENT. FENCE SHALL BE MAINTAINED DURING LIFE OF CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
- THE SITE MUST REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY FOR EACH OCCURRENCE. REFER TO "SEDMIMENT CONTROL" NOTED ON THE EROSION PLAN, AND COMPLY WITH TRACKING PAD SHOWN THEREON.
- ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
- ANY NON-CONDUCTIVE UNDERGROUND UTILITIES SHALL BE INSTALLED WITH LOCATOR WIRE. TELEPHONE AND ELECTRIC CONTRACTORS SHALL COORDINATE WITH SITE CONTRACTOR FOR ANY SLEEVING OR CONCRETE ENCASMENT REQUIREMENTS. ALL UNDERGROUND UTILITIES SHALL BE INSPECTED BY CITY PRIOR TO COVERING.
- THE ELECTRICIAN SHALL COORDINATE WITH THE SUMNER ELECTRIC COOPERATIVE, INC FOR PLACEMENT OF ELECTRIC SERVICE. ANY SLEEVING SHALL BE COORDINATED WITH THE SITE CONTRACTOR.
- ALL DIMENSIONS AND RADII ARE REFERENCED TO FACE OF CURB OR WALK AS APPLICABLE.
- BUILDING AND PARKING SHALL BE HANDICAP ACCESSIBLE PER AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITION, AND CHAPTER 11 F.B.C. CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF BUILDING FOUNDATION AND SHALL BE COMPACTED TO 98% MAXIMUM DENSITY. READ & FOLLOW THE DIRECTIONS OF THE GEOTECHNICAL SITE EXPLORATION REPORT FOR SITE PREPARATION, VERIFY BUILDING DIMENSIONS AND DOOR LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCY TO THE ENGINEER, AS GRADES MAY NEED TO BE REVISED.
- IF UNSUITABLE MATERIAL IS ENCOUNTERED WITHIN THE PROPOSED PAVEMENT, TWO (2) FEET OF UNDERCUT BELOW THE BASE OF STABILIZED SUBGRADE, TOGETHER WITH SUITABLE BACKFILL MATERIAL IS RECOMMENDED. THE CONTRACTOR SHOULD PROVIDE A UNIT PRICE IN HIS INITIAL BID, AND HE SHALL NOTIFY THE PROJECT ENGINEER WHEN UNSUITABLE MATERIAL IS ENCOUNTERED. BEFORE PROCEEDING WITH ANY WORK RELATED TO UNSUITABLE MATERIAL, THE CONTRACTOR IS ADVISED TO CONTACT THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE THE SUITABILITY OF THE IN-SITU SOIL AND THE AREA OF UNDERCUT THAT IS REASONABLY REQUIRED.
- MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3,000 P.S.I. AT 28 DAYS UNLESS OTHERWISE NOTED.
- ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY FINISH GRADED, COMPACTED TO A MINIMUM OF 90% MODIFIED PROCTOR, AND SOILED AS SHOWN ON SHEET C&A AND C&B. ALLOW FOR THE THICKNESS OF SOIL WITH A MINIMUM UNDERCUT. SOIL SHALL BE ARGENTINE SAND, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION. ALL DISTURBED AREAS NOT DESIGNATED TO BE SOILED SHALL BE HYDROSEEDED WITH ARGENTINE BAMA GRASS SEED IN CONFORMANCE WITH SECTIONS 570 OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- THE SITE CONTRACTOR SHALL INCLUDE THE PROMISION OF A COMPREHENSIVE AS-BUILT SURVEY FOR THE ENTIRE PROJECT IN HIS CONTRACT. THIS SURVEY MUST BE PERFORMED BY A FLORIDA REGISTERED LAND SURVEYOR (FIELD AND OFFICE WORK). PROVIDED TO THE NSUCDDCSU ON A COMPACT CDSC, AND TO THE PROJECT ENGINEER IN BOTH PDF AND ACAD FORMATS PRIOR TO C.O. THE AS-BUILT SURVEY SHALL INCLUDE VALVE THE SHEETS FOR ANY NEW VALVES, TOGETHER WITH THE TYPE, SIZE, LOCATION, DEPTH, SLOPE (WHERE APPLICABLE), ETC. OF ALL UTILITIES. IMPORTANT! THE LOCATIONS AND TOP OF PIPE ELEVATIONS FOR ALL VERTICAL & HORIZONTAL BENDS, TEES, VALVES AND MANHOLE MUST BE PROVIDED ON THE AS-BUILTS. THE PROJECT ENGINEER WILL REVIEW THE INFORMATION FOR CERTIFICATION OF COMPLETION BEFORE FINAL PAYMENT WILL BE APPROVED. AN INCOMPLETE AND/OR INACCURATE AS-BUILT SURVEY WILL BE REJECTED, AND THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DELAY IN OBTAINING THE C.O.
- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON SITE IN AN ORDERLY AND ORGANIZED FASHION, THE SOUTHERLY PORTION OF THE PROPERTY SHALL SERVE AS THE STAGING AREA FOR THE DURATION OF CONSTRUCTION.
- THE SOLID WASTE COMMERCIAL IMPACT FEE SHALL BE CALCULATED, DUE, AND PAYABLE WITHIN 30 DAYS OF INITIATION OF PERMANENT ELECTRIC SERVICE.

- CONTRACTOR SHALL BE REQUIRED TO APPLY FOR A RIGHT OF WAY UTILIZATION PERMIT FOR ALL WORK TO BE DONE WITHIN THE CITY'S RIGHT OF WAY, 5 BUSINESS DAYS PRIOR TO THE WORK'S SCHEDULED STARTING DATE.
- CRITICAL ROOT ZONES.

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DETECTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN THE FOOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION).
- ALL UNPAVED AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOILED.
- TRAFFIC CONTROL ON ALL FOOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT) FINAL AND CONFORM TO THE FOOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION, INDEX 600 SERIES. THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC PLAN OR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK IN FOOT RIGHT OF WAY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED. IMMEDIATELY FOR AREAS NOT WORKED FOR A PERIOD OF 7 CALENDAR DAYS.
- ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOILED OR SEED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL GRASSES ARE WILL BE SOILED OR SEEDDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE A (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSPORTING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREFOR, THE CONTRACTOR MUST REMOVE THE BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE SURFACE WATER QUALITY STANDARDS IN CHAPTER 17-362, FLORIDA ADMINISTRATIVE CODE.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.

- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNSERVICEABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMED AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- THE OWNER WILL ENGAGE THE TESTING COMPANY AND CONTRACTOR SHALL PERFORM ALL TESTS. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER, A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- GOVERNING JURISDICTION WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS LOCATED IN THE RIGHT-OF-WAY. DAMAGES TO THE HARDSCAPE, LANDSCAPE, OR RESTORATION WILL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

MAINTENANCE

- ALL MEASURES STATED IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
 - SILT FENCES SHALL BE PREPARED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
 - ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TRAFFIC NOTES & REFERENCES:

- BOTTOM EDGE OF ANY INSTALLED SIGNS SHALL HAVE 7" CLEARANCE TO FINISH GRADE UNLESS OTHERWISE NOTED.
- STOP SIGNS TO BE 30" AND FABRICATED USING 3M DIAMOND GRADE PPM REFLECTIVE SHEETING. SIGN POSTS SHALL BE 2" SQUARE STEEL TUBING WITH 3/8" DIAMETER HOLES, SPACED 1' O.C.
- HANDICAP SIGNS SHALL CONFORM TO F.D.O.T. INDEX #700-102.
- TRAFFIC CONTROL SIGNING SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).

PROJECT LOCATION: TWISTEE TREAT AT THE VILLAGES COMMUNITY

DATE: 7/31/2025

SCALE: AS SHOWN

DESIGNED BY: JTF

DRAWN BY: MRS

CHECKED BY: JTF

GENERAL NOTES

FLORIDA

CITY OF WILDWOOD

SHEET NUMBER
C1.0

DATE

BY

REVIEWS

NO.

Kimley-Horn

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STORMWATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

PROJECT NAME AND LOCATION

TWISTEE TREAT AT THE VILLAGES COMMUNITY
*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME

APPLICANT
BURNGED BLVD VILLAGES TT, LLC

PROJECT DESCRIPTION

THIS PROJECT IS TO DEVELOP A TWISTEE TREAT DRIVE-THRU RESTAURANT WITH PATIO SPACE AND ASSOCIATED INFRASTRUCTURE

PROJECT AREA: 0.56 ACRES

LATITUDE: 28° 51' 57.26" N LONGITUDE: 82° 01' 1.03" W

ULTIMATE RECEIVING WATERS: EVANS PRAIRIE

ACTIVITIES THAT REQUIRE EROSION CONTROL

SITE CLEARING AND GRUBBING; PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; EXCAVATION FOR THE RETENTION POND; SITE GRADING; INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER STRUCTURES; CURB, ROADWAYS, AND PARKING FACILITIES.

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SOIL PARAMETERS

SOIL TYPES:

SERIES NAME	HYDROLOGIC GROUP
TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES	A

DEWATERING

DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF CONSTRUCTION IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AND OTHER EROSION CONTROL METHODS
3. CLEAR AND GRUB FOR SEDIMENT BASIN AND EARTH DIKE
4. CONSTRUCT EARTH DIKE AND SEDIMENT BASIN
5. FINISH CLEARING AND GRUBBING
6. REMOVE AND STORE TOPSOIL
7. PROVIDE INITIAL GRADING AS REQUIRED
8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
9. INSTALL UTILITIES, STORM SEWER, CURB AND GUTTER
10. INSTALL BASE TO ROAD AND PARKING AREA
11. FINISH GRADING ENTIRE SITE
12. CONSTRUCT FINAL PAVING
13. REMOVE ACCUMULATED SEDIMENT
14. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

TIMING OF CONTROL MEASURES

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

EROSION AND SEDIMENT CONTROLS

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUNOFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW.

STORM WATER MANAGEMENT

STORMWATER COLLECTION SHALL BE PROVIDED BY DITCH BOTTOM INLETS, THE RUNOFF FROM THE SITE WILL DISCHARGE TO THE MASTER STORMWATER SYSTEM.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION - TOPSOIL, STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL. AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.65A, 1.65B AND 1.65C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

STRUCTURAL PRACTICES:

EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER, A PORTION OF THE DIKE SHALL DIVERT RUNOFF AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURNED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

OFF-SITE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARP/AULIN.

DUST & DEBRIS CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL WITHIN THE CONSTRUCTION LIMITS AS WELL AS ALONG HAUL ROUTES AND ROADWAYS USED BY THE EQUIPMENT AND VEHICLES. THE CONTRACTOR SHALL ENSURE THAT EXCESSIVE DUST IS NOT TRANSPORTED BEYOND THE LIMITS OF CONSTRUCTION IN POPULATED AREAS. THE CONTRACTOR MAY CONTROL DUST FOR EMPLOYEES OR OTHER CLEARED OR UNSURFACED AREAS BY APPLYING WATER. INSTALL MULCH, SEED, SOIL OR TEMPORARY PAVING AS EARLY AS PRACTICAL. CONTROL DUST DURING STORAGE AND HANDLING OF DUSTY MATERIALS BY WETTING, COVERING, OR OTHER MEANS AS APPROVED BY THE ENGINEER. CONTRACTOR SHALL ENFORCE REDUCED VEHICLE SPEEDS ON UNPAVED ROADS AND IF NECESSARY PROHIBIT CONSTRUCTION GRADING WHEN WIND GUSTS EXCEED 25 MPH, OR OTHERWISE DIRECTED BY E.O.R. OR COUNTY INSPECTOR.

DEBRIS AND TRASH SHALL NOT BE ALLOWED TO ACCUMULATE ON THE PROJECT SITE. CONTRACTOR SHALL COLLECT LOOSE DEBRIS & TRASH DAILY, AND DISPOSE OFFSITE INTO APPROPRIATE CONSTRUCTION TRASH RECEPTACLES OR CONTAINERS.

ITEMS REQUIRING POLLUTION PREVENTION

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE:

- ASPHALT
- CONCRETE
- FERTILIZERS
- METAL DEBRIS
- PETROLEUM BASED PRODUCTS
- TAR
- CLEANING SUPPLIES
- DETERGENTS
- MASONRY BLOCK/BRICKS
- PAINT
- WOOD

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:

- UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
- WATER FROM WATER LINE FLUSHING
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

-SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

-STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

-ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

-ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

-PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

-ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS PRODUCTS

-MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

-PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL STATE REGULATIONS.

PETROLEUM SPECIFIC PRACTICES

-PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

-THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

-PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.

-CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

-SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.

-THE FOLLOWING CLEANUP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREAS: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.

-ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.

-WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.

-TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

-AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

-THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

MAINTENANCE AND INSPECTION PRACTICES

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED AT A MINIMUM OF EVERY 7 DAYS AND WITHIN 24 HOURS OF EACH 0.5 INCH OR GREATER RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HER DIRECT SUPERVISION.

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.

-THE SILT FENCE SHALL BE INSPECTED AT A MINIMUM OF EVERY 7 DAYS AND WITHIN 24 HOURS OF A 0.5" OR GREATER RAIN EVENT FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.

-THE SILT FENCE SHALL BE CLEARED OF SEDIMENT WHEN SEDIMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE.

-THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED AT A MINIMUM OF EVERY 7 DAYS AND WITHIN 24 HOURS OF A 0.5" OR GREATER RAIN EVENT FOR DEPTH OF SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE.

-DIVERSION DIKES SHALL BE INSPECTED AT A MINIMUM OF EVERY 7 DAYS AND WITHIN 24 HOURS OF A 0.5" OR GREATER RAIN EVENT. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

-ALL SEEDING SHALL BE CHECKED FOR PROPER GROWTH AND UNIFORMITY. UNSTABILIZED AREAS SHALL BE RE-SEEDDED.

-A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

-THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____

JOSEPH PELLARIN, P.E.
FLORIDA REGISTRATION NUMBER: 92385
PROFESSIONAL ENGINEER

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FORM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

SIGNATURE AND DATE	NAME AND TITLE, COMPANY / ADDRESS AND TELEPHONE NUMBER	RESPONSIBILITY

STORM WATER POLLUTION PREVENTION PLAN

TWISTEE TREAT AT THE VILLAGES COMMUNITY

FLORIDA

CITY OF WILDWOOD



© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
200 S. CRANFORD AVENUE, SUITE 600, ORLANDO, FL
PHONE: (407) 891-8151
WWW.KHAE.COM (REGISTRY NO. 2910)

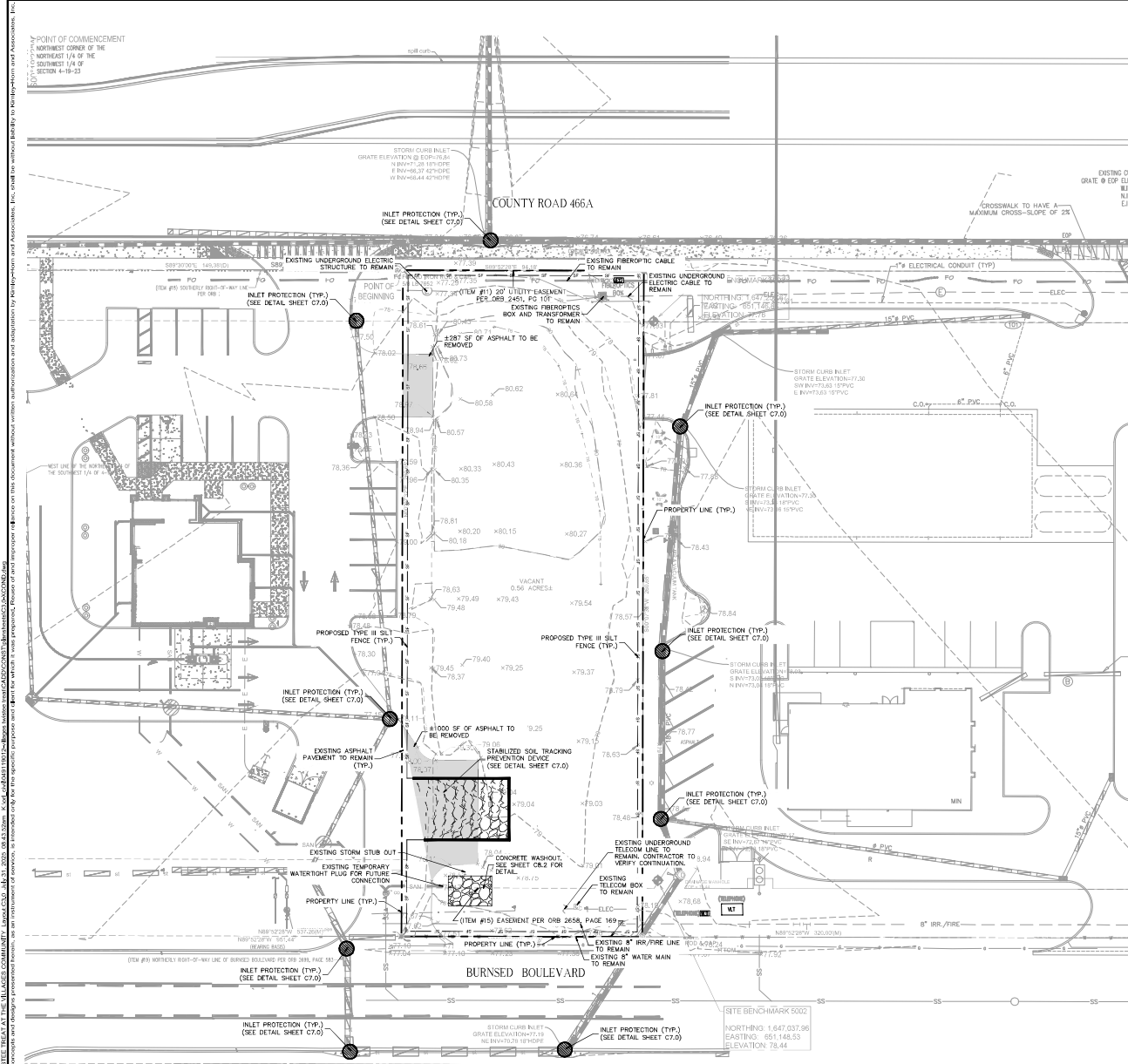
DATE

REVISIONS

NO.

SHEET NUMBER

C2.0



- DEMOLITION NOTES**
1. CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
 2. ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
 3. UTILITIES TO BE FLAGGED SHALL BE FILLED WITH A MINIMUM 1.0 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
 4. TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
 5. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
 6. THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION. SEE "EROSION & SEDIMENT CONTROL DETAILS".
 7. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
 8. ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SEEDING THE AREA DISTURBED.
 9. ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREON IS NATIONAL GEODETIC SURVEY STATION 23125, SAID POINT HAVING AN ELEVATION OF 83.03.

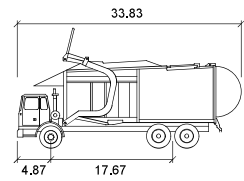
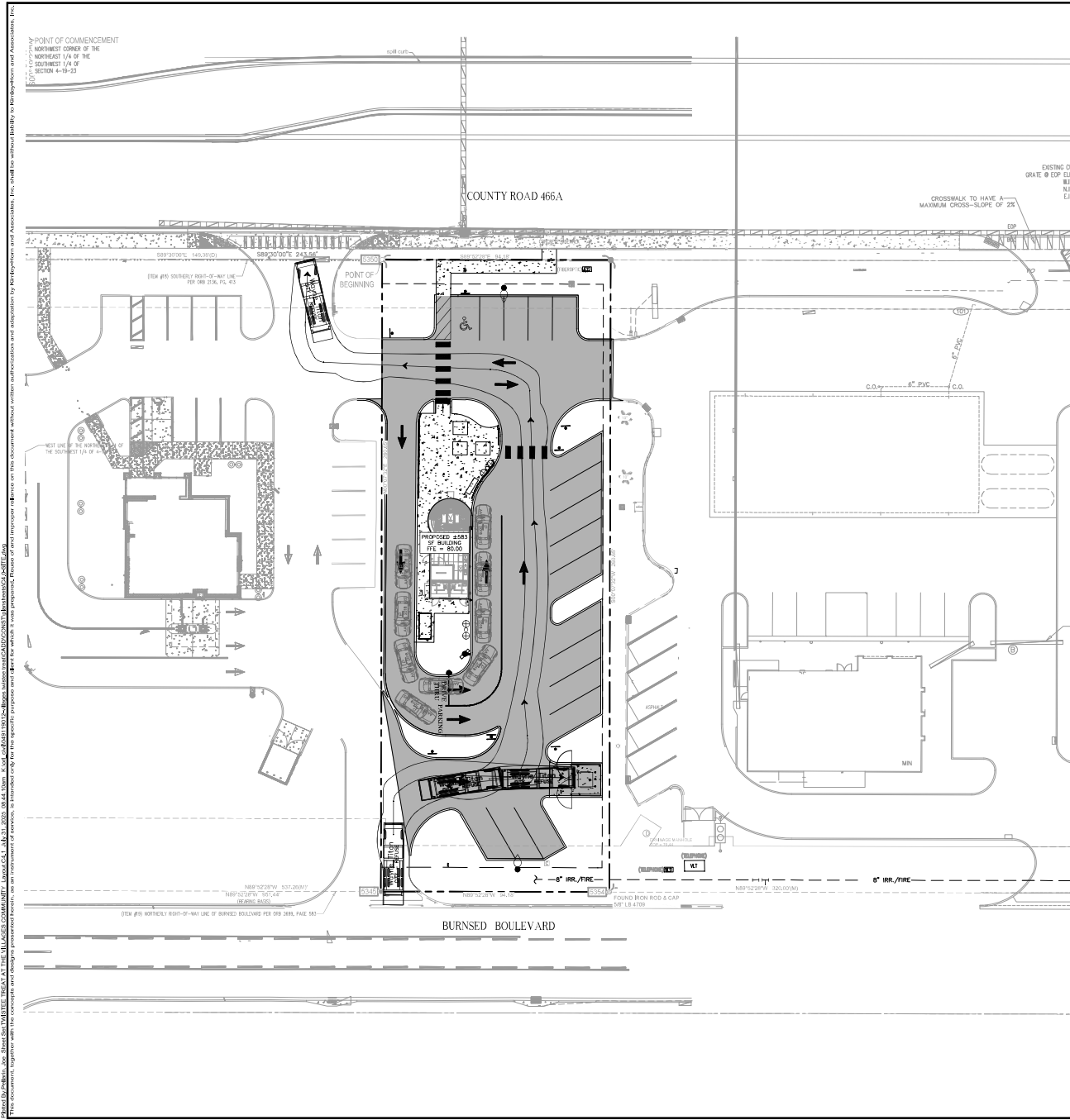
TREE PRESERVATION NOTE:
 TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

- LEGEND**
- PROPERTY LINE (TYP.)
 - - - TYPE III SLT FENCE (SEE DETAIL SHEET C7.0)
 - INLET PROTECTION (SEE DETAIL SHEET C7.0)
 - EXISTING SANITARY SEWER LINE
 - EXISTING IRRIGATION/FIRE LINE
 - EXISTING WATER LINE
 - EXISTING STORM PIPE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND COMMUNICATION
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING TO BE DEMOLISHED



<h2 style="margin: 0;">EXISTING CONDITIONS AND DEMOLITION PLAN</h2>	<p style="font-size: small;">LEGEND</p> <p style="font-size: x-small;">DATE: 7/31/2025 DRAWN BY: JTF CHECKED BY: JTF</p>
<h3 style="margin: 0;">TWISTEE TREAT AT THE VILLAGES COMMUNITY</h3>	<p style="font-size: x-small;">FLORIDA</p>
<p style="font-size: x-small;">SHEET NUMBER</p> <h2 style="margin: 0;">C3.0</h2>	<p style="font-size: x-small;">DATE</p>

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Wayne Titan

Width	: 4.86
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

SITE DATA:

PROJECT AREA:	24,548 SF (0.56 AC)
FUTURE LAND USE:	V-WW DRI
EXISTING ZONING:	V-WW
EXISTING USE:	VACANT
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING HEIGHT:	1 STORY / 24'-0"
PROPOSED CONSTRUCTION TYPE:	V-B
ADJACENT PARCEL INFORMATION	
WESTERN PARCEL FUTURE LAND USE:	V-WW DRI
WESTERN PARCEL EXISTING ZONING:	V-WW
EASTERN PARCEL FUTURE LAND USE:	V-WW DRI
EASTERN PARCEL EXISTING ZONING:	V-WW
EXISTING IMPERVIOUS AREA - ASPHALT:	598 SF (0.01 AC) 2.4%
PROPOSED IMPERVIOUS AREA - ASPHALT:	14,594 SF (0.33 AC) 58.9%
PROPOSED IMPERVIOUS AREA - SIDEWALK:	1,869 SF (0.04 AC) 7.2%
PROPOSED IMPERVIOUS AREA - BUILDING:	583 SF (0.01 AC) 2.4%
TOTAL PROPOSED IMPERVIOUS AREA:	17,046 SF (0.41 AC) 73.2%
PERVIOUS AREA/OPEN AREA:	7,481 SF (0.17 AC) 26.8%
PARKING REQUIRED:	FAST FOOD ESTABLISHMENTS, 1 PER 80 SQ. FT. GFA
	583 CSF / 80 CSF = 7.3 SPACES
TOTAL REQUIRED PARKING:	8 SPACES

PARKING PROVIDED:

PROPOSED HANDICAP SPACES (12'X18'):	1 SPACES
PROPOSED REGULAR SPACES (10'X15'):	4 SPACES
PROPOSED ANGLED SPACES (10'X21'):	12 SPACES
PROPOSED ON-SITE SPACES:	17 SPACES

BUILDING SETBACKS:

BUILDING SETBACK- COUNTY ROAD 466A	= 10'
BUILDING SETBACK- BURNSSED BOULEVARD	= 10'
BUILDING SETBACK- WESTERN PROPERTY	= 0'
BUILDING SETBACK- EASTERN PROPERTY	= 3'

LANDSCAPE SETBACKS:

LANDSCAPE SETBACK- COUNTY ROAD 466A	= 10'
LANDSCAPE SETBACK- BURNSSED BOULEVARD	= 10'
LANDSCAPE SETBACK- WESTERN PROPERTY	= 0'
LANDSCAPE SETBACK- EASTERN PROPERTY	= 3'

FLOOD ZONE:

THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 102299, PANEL NUMBER D13, SUFFIX D, EFFECTIVE SEPTEMBER 27, 2015, FOR MIAMI, FLORIDA.

DRIVE TRAIL QUEUE:

200 FEET TOTAL STACKING (5-SPACES PER LANE) 9'X20' QUEUE SIZE.

NOTES:

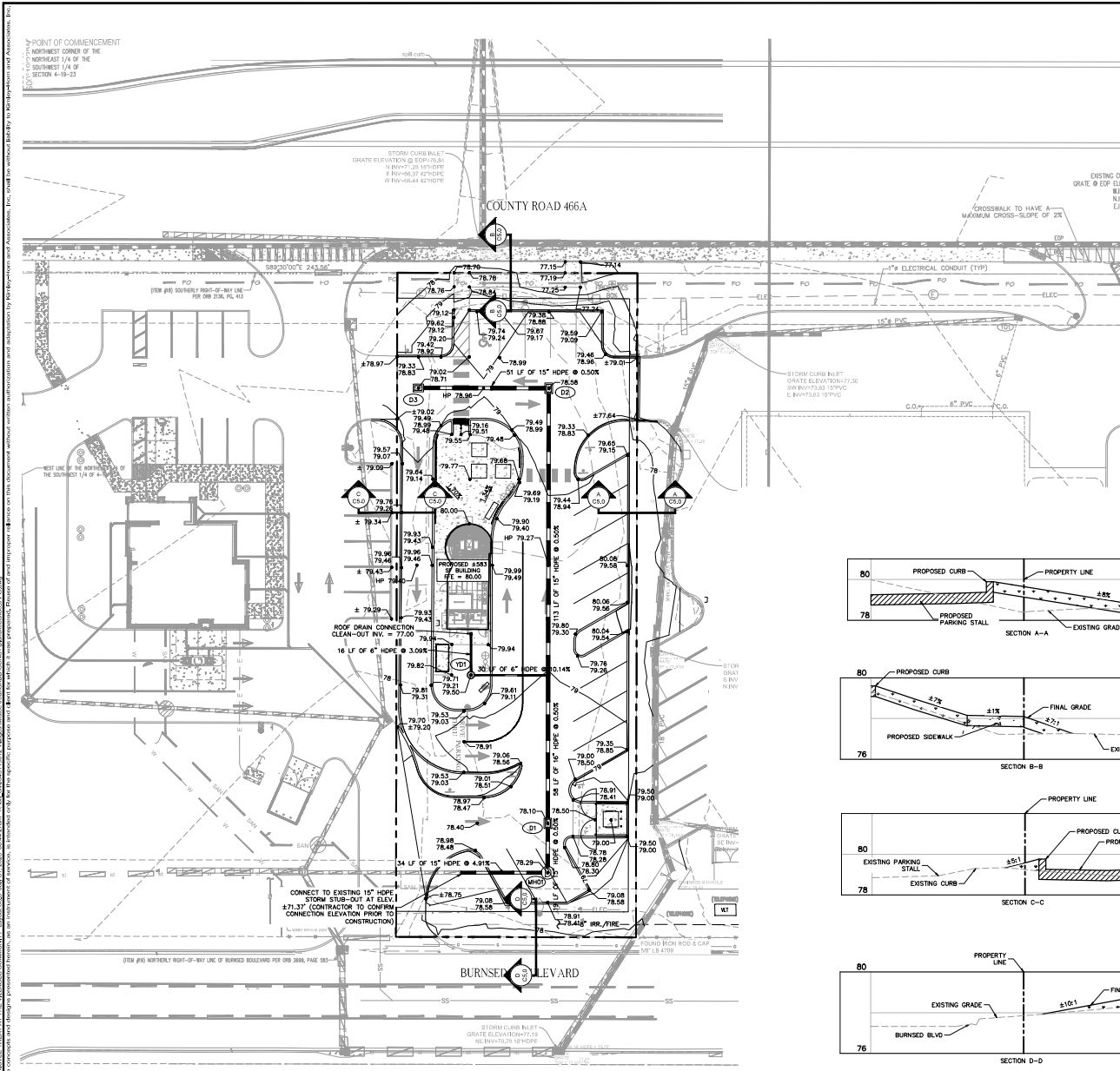
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES AND O.C.S.A. STANDARDS.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, DIRT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED MARCH 21, 2023, BY ASSOCIATED LAND SURVEYING & MAPPING, INC.
- REFER TO ARCH. PLANS FOR Pylon AND/OR MONUMENT SIGNS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
- MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.

LEGEND

	PROPERTY LINE (TYP.)
	PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C7.0)
	PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C7.0)
	PROPOSED HEAVY DUTY CONCRETE FOR DUMPSTER ENCLOSURE (SEE DETAIL SHEET C7.0)

Always call 888-888-8888 before you dig to have underground utilities located and marked.

<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 200 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL PHONE: (407) 899-9151 WWW.KIMLEY-HORN.COM REGISTRY No. 20198</p>	PROJECT NO.	DATE
	DATE	DATE
	TRUCK TURN PLAN	FLORIDA
	TWISTEE TREAT AT THE VILLAGES COMMUNITY	FLORIDA
SHEET NUMBER	C4.1	



STRUCTURE NAME:	DETAILS:
D1	TYPE "C" INLET PER FOOT INDEX #125-052 TOP: 78.10 N. INV. IN: 73.14 (15' HDPE) S. INV. OUT: 73.14 (15' HDPE)
D2	TYPE "C" INLET PER FOOT INDEX #125-052 TOP: 78.58 N. INV. IN: 73.98 (15' HDPE) S. INV. OUT: 73.99 (15' HDPE)
D3	TYPE "C" INLET PER FOOT INDEX #125-052 TOP: 78.71 E. INV. OUT: 74.25 (15' HDPE)
MH01	MANHOLE TOP: 78.29 N. INV. IN: 73.04 (15' HDPE) W. INV. OUT: 73.04 (15' HDPE)
YD1	YARD DRAIN TOP: 79.50 N. INV. IN: 78.50 (6" HDPE) E. INV. OUT: 78.50 (6" HDPE)

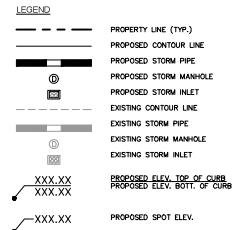
- ACCESSIBILITY NOTES:**
- THE DRAWINGS ARE DESIGNED TO MEET ACCESSIBILITY STANDARDS AT MINIMUM. LOCAL AND STATE REQUIREMENTS OR CODES MAY HAVE ADDITIONAL STANDARDS.
 - ACCESSIBLE PARKING SPACES, SIGNAGE, LOCKS, WHEEL STOPS AND ACCESSIBLE AISLES TO MEET ALL OF THE 2010 ADA STANDARDS REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY AND LOCATIONS AS DETERMINED BY THE ADA STANDARDS AND APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED).
 - ACCESSIBLE PARKING SIGNAGE ON BOTTOM. POSITION OF SIGNAGE TO BE MINIMUM 80" ABOVE GRADE. VERIFY ALL REQUIREMENTS WITH ACCESSIBILITY REQUIREMENTS AND LOCAL CODE.
 - CONCRETE WHEEL STOP. ALL ACCESSIBLE SPACES - LOCATE FIXED WHEEL STOP SO AS NOT TO REDUCE THE WIDTH OF THE ADJOINING ACCESSIBLE ROUTE.
 - ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAXIMUM RUNNING SLOPE OF 1:20 AND MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQUIREMENTS.
 - ACCESSIBLE PATH/WALKWAY TO BE 5'-0" MINIMUM. RUNNING SLOPE 1:20 MAXIMUM. CROSS SLOPE 1:48 MAXIMUM. SLOPE AWAY FROM BUILDING - BROOM FINISH CONCRETE.
 - CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS. MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED). MAXIMUM CROSS SLOPE 1:48 (1:64 RECOMMENDED). REFER TO SITE DETAILS SHEET FOR ADDITIONAL INFORMATION. PROVIDE 30" LONG MINIMUM LANDING AT TOP AND 60" MINIMUM LANDING AT BOTTOM OF RAMP WITH MAXIMUM SLOPE IN EITHER DIRECTION OF LANDING TO BE 1:48 (1:64 RECOMMENDED).
 - SURFACE CONDITIONS AT ACCESSIBLE WALKWAYS AND ACCESSIBLE AREAS (PAVERS SYSTEMS AND/OR CONCRETE SURFACES) SHALL NOT INCLUDE GAPS GREATER THAN 1/2" OR VERTICAL CHANGES AT JOINTS OR BETWEEN UNITS GREATER THAN 1/4" - UNLESS THE OVERALL LEVEL CHANGE DOES NOT EXCEED 1/2" AND THE LEVEL CHANGE IS BROCKED AT 1/2".
 - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
 - ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON-COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

- NOTES:**
- ALL GRADES ARE TO THE EDGE OF PAYMENT UNLESS OTHERWISE INDICATED.
 - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
 - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
 - STORM PIPE MATERIALS LABELED "SD" SHALL BE A-2000 PVC HP STORM. RIGID WALL WATER TIGHT JOINTS ON ROOF AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SPECIFIC MATERIAL ARE NOTED ON THE PLANS.
 - ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
 - ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SOODED WITH BAHIA.
 - SEE TOPOGRAPHIC SURVEY BY ASSOCIATED LAND SURVEYING & MAPPING, INC. FOR BENCHMARKS & DISTANCES. MONUMENTATION, SECTION DATA, DATUM, FENCES, NOTES, AND SURVEYOR'S CERTIFICATION. ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK 831335-A HAVING AN ELEVATION OF 83.037 (NAVD83 DATUM).

EROSION CONTROL MEASURE NOTE:

- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRIERS WILL RESULT IN STOP WORK ORDER WHICH MAY INCLUDE CITATIONS AND IMPOSITION OF CIVIL PENALTY PROCEDURES.

- PAVING AND GRADING GENERAL NOTES**
- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
 - SEE SITE PLAN SHEET FOR SITE DATA.
 - SEE SURVEY FOR TEMPORARY BENCH MARK (BM) LOCATIONS.
 - THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
 - ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
 - ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
 - CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
 - THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OF DISCREPANCIES EXIST.



Always call 888-888-8888 before you dig to help underground utilities located and marked.

DATE: _____

NO. _____

REVISED: _____

Kimley»Horn

200 S. CRANFORD AVENUE, SUITE 600, ORLANDO, FL 32809
 PHONE: (407) 899-1511
 WWW.KIMLEY-HORN.COM (REGISTRY NO. 26108)

PROJECT: TWISTEE TREAT AT THE VILLAGES AND DRAINAGE PLAN
 DATE: 7/31/2025
 SCALE: AS SHOWN
 DESIGNED BY: JPT
 DRAWN BY: MRS
 CHECKED BY: JPT
 DATE: _____

FLORIDA

TWISTEE TREAT AT THE VILLAGES AND DRAINAGE PLAN

COMMUNITY

CITY OF WILDMOOD

SHEET NUMBER
C5.0

Twistee Treat at the Villages Community

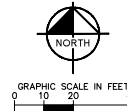
Needed Fire Flow (NFF)

per NFPA 1 Uniform Fire Code Handbook, Florida Amended 2021 Edition

583 SF BUILDING

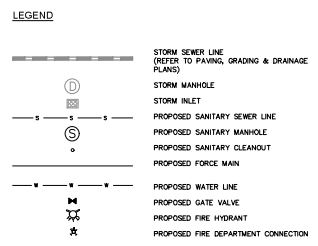
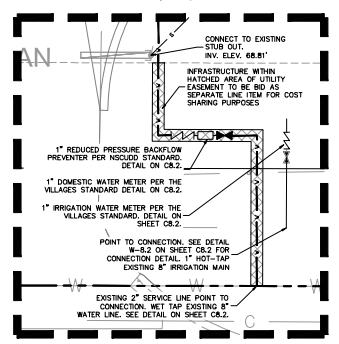
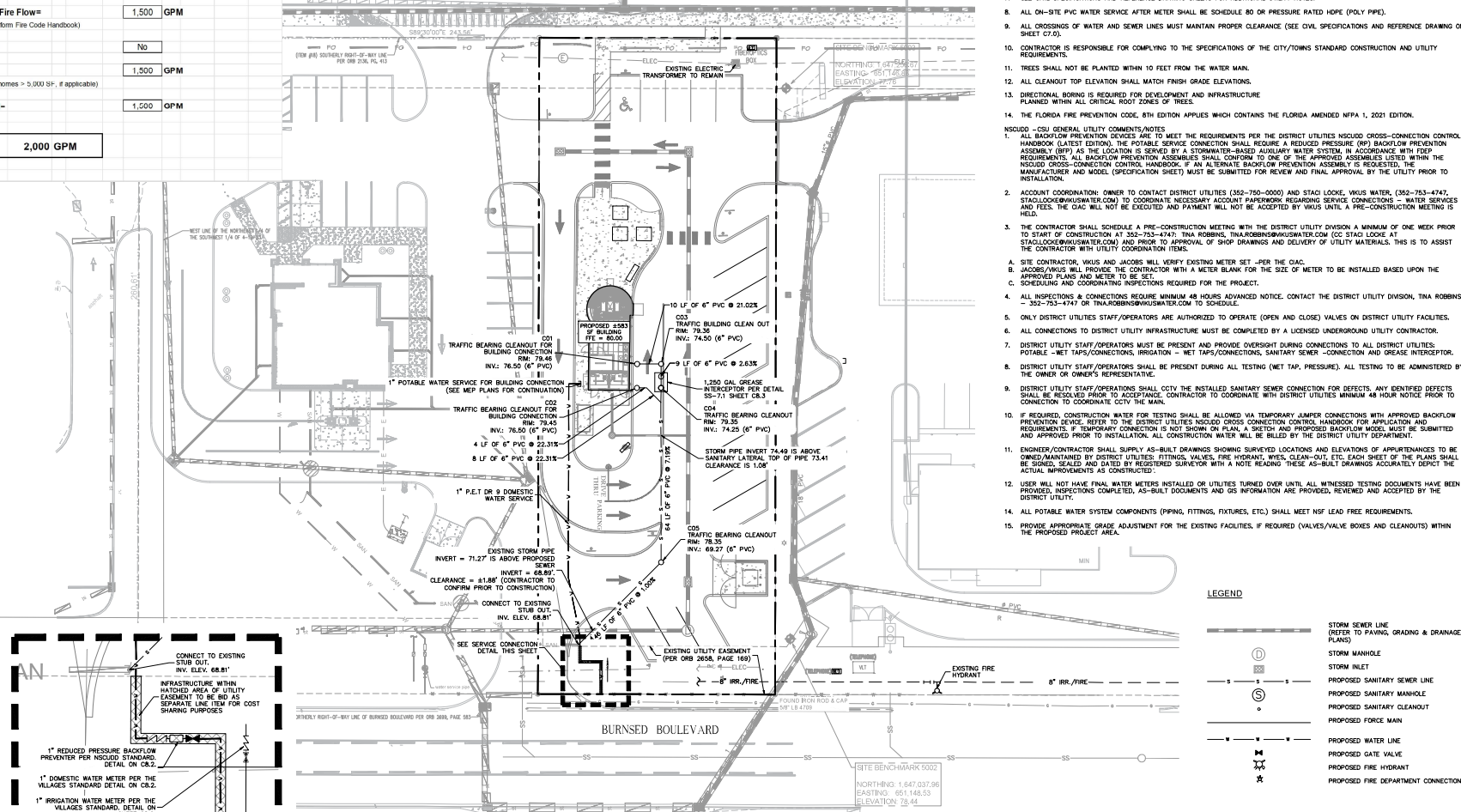
Building Fire Area=	583 SF
Building Type (per NFPA 220) =	V-B
Associated Min. Required Fire Flow= (per Table H-5.1 of the NFPA 1 Uniform Fire Code Handbook)	1,500 GPM
Fire Sprinkler - Yes or No=	No
Calculated Fire Flow= (with 75% fire sprinkler credit for homes > 5,000 SF, if applicable)	1,500 GPM
Minimum Fire Flow Required=	1,500 GPM
Fire Flow Provided=	2,000 GPM

July 2, 2025
Job #049119008



NOTES:

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND ADVISE THE ENGINEER OF RECORD OF ANY CONFLICTS IMMEDIATELY.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WATER SERVICE WITH VIKUS WATER.
- CONTRACTOR SHALL NOTIFY AND COORDINATE SEWER SERVICE WITH VIKUS WATER.
- CONTRACTOR TO COORDINATE INSTALLATION OF ELECTRICAL POWER SERVICE WITH LOCAL ELECTRIC COMPANY.
- CONTRACTOR TO INSTALL PVC CONDUIT FOR TELEPHONE SERVICE (TO PROPERTY LINE) AND COORDINATE INSTALLATION OF SERVICE WITH TELEPHONE OPERATIONS.
- SEE SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
- SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING SHEETS FOR ADDITIONAL UTILITY NOTES.
- ALL ON-SITE PVC WATER SERVICE AFTER METER SHALL BE SCHEDULE 80 OR PRESSURE RATED HOPE (POLY PIPE).
- ALL CROSSINGS OF WATER AND SEWER LINES MUST MAINTAIN PROPER CLEARANCE (SEE CIVIL SPECIFICATIONS AND REFERENCE DRAWING ON SHEET C7.03).
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY/TOWNS STANDARD CONSTRUCTION AND UTILITY REQUIREMENTS.
- TREES SHALL NOT BE PLANTED WITHIN 10 FEET FROM THE WATER MAIN.
- ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- DIRECTIONAL BORING IS REQUIRED FOR DEVELOPMENT AND INFRASTRUCTURE PLANNED WITHIN ALL CRITICAL ROOT ZONES OF TREES.
- THE FLORIDA FIRE PREVENTION CODE, 8TH EDITION APPLIES WHICH CONTAINS THE FLORIDA AMENDED NFPA 1, 2021 EDITION.
- NSICDD - CSI GENERAL UTILITY COMMENTS/NOTES
 - ALL BACKFLOW PREVENTION DEVICES ARE TO MEET THE REQUIREMENTS PER THE DISTRICT UTILITIES NSICDD CROSS-CONNECTION CONTROL HANDBOOK (LATEST EDITION). THE POTABLE WATER CONNECTION SHALL REQUIRE A REDUCED PRESSURE (RP) BACKFLOW PREVENTION ASSEMBLY (BPA) AS THE LOCATION IS SERVED BY A STORMWATER-BASED AUXILIARY WATER SYSTEM. IN ACCORDANCE WITH FDEP REQUIREMENTS, ALL BACKFLOW PREVENTION ASSEMBLIES SHALL CONFORM TO ONE OF THE APPROVED ASSEMBLIES LISTED WITHIN THE NSICDD CROSS-CONNECTION CONTROL HANDBOOK. IF AN ALTERNATE BACKFLOW PREVENTION ASSEMBLY IS REQUESTED, THE MANUFACTURER AND MODEL (SPECIFICATION SHEET) MUST BE SUBMITTED FOR REVIEW AND FINAL APPROVAL BY THE UTILITY PRIOR TO INSTALLATION.
 - ACCOUNT COORDINATION: OWNER TO CONTACT DISTRICT UTILITIES (352-750-0000) AND STAG LOCKE, VIKUS WATER, (352-753-4747, STAGLOCKER@VIKUSWATER.COM) TO COORDINATE NECESSARY ACCOUNT INFORMATION REGARDING SERVICE CONNECTIONS, WATER SERVICES AND FEES. THE GAC WILL NOT BE EXECUTED AND PAYMENT WILL NOT BE ACCEPTED BY VIKUS UNTIL A PRE-CONSTRUCTION MEETING IS HELD.
 - THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DISTRICT UTILITY DIVISION A MINIMUM OF ONE WEEK PRIOR TO START OF CONSTRUCTION AT 352-753-4747; TINA ROBBINS, TINA.ROBBINS@VIKUSWATER.COM (CC STAG LOCKE AT STAGLOCKER@VIKUSWATER.COM) AND PRIOR TO APPROVAL OF SHOP DRAWINGS AND DELIVERY OF UTILITY MATERIALS. THIS IS TO ASSIST THE CONTRACTOR WITH UTILITY COORDINATION ITEMS.
 - A SITE CONTRACTOR, VIKUS AND JACOBS WILL VERIFY EXISTING METER SET -PER THE DIAC.
 - JACOBS/VIKUS WILL PROVIDE THE CONTRACTOR WITH A METER BLANK FOR THE SIZE OF METER TO BE INSTALLED BASED UPON THE APPROVED PLANS AND METER TO BE SET.
 - COORDINATING AND SCHEDULING INSPECTIONS REQUIRED FOR THE PROJECT.
 - ALL INSPECTIONS & CONNECTIONS REQUIRE MINIMUM 48 HOURS ADVANCED NOTICE. CONTACT THE DISTRICT UTILITY DIVISION, TINA ROBBINS - 352-753-4747 OR TINA.ROBBINS@VIKUSWATER.COM TO SCHEDULE.
 - ONLY DISTRICT UTILITIES STAFF/OPERATORS ARE AUTHORIZED TO OPERATE (OPEN AND CLOSE) VALVES ON DISTRICT UTILITIES.
 - ALL CONNECTIONS TO DISTRICT UTILITY INFRASTRUCTURE MUST BE COMPLETED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR.
 - DISTRICT UTILITY STAFF/OPERATORS MUST BE PRESENT AND PROVIDE OVERSIGHT DURING CONNECTIONS TO ALL DISTRICT UTILITIES. POTABLE - NET TAPS/CONNECTIONS, IRRIGATION - NET TAPS/CONNECTIONS, SANITARY SEWER - CONNECTION AND GREASE INTERCEPTOR.
 - DISTRICT UTILITY STAFF/OPERATORS SHALL BE PRESENT DURING ALL TESTS (NET TAP, PRESSURE). ALL TESTING TO BE ADMINISTERED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - DISTRICT UTILITY STAFF/OPERATORS SHALL CCTV THE INSTALLED SANITARY SEWER CONNECTION FOR DEFECTS. ANY IDENTIFIED DEFECTS SHALL BE RESOLVED PRIOR TO ACCEPTANCE. CONTRACTOR TO COORDINATE WITH DISTRICT UTILITIES MINIMUM 48 HOUR NOTICE PRIOR TO CONNECTION TO COORDINATE CCTV THE MAIN.
 - IF REQUIRED, CONSTRUCTION WATER FOR TESTING SHALL BE ALLOWED VIA TEMPORARY JUMPER CONNECTIONS WITH APPROVED BACKFLOW PREVENTION DEVICE. REFER TO THE DISTRICT UTILITIES NSICDD CROSS CONNECTION CONTROL HANDBOOK FOR APPLICATION AND REQUIREMENTS. IF TEMPORARY CONNECTION IS NOT SHOWN ON PLANS, A SKETCH AND PROPOSED BACKFLOW MODEL MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ALL CONSTRUCTION WATER WILL BE BILLED BY THE DISTRICT UTILITY DEPARTMENT.
 - ENGINEER/CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS SHOWING SURVEYED LOCATIONS AND ELEVATIONS OF APPURTENANCES TO BE OWNED/MANAGED BY DISTRICT UTILITIES: FITTINGS, VALVES, FIRE HYDRANT, WYES, CLEAN-OUT, ETC. EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY REGISTERED SURVEYOR WITH A NOTE READING "THESE AS-BUILT DRAWINGS ACCURATELY DEPICT THE ACTUAL IMPROVEMENTS AS CONSTRUCTED."
 - USER WILL NOT HAVE FINAL WATER METERS INSTALLED OR UTILITIES TURNED OVER UNTIL ALL REVISED TESTING DOCUMENTS HAVE BEEN PROVIDED, INSPECTIONS COMPLETED, AS-BUILT DOCUMENTS AND GIS INFORMATION ARE PROVIDED, REVIEWED AND ACCEPTED BY THE DISTRICT UTILITY.
 - ALL POTABLE WATER SYSTEM COMPONENTS (PPING, FITTINGS, FIXTURES, ETC.) SHALL MEET NSF LEAD FREE REQUIREMENTS.
 - PROVIDE APPROPRIATE GRADE ADJUSTMENT FOR THE EXISTING FACILITIES, IF REQUIRED (VALVES/VALVE BOXES AND CLEANOUTS) WITHIN THE PROPOSED PROJECT AREA.



NO. REVIEWS
DATE

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200 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL
PHONE: (407) 899-1511
WWW.KHAE.COM/PROSPECTUS (REVISION) No. 2019

NSICDD CROSS-CONNECTION CONTROL HANDBOOK

DATE: 7/1/2025

SCALE: AS SHOWN

DESIGNED BY: JTF

DRAWN BY: WRS

CHECKED BY: JTF

UTILITY PLAN

TWISTEE TREAT AT THE VILLAGES COMMUNITY

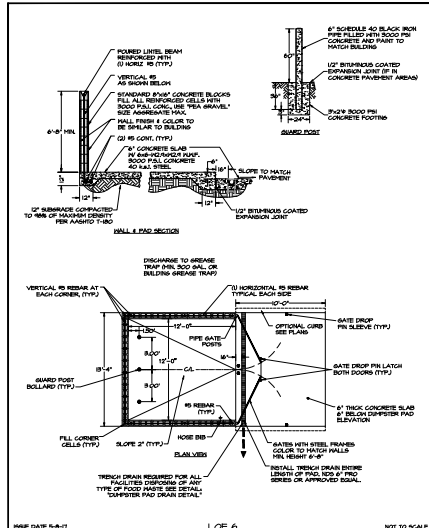
CITY OF WILDMOOD

FLORIDA

SHEET NUMBER

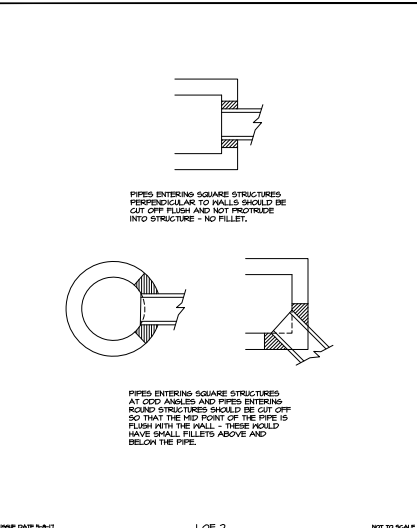
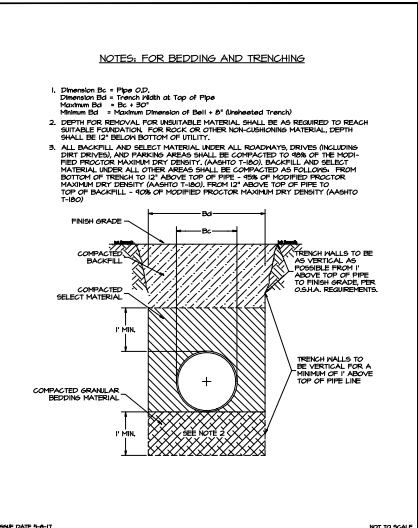
C6.0

THE VILLAGES COMMUNITY DEVELOPMENT DEPARTMENT HAS REVIEWED THIS DOCUMENT FOR CONFORMANCE WITH THE AMERICAN WITH DISABILITIES ACT AND THE AMERICAN WITH DISABILITIES ACT REGULATIONS. THE VILLAGES COMMUNITY DEVELOPMENT DEPARTMENT HAS REVIEWED THIS DOCUMENT FOR CONFORMANCE WITH THE AMERICAN WITH DISABILITIES ACT AND THE AMERICAN WITH DISABILITIES ACT REGULATIONS. THE VILLAGES COMMUNITY DEVELOPMENT DEPARTMENT HAS REVIEWED THIS DOCUMENT FOR CONFORMANCE WITH THE AMERICAN WITH DISABILITIES ACT AND THE AMERICAN WITH DISABILITIES ACT REGULATIONS.



STORM DRAIN PIPE IS REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS

- ROAD GROSS DRAIN PIPE**
 - ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - MINIMUM SIZE-EIGHTEEN (18) INCHES DIAMETER OR EQUAL.
 - ENDWALL, INLET, MANHOLE OR HYDRED END SECTION WITH CONCRETE COLLAR REQUIRED AT EACH END.
- ROAD SIDE-DRAIN PIPE**
 - ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - MINIMUM SIZE-EIGHTEEN (18) INCHES DIAMETER OR EQUAL.
- STORM SEWER PIPE**
 - ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - MINIMUM SIZE-EIGHTEEN (18) INCHES DIAMETER OR EQUAL.
 - INLET OR MANHOLE REQUIRED AT EACH CHANGE OF ALIGNMENT OR GRADE.

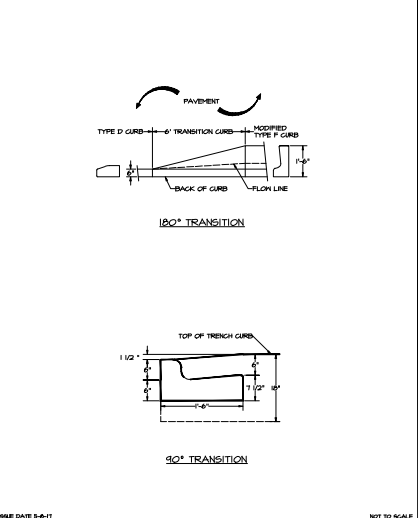
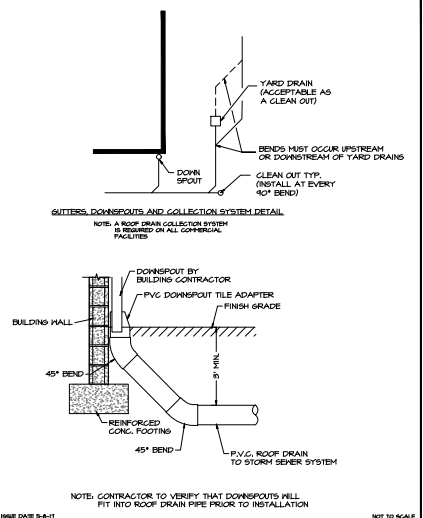
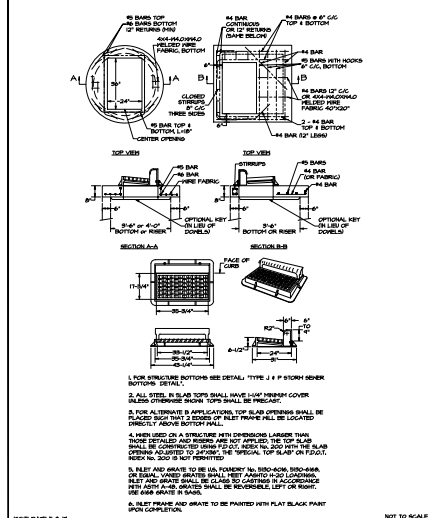


DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 6		
The Villages	DUMPSTER PAD & ENCLOSURE DETAIL	PAGE R-20.1

DATE: 9-8-17	REVISED: 9-12-23	NOT TO SCALE
1 OF 2		
The Villages	STORM DRAIN PIPE MATERIALS DETAIL	PAGE SD-2.1

DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 2		
The Villages	STANDARD PIPE BEDDING DETAIL	PAGE SD-2.2

DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 2		
The Villages	STRUCTURE PIPE GROUTING DETAIL	PAGE SD-2.3



DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 2		
The Villages	TYPE "9" CURB INLET TOP DETAIL	PAGE SD-4.8

DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 2		
The Villages	ROOF DRAIN DOWNSPOUT CONNECTION DETAIL	PAGE SD-4.1

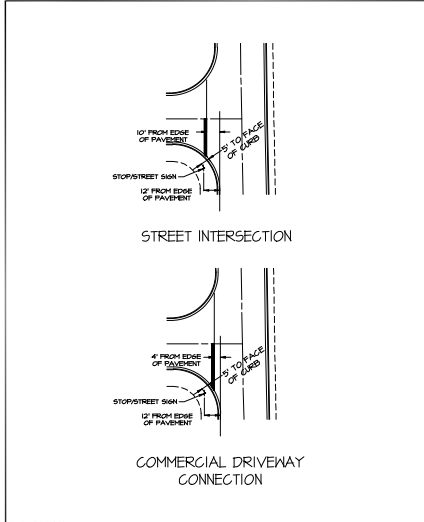
DATE: 9-8-17	REVISED: 2-14	NOT TO SCALE
1 OF 2		
The Villages	TRANSITION CURB TYPE "D" TO MODIFIED TYPE "F" DETAIL	PAGE R-2.14

Kimley-Horn

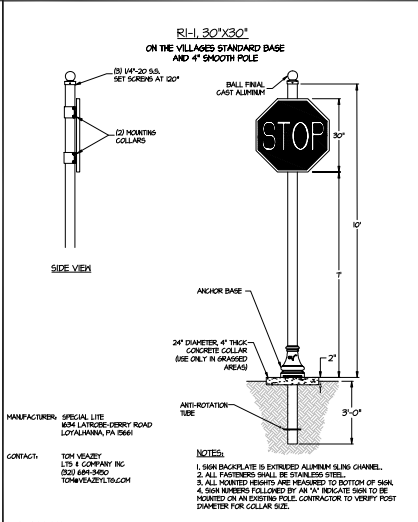
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
200 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL
PHONE: (407) 899-1511
WWW.KHAE.COM/PROFESSIONAL REGISTRY #16, 2019

THE VILLAGES COMMUNITY DEVELOPMENT DEPARTMENT PROJECT NUMBER: 2025-001 SHEET NUMBER: C8.1 DATE: 7/31/2025 SCALE: AS SHOWN DESIGNED BY: JTT DRAWN BY: WRS CHECKED BY: JTT	TWISTEE TREAT AT THE VILLAGES COMMUNITY STANDARD DETAILS FLORIDA CITY OF WILDWOOD
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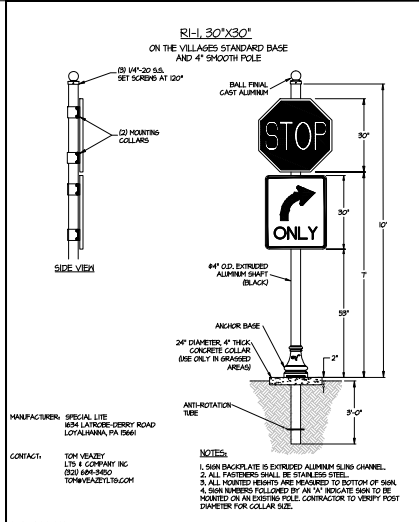
THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT, 2000 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL 32835
 ALL RIGHTS RESERVED. THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT IS THE REGISTERED OWNER OF THE TRADE NAME "THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT". ALL RIGHTS RESERVED. THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT IS THE REGISTERED OWNER OF THE TRADE NAME "THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT". ALL RIGHTS RESERVED.



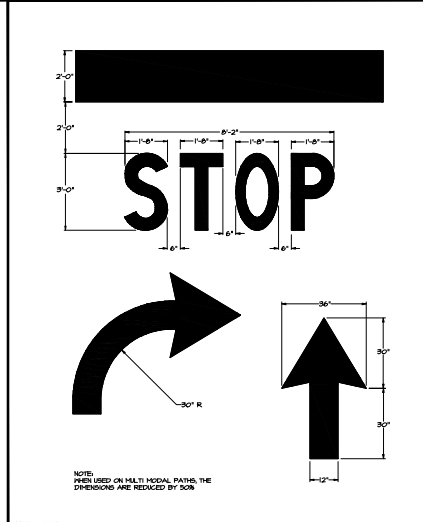
ISSUE DATE 9-8-17	REVISIONS 4-22	NOT TO SCALE
The Villages	STOP SIGN, STOP BAR & STREET NAME SIGN LOCATION DETAIL	PAGE 5T-2.1



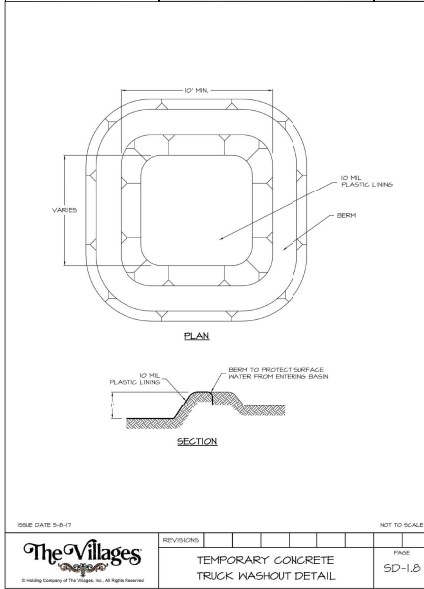
ISSUE DATE 9-8-17	REVISIONS 2-14, 4-22, 6-20-24	NOT TO SCALE
The Villages	STOP (30") SIGN DETAIL	PAGE 5N-5.3



ISSUE DATE 9-8-17	REVISIONS 2-14, 4-22, 6-20-24	NOT TO SCALE
The Villages	STOP (30")/RIGHT ONLY SIGN DETAIL	PAGE 5N-5.5



ISSUE DATE 9-8-17	REVISIONS 7-12-24	NOT TO SCALE
The Villages	STOP BAR, RIGHT ARROW, & STRAIGHT ARROW DETAIL	PAGE 5T-5.2



ISSUE DATE 9-8-17	REVISIONS	NOT TO SCALE
The Villages	TEMPORARY CONCRETE TRUCK WASHOUT DETAIL	PAGE SD-1.8

Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 200 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL PHONE: (407) 899-1511 WWW.KHAE.COM/PROJ/2025/07/24/VILLAGES	No. _____ DATE _____
	REVISIONS No. _____ DATE _____
THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT 2000 S. ORANGE AVENUE, SUITE 600, ORLANDO, FL 32835 ALL RIGHTS RESERVED. THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT IS THE REGISTERED OWNER OF THE TRADE NAME "THE VILLAGES COMMUNITY DEVELOPMENT DISTRICT". ALL RIGHTS RESERVED.	LICENSED PROFESSIONAL JOSEPH T. PELLERIN, P.E. FLORIDA LICENSE NUMBER 92985 DATE 7/31/2025
PROJECT DATE SCALE AS SHOWN DESIGNED BY JTF DRAWN BY WRS CHECKED BY JTF	THE VILLAGES STANDARD DETAILS
TWISTEE TREAT AT THE VILLAGES COMMUNITY CITY OF WILDWOOD FLORIDA	SHEET NUMBER C8.2



WILDWOOD
FLORIDA

Project Review Committee Technical Standards Waiver Request

Project Name Twistee Treat at The Villages Community

Project # A25-0900

1. Briefly describe your waiver request.

Request to eliminate the requirement of a bypass lane for the full extent of the drive through lane.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

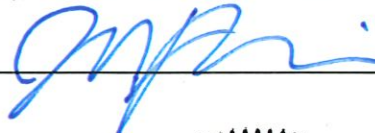
LDR 6.6(C)(1)(a) - Storage area standards for uses with drive-in facilities. (1) Space requirements. All business and commercial uses with drive-in service facilities shall provide a stacking area for waiting vehicles according to the following minimum standards. (a) Restaurants: Five (5) vehicles for each service lane.

3. Please provide the justification for your waiver request.

A bypass is proposed on the south side of the drive through facility but a bypass lane for the full extents of the drive through is not feasible due to site constraints. The Drive Through lane is much longer than required and (5) cars can stack from the pickup window until the bypass lane begins on the south side. Drivers will be getting into this site through 2 possible entry points (North off of County Road 466A and south off of Burnsed Boulevard). Drivers wishing to get around the drive-through can use two-way access in the adjacent parcel to the west.

Name (Print) Joe Pellarin, P.E.

Date 5/30/25

Signature 



The City of Wildwood, Florida
100 North Main Street, Wildwood, Florida 34785
352.330.1330 | Fax: 352.330.1338 | www.wildwood-fl.gov

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: A25-3016 (SE) Circle K at Twisted Oaks

REQUESTED ACTION: Staff recommends approval.

CONTRACT: Vendor/Entity:
Effective Date: Termination Date:
Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-3016 Circle K at Twisted Oaks
Parcel Number	A portion of D31A218
Property Location	The subject property is generally located on the northwest corner of the intersection of US 301 and rerouted CR 462.
Owner	KL Twisted Oaks LLC
Applicant	Circle K Stores, Inc.
Date	8/21/2025

The applicant is seeking Special Exception approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for a travel center (Circle K) located on the 3.17-acre parcel listed above, zoned C-3. The Circle K is a proposed 5,964 SF convenience store that includes a “Circle K Kitchen” fast food service area, fourteen (14) vehicle fueling stations, and four (4) high-speed diesel fueling stations.

The subject special exception received approval from the Special Magistrate under project SE 2406-001 on August 6, 2024. Since time of approval, no significant construction has been completed on site, causing the special exception approval to have expired. The site plan for the subject project was approved by the City Commission on June 9, 2025.

The City’s Land Development Regulations, Chapter 3, Table 3-6 allows travel centers as a Special Exception use in the C-3 zoning district.

Analysis/Justification: The Planning and Zoning Board/Special Magistrate shall consider the following requirements and criteria:

- 1) The proposed use must comply with the Comprehensive Plan;
Comprehensive Plan Policy 2.3.8 The City shall continue discussions with FDOT and other agencies as needed to develop alternative routes to US 301 in order to divert through traffic,

particularly truck through traffic. This request correlates with Policy 2.3.8 as the high-speed diesel fueling stations proposed will encourage trucks to route through US 301. The site design allows trucks to stop for fuel without encouraging overnight or extended stays, maintaining through traffic.

2) Size location or number of special exceptions uses in the area shall be limited so as to maintain the overall character of the district as intended by this Code;

The closest special exception is House of Hope, located approximately 1,400 ft to the northeast, on CR 126. Because the House of Hope does not front US 301, and the nature of the use, its vicinity to the subject special exception is not a concern to the overall character of the district.

3) Justification has been presented as to why the special exception should be granted;

The project is compatible and will not adversely impact the surrounding areas and will support the nearby residential development. Appropriate buffering will be provided to the adjacent parcels. Because the adjacent parcels are vacant, their future uses, as outlined in the Planned Development for Twisted Oaks, were considered when planning for the landscape buffers. A transportation impact analysis was submitted stating the level of service will not be reduced by this development as the roads and intersections have adequate capacity with the combination of future growth, vested trips, and project traffic. There are utilities available for this parcel that have sufficient capacity to serve the project.

4) The uses of other property in the neighborhood for purposes already established will not be substantially impaired or diminished; and

The proposed special exception will not impair or diminish the use of neighboring properties. A special exception approval on the subject property will not interfere with the surrounding property owners' use of their own property in accordance with the zoning district.

5) Consideration has been given to surrounding property values.

The subject property is currently vacant land in the C-3 zoning district. Section 3.9(E)(26) indicates that additional landscape buffers may be required for a travel center use. The project received City Commission approval on June 9, 2025, finding the landscape buffers provided are sufficient.

(D) 1) Special exceptions may run with the property and the ownership of a special exception use may be transferred to another party.

The special exception should run with the property and may be transferred to another party.

Based on the requirements of the Land Development Regulations along with supporting data and justification provided by the applicant, staff recommends approval of the special exception.

This office has duly noticed this meeting as prescribed by City of Wildwood Code for Public Notices have been posted on the property. A notice of this meeting was published in a newspaper of general circulation (Daily Sun) on August 22, 2025.



Mckenna Page
Planner I, Development Services



July 18, 2024

City of Wildwood
Development Services Department
100 N Main Street
Wildwood, Florida 34785

Special Exception Application Narrative
Project Number: SP 2405-001
Project Name: Circle K – US301 & CR462
Parcel ID: D31A218

To whom it may concern,

Please accept this letter as a formal request for your approval of the special exception of the proposed project detailed below.

The subject property is zoned General Commercial Highway (C-3) and has a future land use of Commercial. The project area encompasses a ±3.17-acre portion of Sumter County Parcel ID number D31A218. The subject property is located at the northwest quadrant of US301 and CR462 in Wildwood, Florida. Florida Department of Transportation classifies US301 as a Principle Arterial Roadway and CR462 as a Major Collector Roadway.

As indicated on the site plan, the proposed project will consist of a 5,964 square-foot convenience store that includes a nested ±445 square-foot “Circle K Kitchen” fast -food service area. Additionally, there will be 18 vehicle fueling stations (14 vehicle fueling positions plus an additional 4 high-speed diesel fueling positions) on site. The project is proposing three access connections, two along CR462 (one full access and one right-in/right-out), and one along US301 (right-in/right-out). On-site parking will be provided around the convenience store for passenger vehicles only, and one loading space will be provided where the underground tanks are located to accommodate the fuel truck. There will be one dumpster provided for the site which will be located on the northwest side of the store. The fueling canopy will be located approximately 85 feet away from the property line along CR462 and 65 feet from the property line along US301.

The on-site utilities will consist of water and sanitary services to the convenience store building, with the addition of a 1,250-gallon grease interceptor.

The adjacent uses are all currently vacant land apart from the right-of-way frontages. The future uses of these properties will consist of residential and commercial once the master development in the overall parcel is completed. The building setbacks and landscape buffers depicted in the site plan are based on the associated zoning requirements outlined in the city’s land development code and design district standards.

The sign placement, on-site lighting, perimeter landscaping/buffering, yards, and open space have been incorporated into the site design based on the land development code standards and with consideration to the adjacent land uses.

According to the City of Wildwood land development code definitions and standards, the proposed development is classified as a travel center which is allowed within the (C-3) General Commercial Highway District under a special exception use. We are requesting the following special exceptions to conform with the city's travel center standards per City of Wildwood LDC.

With the highspeed diesel canopy, the site is designed to accommodate semi-truck traffic without creating a major destination for them to congregate. The high-speed diesel fueling stations will be able to accommodate the trucks in a way that allows for limited queuing but does not negatively impact the traffic flow of passenger vehicles within the site or along the adjacent rights-of-way. The area for these fueling stations will also include a bypass lane on each side of the canopy to prevent any unnecessary build-up of truck traffic and allow adequate access to the rest of the site and points of egress. We anticipate these fueling stations to serve both semi and box trucks and are accounting for 1-5 trucks per hour varying the time of day.

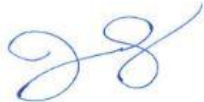
Additionally, under the City of Wildwood LDC it states that outdoor storage areas must be screened by a six-foot-high opaque fence or wall. With the convenience store development, we are proposing outdoor sales areas for both ice & propane which we have depicted on the site plan. These sales areas are designed to accompany the visual aesthetic of the development while staying within the public eye to help encourage sales.

In summary, the project conforms to a majority of the applicable items outlined in LDC Section 3.9(E)(26). The site has frontages on both an arterial roadway (US301) and a collector roadway (CR462). The project area is approximately 3.17 acres, which meets the minimum travel center site criteria of 2 acres. The proposed site layout also provides an additional open space area that extends approximately 30 feet past the required landscape buffer along CR462. The fueling canopy exceeds the 50-foot minimum setback along both the arterial and collector roadway frontages. Based on the travel center guidelines and commercial zoning standards outlined in the LDC, the proposed facility is intended to be compatible with the uses of adjacent properties, which consist of public roadways, high-density residential zoned properties, and mixed use zoned properties.

Jarod Stubbs will be the representative for Circle K Stores, Inc. throughout this process.

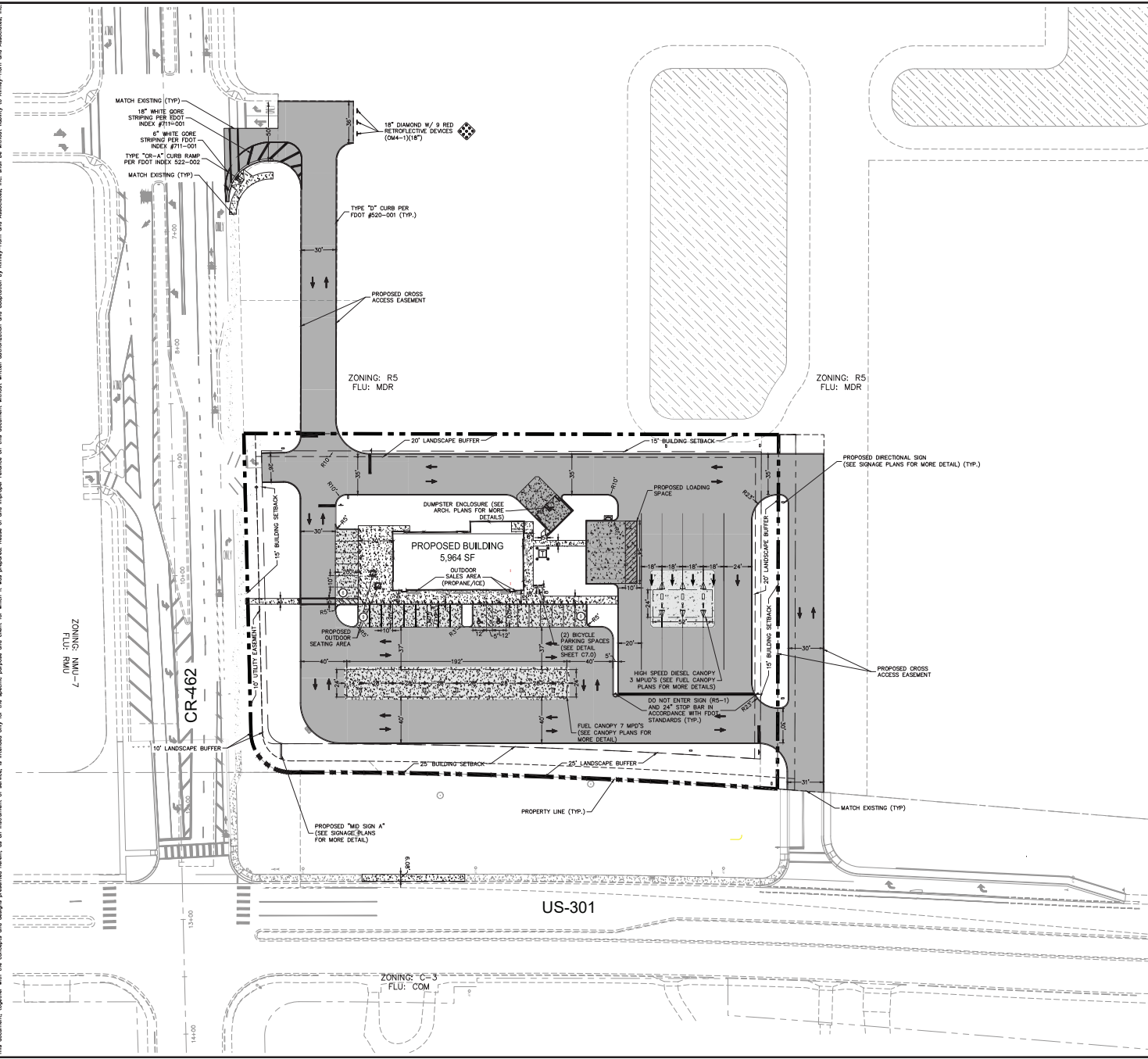
If you have questions, I can be reached by phone at (386) 271-0272 or directly by email at jarod.stubbs@kimley-horn.com.

Sincerely,
KIMLEY-HORN AND ASSOCIATES



Jarod Stubbs, P.E.

Prepared by: [Firm Name] Date: [Date] Sheet: [Sheet Number] of [Total Sheets] Project: [Project Name] Location: [Location] Scale: [Scale] Date: [Date]



SITE DATA:

PROJECT AREA: 8.17 ACRES (138,025 SF)
 FUTURE LAND USE: COMMERCIAL
 EXISTING ZONING: C3 - GENERAL COMMERCIAL HIGHWAY
 EXISTING USE: VACANT
 PROPOSED USE: COMMERCIAL
 BUILDING HEIGHT: 1 STORY/435 FT
 FAR: 0.0432

ADJACENT PROPERTY ZONING:
 NORTH: R5C - HIGH DENSITY RURAL RESIDENTIAL
 SOUTH: NMU-7 NEIGHBORHOOD MIXED USE (SUMNER COUNTY)
 EAST: FOOT ROW (US301)
 WEST: C-3 - GENERAL COMMERCIAL HIGHWAY

ADJACENT PROPERTY FUTURE LAND USES:
 NORTH: RURAL RESIDENTIAL (SUMNER COUNTY)
 SOUTH: ONMU (OXFORD NEIGHBORHOOD MIXED USE)
 EAST: FOOT ROW (US301)
 WEST: COMMERCIAL

EXISTING SITE COVERAGE:

EXISTING PERVIOUS AREA:	138,242 SF	(3.17 AC)	(100%)
EXISTING IMPERVIOUS AREA:	0 SF	(0.00 AC)	(0%)
TOTAL SITE AREA:	138,242 SF	(3.17 AC)	(100%)

PROPOSED SITE COVERAGE:

PROPOSED PERVIOUS AREA:	42,689 SF	(0.98 AC)	(30%)
PROPOSED CONCRETE PAVEMENT AREAS:	89,589 SF	(2.06 AC)	(65%)
PROPOSED BUILDING AREA:	5,964 SF	(0.14 AC)	(4%)
TOTAL IMPERVIOUS AREA:	95,553 SF	(2.19 AC)	(69%)
TOTAL OPEN SPACE AREA:	42,689 SF	(0.98 AC)	(31%)
TOTAL SITE AREA:	138,242 SF	(3.17 AC)	(100%)

PROPOSED NUMBER OF EMPLOYEES: 3 EMPLOYEES

PARKING REQUIRED:

C-STORY:	24
4 SPACES PER 1000 GROSS SF	24
TOTAL REQUIRED PARKING	24

PARKING PROVIDED:

PROPOSED HANDICAP SPACES (1'x20'):	2
PROPOSED STANDARD SPACES (10'x20'):	23
PROPOSED ON-SITE SPACES:	25

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT (EAST):	25 FT	60 FT
SIDE (SOUTH):	15 FT	85 FT
SIDE (NORTH):	15 FT	58 FT
REAR (WEST):	15 FT	78 FT

LANDSCAPE BUFFERS

	REQUIRED	PROVIDED
FRONT (EAST):	25 FT	25 FT
SIDE (SOUTH):	20 FT	43 FT
SIDE (NORTH):	20 FT	25 FT
REAR (WEST):	10 FT	16 FT

- NOTES:**
- ALL CURB DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - REFER TO SIGNAGE PLANS FOR MONUMENT SIGN DETAILS.
 - SEE MEP PLANS FOR ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING AND PAVEMENT MARKING WILL BE PAINTED UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH FOOT INDEX 711-001.
 - REFER TO ARCHITECTURAL PLANS FOR PROPOSED DUMPSTER ENCLOSURE DETAIL.
 - REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
 - UNLESS OTHERWISE STATED, ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL MEET MUTCD AND FOOT STANDARDS/INDEXES.
 - ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE CITY OF WILDWOOD DISTRICT DESIGN STANDARDS.
 - IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, CITY OF WILDWOOD AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL ALL PERTINENT PERMITS HAVE BEEN OBTAINED, AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL REGULATIONS CAN BE DEMONSTRATED.

LEGEND

[Dashed Line]	PROPERTY LINE (TYP.)
[Stippled Pattern]	PROPOSED ASPHALT PAVEMENT (SEE DETAIL SHEET C7.0)
[Dotted Pattern]	PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET C7.0)
[Cross-hatched Pattern]	PROPOSED MEDIUM DUTY CONCRETE (SEE DETAIL SHEET C7.0)
[Diagonal-hatched Pattern]	PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL SHEET C7.0)

CALL 48 HOURS BEFORE YOU DIG
 IT'S THE LAW DIAL 811
 Know what's below. Call before you dig.
 811
 FLORIDA
 STATE ONE CALL OF FLORIDA, INC.

Kimley Horn
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 1530 CORNERSTONE BLVD., SUITE 200, DAYTONA BEACH, FL 32117
 WWW.KIMLEY-HORN.COM REGISTRY NO. 341096

SPECIAL EXCEPTION EXHIBIT

CIRCLE K - US301 & CR462

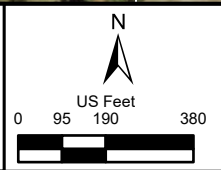
FLORIDA
 CITY OF WILDWOOD

SHEET NUMBER
C4.0

NO.	REVISIONS	DATE	BY



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#A25-3016
CIRCLE K - US301 & CR462
 PARCEL D31A218

MAP 1B
LOCATION
MAP
AUG 2025

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-2786 - Rezoning - 5341 Lexington Circle

REQUESTED ACTION: Ordinance O2025-43 is to be considered by the Planning and Zoning Board/Special Magistrate for further action.

CONTRACT: Vendor/Entity:
Effective Date: Termination Date:
Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No.	A25-2786 - Rezoning - 5341 Lexington Circle
Ordinance No.	O2025-43
Applicant	Glen R. Tryan
Owner	Glen R. Tryan and Donna J. Tryan
Property Location	5341 Lexington Circle, Wildwood, FL 34785
Parcel Number	G16ED003
Date	08/21/2025

The applicant seeks a favorable recommendation from the Planning and Zoning Board/Special Magistrate for a Zoning Map amendment to change the zoning district from RPUD (Sumter County) to MHP (City) for the parcel listed above on 0.115 acres MOL. This request is accompanied by small-scale comprehensive plan amendment request A25-2724 (O2025-42).

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), staff believes the zoning change to MHP should be granted based on the following criteria:

(a) Whether the proposed change is consistent with the comprehensive plan:

At this time, the applicant intends to construct a single-family dwelling unit (manufactured home) on the parcel. The subject parcel is located within the City's Joint Planning Area with Sumter County and upon the applicant submitting a Building Permit to the Sumter County Building Department, the property owner was notified of the requirement for annexation. The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation

of MHP and the intent of the Comprehensive Plan as stated in FLU Policy 1.1.4. to accommodate the character of existing neighborhoods. The proposed changes also coincide with Policy 1.2.5. of the Future Land Use Element, which is to discourage urban sprawl through a future land use pattern which promotes orderly, compact development. As such, this change is consistent with the City's 2050 Comprehensive Plan.

(b) The existing land use pattern of the surrounding area;

The proposed rezoning to MHP is compatible with the current zoning in this area and the existing character of the subdivisions within this community. Policy 1.2.8. a. encourages new development to contribute a mix of land uses which is compatible with existing communities. The area is mostly built out with less than 30 lots still remaining to be completed. The community exhibits a mix of manufactured homes and single-family residences.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc;

Schools: A single-family residence would generate one (1) student to Wildwood Schools. The school district advises that capacity is available.

Potable Water & Sewer: There is an 8-inch water and 8-inch sewer line servicing the subdivision(s).

Streets: Access to the property will be accommodated along Lexington Circle, which is a private road.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

The subject parcel is located within the City's Joint Planning Area with Sumter County. The rezoning is necessary to accommodate the proposed use of the property, as the applicant intends to develop, and to bring the property into compliance with the proposed Future Land Use designation.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

Transportation: For a single-family residence, it's expected to generate up to 10 daily trips; which is de minimis in nature relative to the size of the parcel.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties.

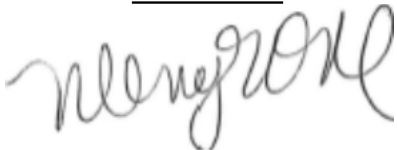
ZONING DESIGNATION OF SURROUNDING PROPERTIES

NORTH	RPUD (Sumter County)
SOUTH	ROW Lexington Circle - Private Road
EAST	RPUD (Sumter County)
WEST	RPUD (Sumter County)

The applicant will be working to get a Building Permit from the Sumter County Building Department for the erection of a Manufactured Home at the subject parcel. The site plan will follow requirements established in the City's Land Development Regulations in accordance to the MHP Zoning District.

The applicant seeks a favorable recommendation of Ordinance Number O2025-43 (attached) subject to approval of O2025-42, which establishes a Future Land Use appropriate to the proposed zoning.

DATED: 8/21/2025

A handwritten signature in black ink, appearing to read "Wendy Then". The signature is cursive and somewhat stylized.

Wendy Then, AICP, CFM
Assistant Director Development Services

ORDINANCE NO. O2025-43

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

Parcel G16ED003
Glen R. Tryan and Donna J. Tryan
Acres +/- 0.115

LEGAL DESCRIPTION:

LOT 3 BLK D HERITAGE WOOD N LAKES ESTATES PB 4 PG 61-61A, OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.

This property is to be reclassified from RPUD (Sumter County) to MHP (City of Wildwood).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the

City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this ____ day of _____, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

First Reading: _____

Second Reading: _____

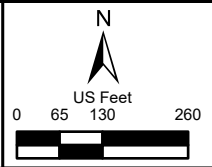
Approved as to form:

City Attorney

EXHIBIT A

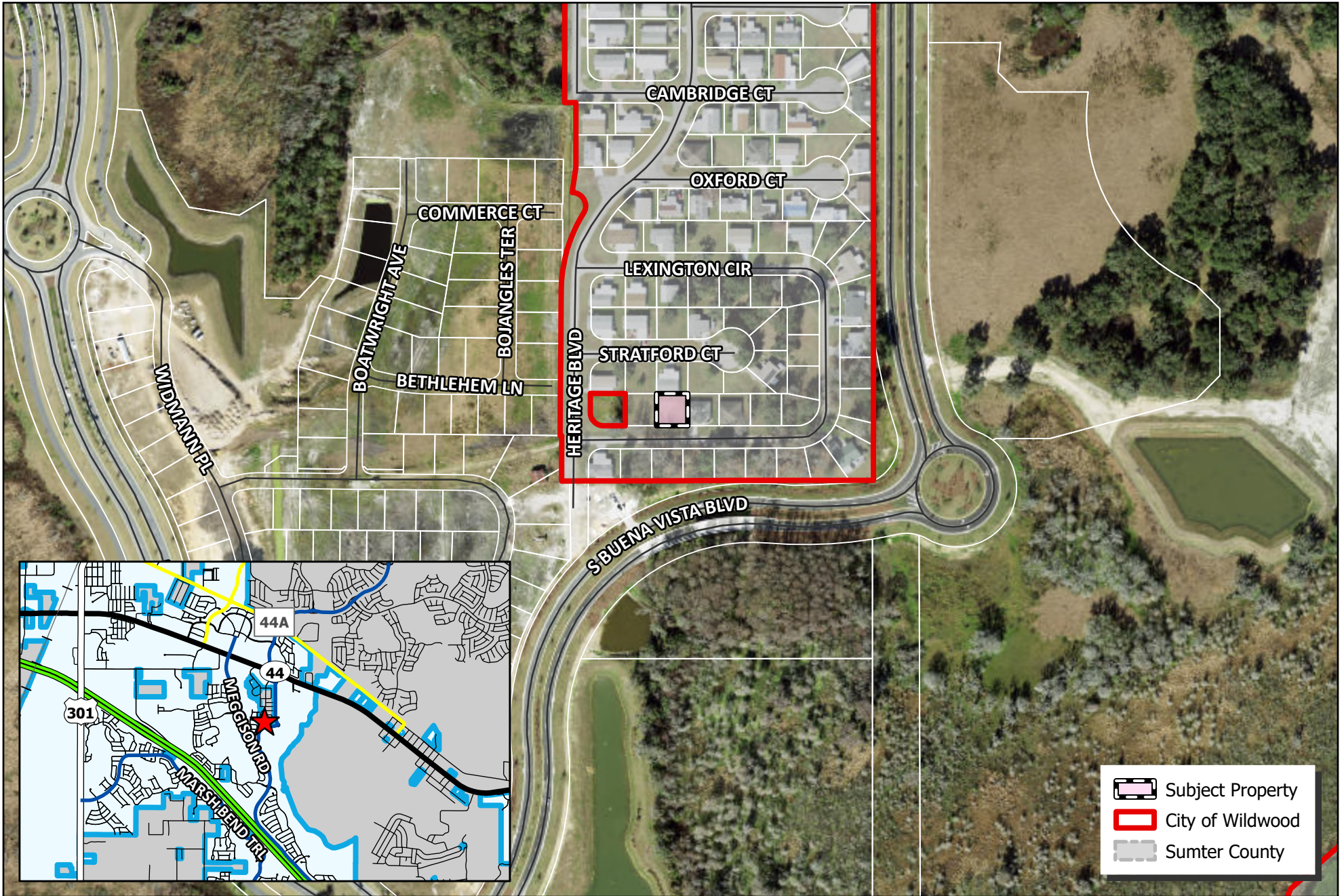


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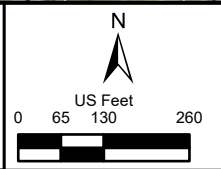


#A25-2786
5341 LEXINGTON CIRCLE
 PARCEL G16ED003

MAP 1A
LOCATION
MAP
JUL 2025

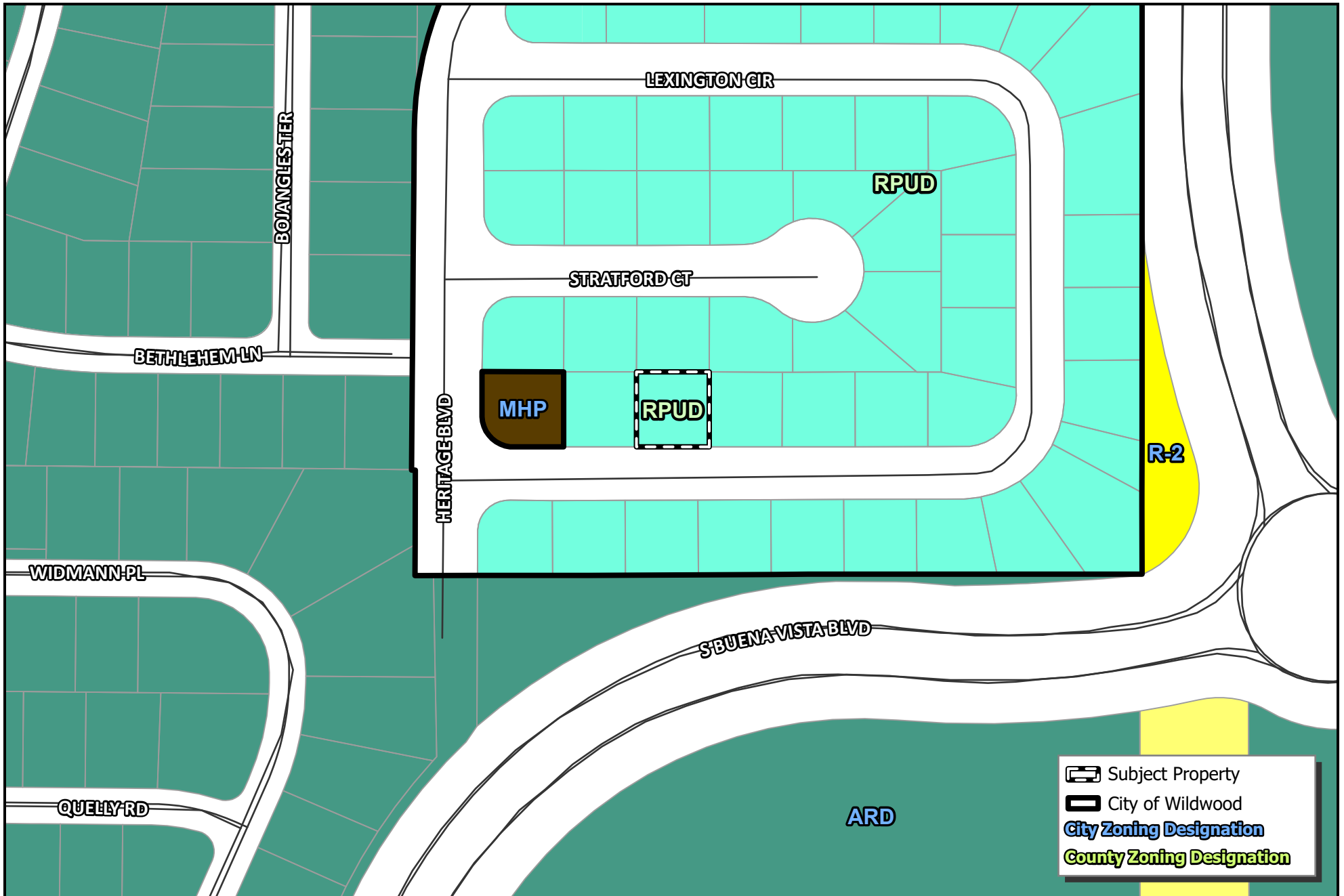




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#A25-2786
5341 LEXINGTON CIR
 PARCEL G16ED003

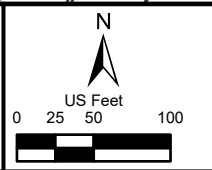
MAP 1B
LOCATION
MAP
JUL 2025



 Subject Property
 City of Wildwood
City Zoning Designation
County Zoning Designation

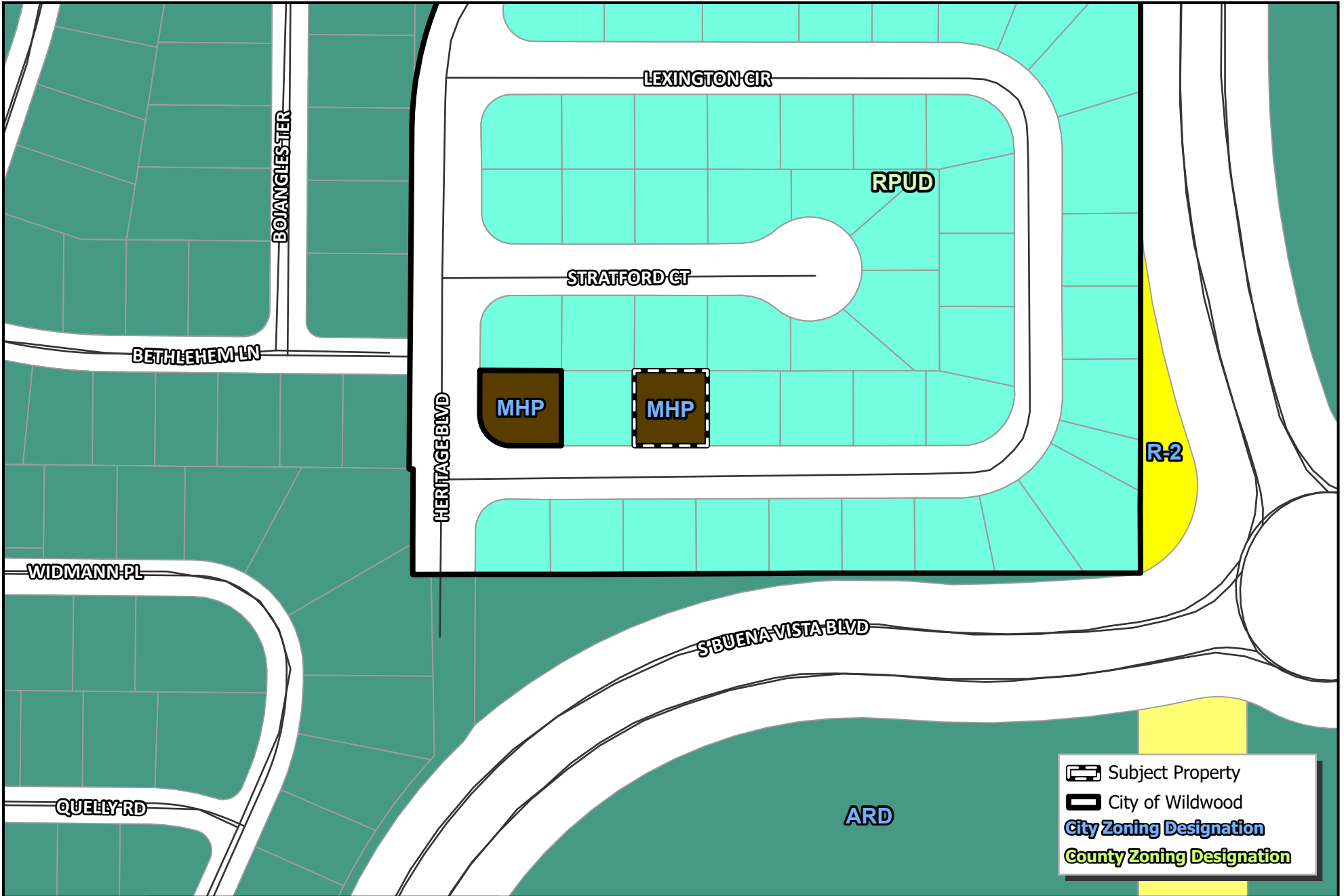




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#A25-2786
5341 LEXINGTON CIR
 PARCEL G16ED003

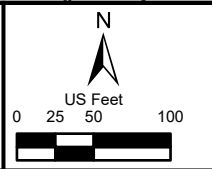
MAP 3A
EXISTING ZONING
JUN 2025



 Subject Property
 City of Wildwood
City Zoning Designation
County Zoning Designation



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 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-2786
5341 LEXINGTON CIR
 PARCEL G16ED003

MAP 3B
PROPOSED ZONING
JUL 2025



Business Impact Estimate

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2025-43

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

Glenn R. & Donna J. Tryan– PJ #A25-2724 – 5341 Lexington Cir (Comp. Plan Amendment and Rezoning).

Parcel G16ED003

The City of Wildwood is requesting an exemption for a transportation impact analysis for the owner/applicant Glenn R. & Donna J. Tryan on parcel G16ED003 on .115 acres more less to annex a property into the City from the Sumter County’s RPUD zoning district.

The proposed zoning is MHP with a Future Land Use of Mobile Home Park for a maximum allowable use of 10 units per acre or 1.15 dwelling units.

For Comprehensive Plan purposes and worst-case scenario using the ITE Land Use Code of Single-Family Detached Housing (210), due to the .115 acres of land with up to 10 dwelling units per acre, the future land use change could generate up to 11 daily trips with 1 AM Peak Hour trips and 1 PM Peak hour trips.

Based on the proposal to place a manufactured home, the generation would be 10 daily trips with 1 AM Peak hour trip and 1 PM hour trip.

Thank you for your consideration.

Wendy Then, AICP, CFM
DSD Department
City of Wildwood

APPROVED
Matthew Tadlock
Assistant Public Works Director - Planning and Design
08/19/2025

Average daily trips for Single-Family Detached- Based on the 11th Edition

Multiple the Average Rate by the number of Units.

Daily Trips

Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 174
Avg. Num. of Dwelling Units: 246
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.43	4.45 - 22.61	2.13

AM Peak Hours

Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 169
Avg. Num. of Dwelling Units: 217
Directional Distribution: 26% entering, 74% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.75	0.34 - 2.27	0.25

Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 178
Avg. Num. of Dwelling Units: 203
Directional Distribution: 64% entering, 36% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.99	0.49 - 2.98	0.28