



PROJECT REVIEW COMMITTEE - CITY OF WILDWOOD
PRC Chairperson – Melanie Strickland

Agenda
Regular Meeting
September 9, 2025 10:00 AM
Commission Conference Room 124
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. Call to Order

II. Roll Call

III. APPROVAL OF SUMMARY MINUTES

- 1. Project Review Committee Regular Meeting August 13, 2025, at 10:00 AM.**

IV. OLD BUSINESS

- 1. A25-1564 Plant Expansion, Charlotte Pipe and Foundry
Parcel D29-052**

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a 54,675 sq. ft. expansion to Charlotte Pipe and Foundry with an additional 80,080 sq. ft. outdoor pipe storage area, and 28,125 sq. ft. truck staging expansion, and associated infrastructure, as per the attached plans. **Staff recommends approval contingent upon clearing of the comments.**

V. NEW BUSINESS

1. **A25-1117 Home Depot Mod**

Parcel G05X001

The applicant is seeking approval from the Project Review Committee for a minor modification to the previously approved Home Depot Wildwood (Wildwood Crossing) (SP 2210-002) consisting of revisions to the storm water pond. **Staff recommends approval.**

2. **SPM 2408-009 Trailwinds Village The Wilds Phase 3 Modification**

Parcel G04LRI-002

The applicant is seeking a favorable recommendation from the Project Review Committee addressing revisions to Phase 3, including the elimination of a Single-Family/Multi-family Residential Development consisting of 18 dwelling units and 48 parking spaces, now proposing the installation of a retaining wall around the perimeter of Phase 3 and establishing this area as open area/common space, on 21.02 acres MOL, as per the attached plans. **Staff recommends approval**

3. **A25-0944 Sweet Six**

Parcels D32-028, D32-029, D32-034, and D32-167

The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a four-story, 98-unit Hawthorn hotel building, five hundred and ninety-nine (599) parking spaces, including associated infrastructure, on 15.06 acres MOL, as per the attached plans. **Staff recommends approval contingent on resolution of outstanding comments.**

VI. ADJOURNMENT

September 9, 2025 10:00 AM

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Project Review Committee Regular Meeting August 13, 2025, at 10:00 AM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PROJECT REVIEW COMMITTEE
 CITY OF WILDWOOD, FLORIDA
 REGULAR MEETING
 August 13, 2025 10:30 AM
 COMMISSION CONFERENCE ROOM 124

(meeting taped)

I. Call to Order

Development Services Director Strickland brought the meeting to order at 10:34 a.m.

II. Roll Call

Attendee Name	Title	Status
Melanie Strickland	Development Services Director	Present
Jason McHugh	City Manager	Absent
Jason Martin	Assistant Utilities Director	Present
Jeremy Hockenbury	Public Works Director	Present
Randall Parmer	Police Chief	Present
Dan Horner	City Consulting Engineer	Present by Phone
Joshua Bills	City Attorney	Absent
Jessica Barnes	City Clerk	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present

III. APPROVAL OF SUMMARY MINUTES

1. Project Review Committee Regular Meeting July 08, 2025, at 10:00 AM.

The summary minutes from the July 8, 2025, meeting were approved. No discussion. Motion to approve by Police Chief Parmer, seconded by Public Works Director Hockenbury. Motion carried unanimously.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

IV. OLD BUSINESS

None.

V. NEW BUSINESS

1. A25-0055 - SP - Tri-County Heart

Development Services Director Strickland read aloud case number A25-0055 - SP - Tri-County

Heart. The applicant sought a favorable recommendation from the Project Review Committee for the construction of a five-thousand and ninety-eight (5,098) square foot medical building providing for thirty (30) parking spaces including two (2) Florida ADA accessible parking spaces and a dumpster enclosure, together with associated infrastructure such as landscaping buffers and site lighting improvements, on parcel G16M004, consisting of 0.7 acres MOL. There was no representative present for the case. Motion by Assistant Utilities Director Martin, seconded by Public Works Director Hockenbury, to approve the case. Motion carried unanimously.

RESULT:	Passed
MOVER:	Assistant Utilities Director Martin
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

3. A25-2019 - PLAT - Hoopfer Lot Split

Development Services Director Strickland read aloud case number A25-2019 - PLAT - Hoopfer Lot Split. The applicant sought approval from the Project Review Committee for the split of parcel D07-036, leaving parcel 1 with 1.69 acres and parcel 2 with 12.16 acres MOL. Stephen Campbell with Clymer Farner Barley was present for the case. Motion by Police Chief Parmer, seconded by Public Works Director Hockenbury, to approve the case. Motion carried unanimously.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

2. A25-0835 - SPM - Encounter Church Mod

Development Services Director Strickland read aloud case number A25-0835 - SPM - Encounter Church Mod. The applicant sought a favorable recommendation from the Project Review Committee for a modification to the previously approved plans (SP 2309-008) for the construction of a 15,304 square-foot worship building. The modification proposed an increase to the square footage of the building from 15,304 to 21,684 square feet, an increase to the size of the retention pond, additional parcels included in the project boundary, and grading changes to the driveway entrance on parcels D32-158, D32-057, D32-A003, and D32-A004, totaling 8.13 acres MOL. Stephen Campbell with Clymer Farner Barley was present for the case. He stated that the reason for the modification was because the applicant decided to add another building to the property. Planner Page mentioned for the record that the applicant submitted a technical waiver for the north buffer to keep the existing tree line. Motion by Assistant Utilities Director Martin, seconded by Public Works Director Hockenbury, to approve the case with the technical waiver. Motion carried unanimously.

RESULT:	Passed
MOVER:	Assistant Utilities Director Martin
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

4. A25-1564 Plant Expansion, Charlotte Pipe and Foundry

Development Services Director Strickland read aloud case number A25-1564 Plant Expansion for Charlotte Pipe and Foundry. The applicant sought a favorable recommendation from the Project Review Committee for the construction of a 54,675 sq. ft. expansion to Charlotte Pipe and Foundry with an additional 80,080 sq. ft. outdoor pipe storage area, and 28,125 sq. ft. truck staging expansion, and associated infrastructure, on parcel D29-052, consisting of 33.26 acres MOL. There was no representative present for the case. Strickland stated she had been coordinating with the applicant and Sumter County to determine what their usage and needs would be. There was a technical waiver request for a reduction in required parking, and another waiver regarding water and sewer usage. Assistant Utilities Director Martin stated he would need to take a look at their usage because the lift station was already at capacity. Strickland advised she was still researching and coordinating the matter, and would like to address the waiver separately. She would like to see a motion to include the fact that staff was still coordinating the issue. A discussion was held regarding water and sewer usage for Charlotte Pipe, as well as a review of the outstanding comments. Planner Lammers suggested addressing the parking technical waiver only and addressing the rest at a later date, to which Strickland agreed. Motion by Public Works Director Hockenbury, seconded by Police Chief Parmer, to approve the technical waiver request to avoid the additional parking requirement. Motion carried unanimously.

RESULT:	Passed
MOVER:	Public Works Director Hockenbury
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

As discussed, the rest of the project would continue to be researched and addressed by the Committee at a later date. Motion by Public Works Director Hockenbury, seconded by Police Chief Parmer, to table the project until the September PRC meeting. Motion carried unanimously.

RESULT:	Passed
MOVER:	Public Works Director Hockenbury
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

5. A25-0900 - SP - Twistee Treat

Development Services Director Strickland read aloud case number A25-0900 - SP - Twistee Treat. The applicant sought a favorable recommendation from the Project Review Committee for the construction of a one-story 583 square foot Twistee Treat featuring three outdoor patio tables, one bench, one drive-thru lane, providing 17 parking spaces including 1 Florida ADA accessible parking space, a single dumpster enclosure, together with associated infrastructure such as landscaping buffers, connecting sidewalks, and site lighting improvements on parcel G04-055C, consisting of 0.52 acres MOL. Kelly Froelich and Joe Pellarin with Kimley-Horn were present for the case. Pellarin explained the reasoning behind the technical waiver request to reduce the bypass lane requirement based on the stacking spaces. Stephen Campbell with Clymer Farner Barley was also present. He added that the adjacent parcel has a building drive-thru that would allow additional flow of traffic. Motion by Public Works Director Hockenbury, seconded by Assistant Utilities Director Martin, to approve the case as well as the technical waiver request to reduce the bypass lane requirement. Motion carried unanimously.

RESULT:	Passed
MOVER:	Public Works Director Hockenbury
SECONDER:	Assistant Utilities Director Martin
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

6. A25-2103 - SPM - Summerfield Cottages Utilities Extension

Development Services Director Strickland read aloud case number A25-2103 - SPM - Summerfield Cottages Utilities Extension. The multifamily residential development has been required to implement water line extensions in accordance with the 2024 Master Utility Plan. The developer shall design, permit, and construct, a 20-inch-diameter PVC waterline along CR 209 to CR 214, approximately a distance of 140 linear feet, as well as a 12-inch-diameter PVC waterline along CR 214 from CR 209, approximately a distance of 980 linear feet. The developer is entitled to receive a credit to be applied against the Transmission Fee component of the water SDC fees for the water improvements equal to the cost associated with construction of the improvements. Stephen Campbell with Clymer Farner Barley was present for the case. Assistant Utilities Director Martin asked if Sumter County was made aware of, and approved, the project closing the roads to perform the necessary open cuts. A discussion was held regarding directional drilling versus open cuts. Motion by Public Works Director Hockenbury, seconded by Assistant Utilities Director Martin, to approve the case with the addition of the agreement of Sumter County's standard for road repair after open cuts. Motion carried unanimously.

RESULT:	Passed
MOVER:	Public Works Director Hockenbury
SECONDER:	Assistant Utilities Director Martin
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

VI. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 11:09 a.m.

RESULT:	Passed
MOVER:	Assistant Utilities Director Martin
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, Public Works Director Hockenbury, Police Chief Parmer, Assistant Utilities Director Martin

SEAL

PROJECT REVIEW COMMITTEE
CITY OF WILDWOOD, FLORIDA

Approval Signature

Date

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-1564 Plant Expansion, Charlotte Pipe and Foundry

REQUESTED ACTION: Staff recommends approval contingent upon clearing of the comments.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-1564 Plant Expansion, Charlotte Pipe and Foundry
Owner/Applicant	Charlotte Pipe and Foundry Company
Acreage	33.26 +/-
Property Location	The subject property is generally located on the south side of CR 124A, 0.14 miles east of the intersection of N US 301 and CR 124A.
Parcel	D29-052

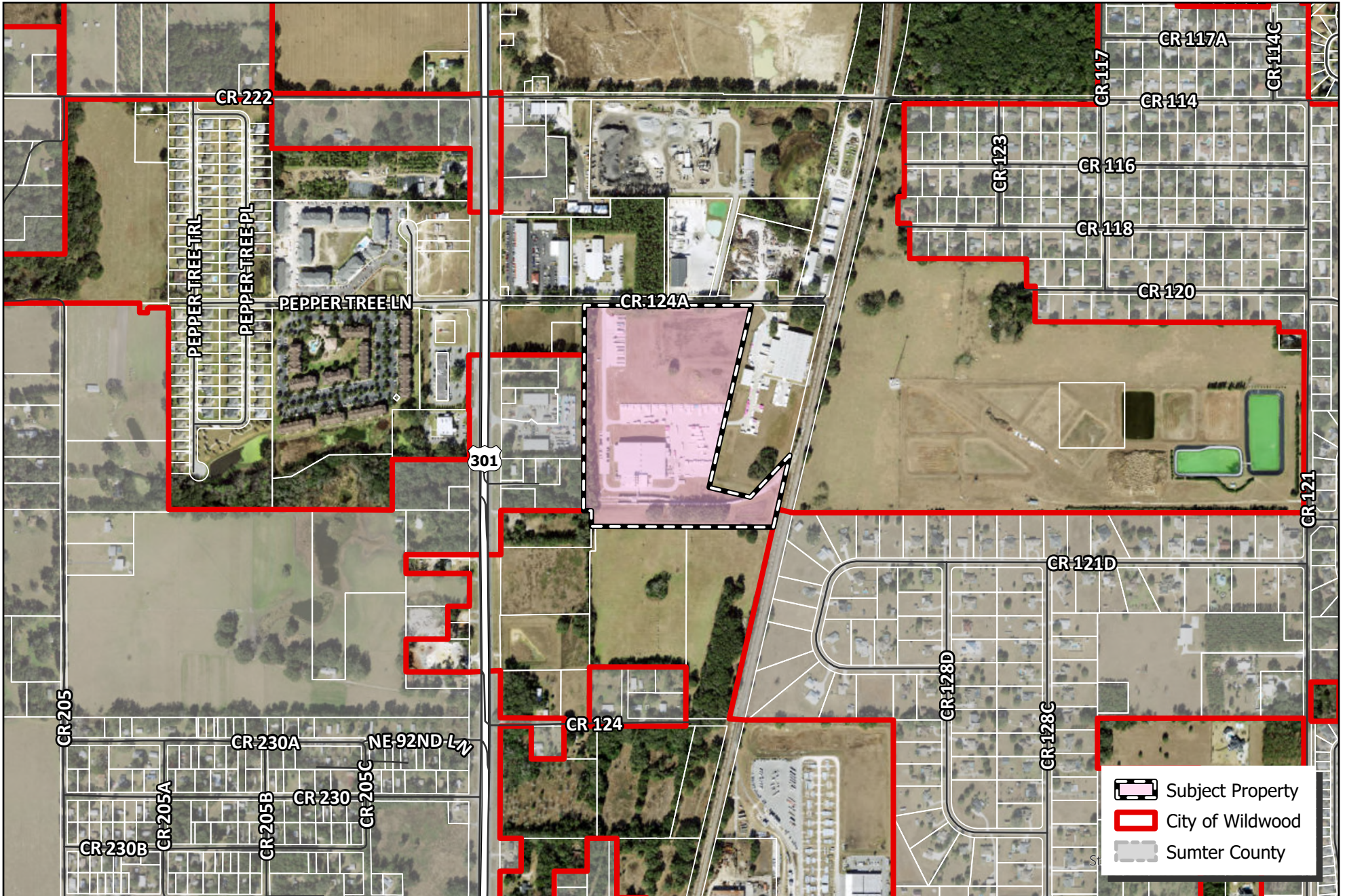
The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a 54,675 sq. ft. expansion to Charlotte Pipe and Foundry with an additional 80,080 sq. ft. outdoor pipe storage area, a 28,125 sq. ft. truck staging expansion, and associated infrastructure, on 33.26 acres MOL, as per the attached plans.

As of the writing of this report, the project has one outstanding comment from Development Services regarding the lift station capacity. Please see the attached comment review sheet. However, the applicant is working with staff to clear the remaining comments. The applicant has received approval for a technical waiver to waive the parking requirement, please see attached.

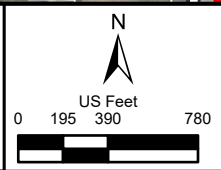
A25-1564 is expected to meet the criteria set fourth within the Land Development Regulations, Design District Standards, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan, subject to the clearing of final comments.



Alex Lammers
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-1564
PLANT EXPANSION, CHARLOTTE PIPE AND FOUNDRY
 PARCEL D29-052

MAP 1B
LOCATION
MAP
MAY 2025

CHARLOTTE PIPE AND FOUNDRY PROPOSED PLANT EXPANSION WILDWOOD, FLORIDA

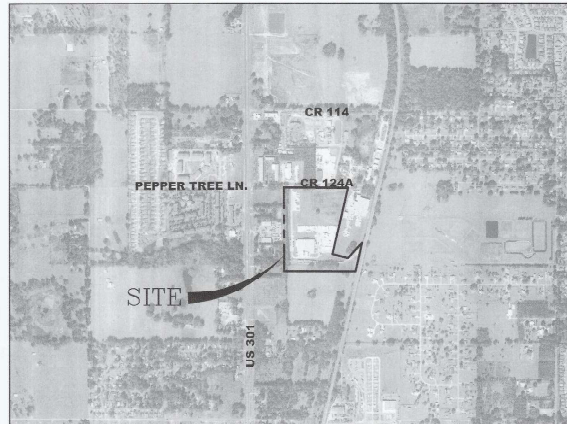
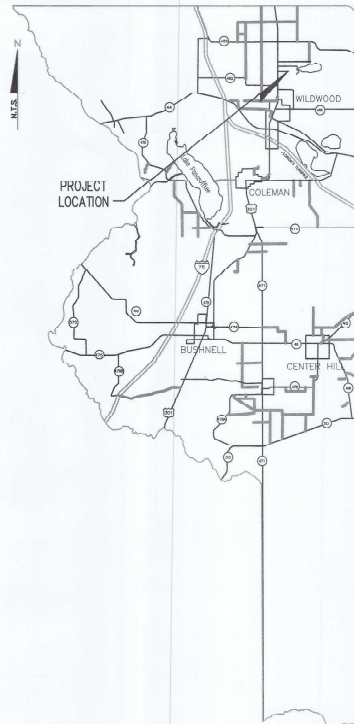
LEGAL DESCRIPTION: FROM TITLE SEARCH FILE NO. 098-4398
GUARDIAN LAND TITLE, INC. (EXHIBIT "A")

THE EAST 1/2 OF THE SW 1/4 OF T11N W14, AND THE SW 1/4 OF NW 1/4 LYING WEST OF S.G.L. RAILROAD
TRACKS LYING IN SECTION 26, TOWNSHIP 18, SOUTH, RANGE 23 EAST, SUMNER COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING:

FROM THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 26,
TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMNER COUNTY, FLORIDA, AND THE WESTERLY LINE OF THE RIGHT
OF WAY OF THE RAILROAD AS SHOWN ON "SEASOARD AIRLINE COMPANY RIGHT OF WAY AND TRACK MAP
V2-FLA, L11, 27" RUN N 13° 10' 30" E 35.92 FEET TO A POINT 35.00 FEET NORTH OF, BY PERPENDICULAR
MEASUREMENT, THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 26, SAID
POINT BEING THE POINT OF BEGINNING, FROM SAID POINT RUN S 88° 48' 32" E 205.25 FEET ALONG A LINE
THAT IS PARALLEL WITH THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 26,
TO A POINT THAT IS 50.00 FEET WESTERLY OF, BY PERPENDICULAR MEASUREMENT, THE CENTERLINE
OF TRACKS LYING WITHIN THE ABOVE DESCRIBED RIGHT OF WAY, THENCE S 10° 30' W 69.62 FEET
PARALLEL WITH SAID CENTERLINE, THENCE ALONG AN ARC WITH THE RADIUS OF 468.34 FEET, A CHORD
BEARING OF 3° 55' 40" W, AND A CHORD DISTANCE OF 232.27 FEET, THENCE N 76° 48' 31" W 324.50 FEET
PERPENDICULAR TO THE AFORESAID CENTERLINE, THENCE N 12° 10' 30" E 1200.00 FEET, PARALLEL
WITH THE AFORESAID CENTERLINE, TO A POINT 35.00 FEET NORTHERLY, BY PERPENDICULAR
MEASUREMENT, THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 26,
THENCE S 88° 48' 32" E 205.25 FEET TO THE POINT OF BEGINNING.

CONTAINING 30.06 ACRES.



VICINITY MAP
PARCEL: D29-052

SCALE 1"=1000'

OWNER

CP&F
4149 CO. ROAD 124A
WILDWOOD, FL 34785
PHONE (352) 748-8100

AUTHORIZED AGENT / APPLICANT

AIRRON YARDY, PLANT MANAGER
CP&F
4149 CO. ROAD 124A
WILDWOOD, FL 34785
PHONE (352) 748-8100

CIVIL ENGINEER

BROOKS ENGINEERING, INC.
225 WEST MAIN STREET,
TAVARES, FLORIDA 32778
PHONE: (352) 343-8667
CONTACT: MICHAEL BROOKS, P.E.

PREPARED FOR:
BARRINGER CONSTRUCTION
4020 OLD PINEVILLE ROAD
CHARLOTTE, N.C. 28217
TELE: 704-337-2881

Brooks Engineering, Inc.

225 West Main Street, Tavares, Florida 32778
P (352) 343-8667 C (352) 418-2308
michael.hb49@yahoo.com
Registry No. 34748

UTILITIES:

WATER: CITY OF WILDWOOD
100 NORTH MAIN STREET
WILDWOOD, FL 34785
PHONE 352-330-1330
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY SERVICE
TO BE PROVIDED

SEWER: CITY OF WILDWOOD
100 NORTH MAIN STREET
WILDWOOD, FL 34785
PHONE 352-330-1330
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

ELECTRICAL: UTILX ENERGY
P.O. BOX 1084
CHARLOTTE, NC 28201
PHONE 877-372-8477
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

TELEPHONE: CENTURY LINK
P.O. BOX 12319
CHARLOTTE, NC 28201
PHONE 800-712-1996
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

INTERNET: A.T. & T.
P.O. BOX 2076
LAKELAND, FL 33819
PHONE 800-321-2000
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

REFUSE PICK UP: WASTE MANAGEMENT
3700 NE 45TH DRIVE
WILDWOOD, FL 34785
PHONE 562-1815/572

NATURAL GAS: NONE

Site Data

The proposed building shall be one story tall, the height of the proposed building to match the existing building, approx. 36.75 feet in height.

At the present time there are 52 employees employed for 2 shifts. It is estimated that Charlotte Pipe and Foundry will be hiring an additional 10 employees for a total of 62 employees employed for 2 shifts.

The intended use for the existing and proposed site expansion is the manufacture of PVC pipe.

Current Zoning	M 1	Future Land Use	Industrial	Existing Site 50.06 Acres	1,309,413.00 Sq. Ft.
Existing Building in approx.					79,769 Sq. Ft.
Existing Pipe Storage Area (Approx)					306,441 Sq. Ft.
Existing Roadway and Parking Area (Approx)					65,545 Sq. Ft.
Existing Truck Staging Area (Approx)					30,100 Sq. Ft.
Proposed Building Area					54,675 Sq. Ft.
Proposed Pipe Storage Expansion Area					60,000 Sq. Ft.
Proposed Roadway and Parking Expansion Area					4,545 Sq. Ft.
Proposed Truck Staging Expansion Area					28,125 Sq. Ft.
Total Impervious Area					552,284 Sq. Ft.
Percent Impervious Area (59)					41.9 %
598 Existing Building					10.9 %
Open Space Proposed					\$2.1%
Setback (Under M-1 Zoning)	Required	Provided			
Front Setback	35.0 Feet	850' J- foot			
Rear Setback	15.0 Feet	450' J- foot			
Side Setback	15.0 Feet	300' J- foot			
Parking Requirements Industrial	Required - 1 per 275 sq ft	Provided			
Existing Building	79,769 Sq Ft	114 spaces	54 spaces		
Proposed Building	54,675 Sq Ft	81 spaces	10 spaces		

NOTE: The Parking provided is based on historical usage for the site and the variance for the amount of parking spaces that was provided when the site was first developed approx. 25 years ago.

Parking Areas
Required - 1 per 25,000 sq ft
Provided

Existing Building	79,769 Sq Ft	3 spaces	9 spaces
Proposed Building	54,675 Sq Ft	7 spaces	3 spaces

NOTE: The Loading Areas noted do not include the Truck Staging areas as provided and proposed for approx. 82 trucks.

SHEET NUMBER	SHEET TITLE
1	COVER
2	SURVEY
3	NOTES
4	EROSION CONTROL & DEMO PLAN
5	AERIAL OVERALL SITE PLAN
6	SITE PLAN
7	CONCRETE JOINT LAYOUT
8	PAVING GRADING & DRAINAGE PLAN
9	PAVING GRADING & DRAINAGE PLAN
10	UTILITY PLAN
11	FIRE PROTECTION PLAN
12	EROSION CONTROL DETAILS
13	CONSTRUCTION DETAILS
14	WATER DETAILS
15	WATER DETAILS
16	WATER & SEWER DETAILS
17	SEWER DETAILS

Required Fire Water Supply Calculations Per NFPA 8th Edition
This supply requirement is for firefighting use only.
Project = Charlotte Pipe Building expansion, 4149 Cr 124A Wildwood, FL

This is to establish the proper water supply is available per NFPA 8th Edition. These calculations determine the required volume of water that is to be available onsite.

Building Contents
Occupancy Hazard Classification - Industrial
Construction Type - Type II
Building addition will create one building of 224,558 Sq. Ft.
Fully Fire Sprinklered Building reduction will be used
Building Footprint - 124,260
Per Table 18.4.5.2.1 requires 5,000 GPM
NFPA Chapter 18 paragraph 18.4.5.3.2 allows a reduction of 75% For Fully Fire Sprinklered Buildings
5,000 GPM less 75% = 1,250 Duration > 2 Hours
This exceeds the 1,000 GPM minimum NFPA Chapter 18 paragraph 18.4.5.3.2
Per Table 18.4.3.3 hydrants < 250' from the building can be credited with 1000 GPM at 20 PSI each.
Existing Fire Test Witnessed by - Ron Vique City of Wildwood and Ron Workman Barringer Const.
3000' = 40 PSI
Residual = 32 PSI
Flowing = 1000 GPM
Friction Loss = 9.89 PSI @ 1000 GPM
There are two fire hydrants on the 12" water main on opposite corners of the building. These two hydrants meet the requirements of NFPA Chapter 18

Always call 811 two full business days before you dig

Sunshine811.com

Brooks Engineering, Inc.
225 West Main Street, Tavares, Florida 32778
P (352) 343-8667 C (352) 418-2308

BARRINGER CONSTRUCTION
4020 OLD PINEVILLE ROAD
CHARLOTTE, N.C. 28217
TEL: 704-337-2881

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
COVER
WILDWOOD, FLORIDA

MICHAEL Z. BROOKS, P.E. P. 352-343-8667
3/27/10

DATE: 3/27/10
SUBMIT # 3 3/27/10/25
DATE: 3/27/10/25
DATE: 3/27/10/25
DATE: 3/27/10/25
DATE: 3/27/10/25
DATE: 3/27/10/25

Sheet: 1 of 17

MAP SHOWING TOPOGRAPHIC SURVEY OF

A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 712, PAGE 807

A PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 28 EAST, SUMNER COUNTY, FLORIDA, AS DESCRIBED IN OFFICIAL RECORDS BOOK 712, PAGE 807 OF THE PUBLIC RECORDS OF SUMNER COUNTY, FLORIDA.

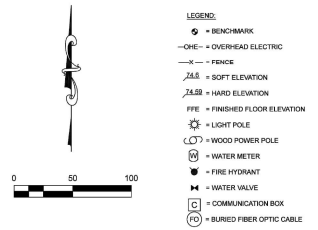
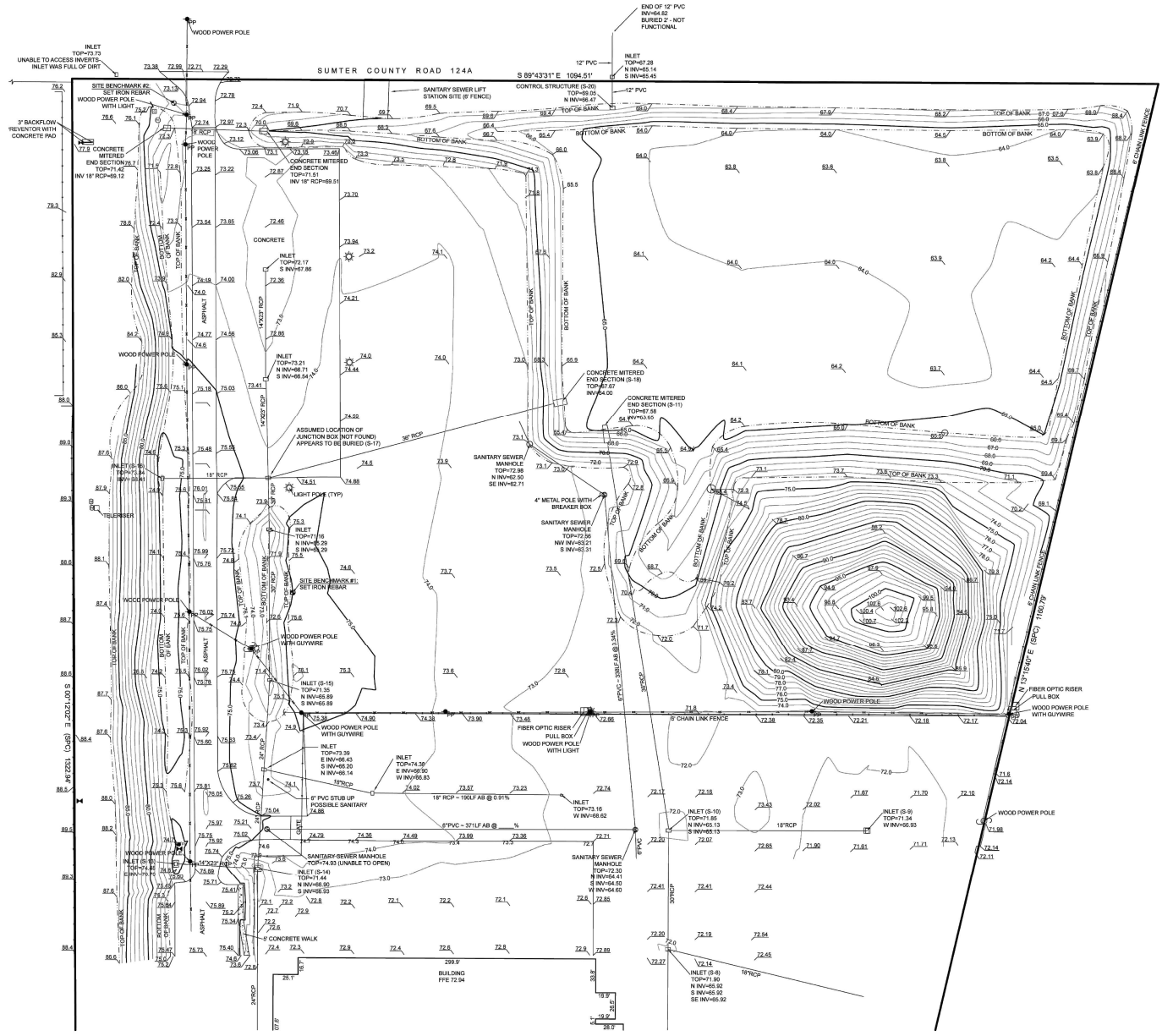
THEODOLITE SURVEY (NAD 83) PLO NO. ON 9190 (FULL DESCRIPTION CAN BE FOUND ONLINE AT <https://www.floridadep.gov/infrastructure/>). FOUND BORN IN CONCRETE AS DESCRIBED, STAMPED "1730 (2011) NAVD83 ORTO HEIGHT ELEVATION + 95.12. HOWEVER, PRIOR WORK ON THE SUBJECT PARCELS SHOWN HEREON IS IN NAVD 1983 DATUM. ACCORDING TO THE "NAD 83 GROUND CONTROL AND TRANSFORMATION TOOL (NACT)", FOUND ONLINE AT <https://www.dgs.fl.gov/ncact/>. THE CONVERSION AT THIS LOCATION IS +0.84 FEET."

BM T-753 (2011) - ELEVATION 99.50 NAVD2011 DATUM USED FOR THIS PROJECT. MEASURED STATE PLANE COORDINATE = N 160598.03 E 644397.99

SITE BENCHMARK #1:
SET IRON REBAR AND CAP STAMPED LB 8154. ELEVATION 75.60 NAVD2011 DATUM, N 168577.14, E 645172.21

SITE BENCHMARK #2:
SET IRON REBAR PAD CAP STAMPED LB 8154. ELEVATION 73.68 NAVD2011 DATUM, N 169070.43, E 645033.33

- NOTES:
- BOUNDARY LINE INFORMATION SHOWN HEREON WAS TAKEN FROM ENGINEERING CAD FILE AND DRAWINGS FOR CHARLOTTE PIPE - INDUSTRIAL PLANT SITE PLAN SHEET C3 AND C3 DATED 07-1998. LAST REVISED 06-2000, AND IS FOR INFORMATION ONLY. THE BOUNDARY LINES SHOWN HEREON ARE A GRAPHIC DESCRIPTION ONLY REPRESENTING AN APPROXIMATION OF THE TRUE BOUNDARY LINES. THIS IS NOT A BOUNDARY SURVEY.
 - THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED SURFACE INDICATIONS ONLY AND MAY OR MAY NOT BE IN THE POSITION SHOWN. THE UTILITIES SHOWN HEREON MAY NOT EXIST AT ALL. THERE MAY BE ADDITIONAL SUBSURFACE ITEMS THAT WERE NOT OBSERVED OR READILY APPARENT AT THE SURFACE OF THE GROUND AND THEREFORE DO NOT APPEAR ON THIS SURVEY DRAWING. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OF OR THE LOCATION OF THE UTILITIES SHOWN ON THIS SURVEY DRAWING.



THIS DRAWING NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

<p>STANDARD NOTES: BEARING STRUCTURES BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE), BEARING OF 88°46'22\"/> </p>	<p>REGISTERED DIGITAL SIGNATURE Harold W Moore Professional Surveyor No. 12226 Professional Mapper No. 12226B PAID UP</p>	<p>CERTIFICATION: I HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR IN THE STATE OF FLORIDA, THAT THE INFORMATION SHOWN HEREON WAS COMPILED UNDER MY RESPONSIBLE CHARGE, AND, IN MY OPINION, AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE INFORMATION SHOWN HEREON IS IN COMPLIANCE WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 6A-11.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007, FLORIDA STATUTES.</p>	<p>PREPARED FOR AND CERTIFIED TO: H & B CONSULTING ENGINEERS, INC.</p>	<p>P SQUARED SURVEY LLC SURVEYING BUSINESS NUMBER 8154 3030 DEE STREET, APOPKA, FLORIDA 32703 (407) 412-6946</p>	<p>JOB NO. 311 FB - PG. NS 19, PG. 25-26 DC-SELE DRAWING: CHARLOTTE PIPE SUMNER DWS</p>
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P:\Project\Road\311-18 Charlotte Pipe\Plan\8504-10 Charlotte Pipe\311.dwg, 5/8/2024, 10:15:38 AM, rldgs: 0005 to PDR.pct, ARCH 3/8/24 5:00:24 AM, 1/1

HAROLD W MOORE, FLORIDA LAND SURVEYOR NO. 12226

DATE OF FIELD SURVEY: 12-2023

CONSTRUCTION LAYOUT - AS BUILT
SURVEYING AND MAPPING - GPS SURVEYS

CONSTRUCTION NOTES:

- ALL TRAFFIC CONTROL SIGNALS, OR DEVICES MUST COMPLY WITH THE FLORIDA STATE STATUTES REGARDING THE INSTALLATION.
- ALL TRAFFIC CONTROL SIGNALS, OR DEVICES MUST CONFORM TO THE MANUAL AND SPECIFICATIONS PUBLISHED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, TO INCLUDE BUT NOT LIMITED TO SIGNS SIZE AND HEIGHT.
- THE PROPOSED FDOT TYPE 'C' DRAINAGE STRUCTURES, W/ STEEL GRATES SHALL MEET THE LATEST EDITION OF THE FDOT STANDARDS 2002-25 INDEX 925-032.
- EXISTING AND PROPOSED BUILDING SETBACKS FROM THE BOUNDARY ARE:
 - FROM WEST PROPERTY LINE 200'+/-
 - FROM NORTH PROPERTY LINE 650'+/-
 - FROM SOUTH PROPERTY LINE 450'+/-
 - FROM EAST PROPERTY LINE 250'+/-
 - UNDER M-1 ZONING THE MINIMUM FRONT SETBACK IS 25'. REAR SETBACK IS 10', SIDE SETBACK IS 10'
- ALL CONSTRUCTION MATERIALS AND INSTALLATION OF PIPE SHALL FOLLOW THE CITY OF WILDMOOD STANDARD CONSTRUCTION SPECIFICATIONS FOR WATER AND SEWER.
- THE CONTRACTOR NEEDS TO SCHEDULE A PRE-CONSTRUCTION MEETING 2 WEEKS IN ADVANCE OF THE PROJECT COMMENCING WORK.
- THE INTENDED USE FOR THE PROPOSED SITE WORK/PLANT EXPANSION IS FOR THE MANUFACTURE OF PVC PIPE.
- THE PROPOSED BUILDING SHALL BE ONE STORY TALL, THE HEIGHT OF PROPOSED BUILDING TO MATCH EXISTING BUILDING, APPROX. 36.75 FEET.
- DIRECTIONAL BORING IS REQUIRED FOR DEVELOPMENT AND INFRASTRUCTURE PLANNED WITHIN ALL CRITICAL ROOT ZONES (CRZS) OF TREES.
- ALL CRITICAL ROOT ZONES SHALL HAVE ROOT PRUNING PRIOR TO PERMANENT IRRIGATION INSTALLATION.
- ALL DEVELOPMENT WITHIN FLOOD PRONE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF SWFWMD AND THE CRITERIA IN THE FLOOD HAZARD REGULATIONS SECTION OF CITY OF WILDMOOD CODE.
- TEMPORARY SEEDING AND MULCHING SHALL FOLLOW IMMEDIATELY FOR AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 CALENDAR DAYS OR LONGER.
- ALL EROSION PRACTICES SHALL MEET THE REQUIREMENTS OF THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
- TREE PROTECTION IN CONFORMANCE WITH ANSI A300, ALL 10 PARTS, AND THE ACCOMPANYING BEST MANAGEMENT PRACTICES (BMPs) FOR EACH OF THE 10 STANDARDS.
- AT THE PRESENT TIME THERE ARE 52 EMPLOYEES EMPLOYED FOR 2 SHIFTS. IT IS ESTIMATED THAT CHARLOTTE PIPE WILL BE HIRING AN ADDITIONAL 10 EMPLOYEES FOR A TOTAL OF 62 EMPLOYEES EMPLOYED FOR 2 SHIFTS.

NOTE: THE FOLLOWING ITEMS FOR THE PROJECT SHALL BE NOTED IN THE ORDER OF CONSTRUCTION.

- IT SHALL BE NOTED THAT AT NO TIME SHALL THE EXISTING PIPE STORAGE AREA AND THE TRUCK STAGING AREA BE DISTURBED. THESE AREAS SHALL REMAIN OPEN AND OPERATIONAL AT ALL TIMES.
- AS PER REQUIREMENTS FROM CHARLOTTE PIPE ABSOLUTELY NO VEHICLE TRAFFIC SHALL BE ALLOWED ON THE NEW CONCRETE SURFACES FOR A MINIMUM OF 7 DAYS.
- ALL SEWER LINE CONSTRUCTION SHALL BE DONE AND APPROVED FOR USE PRIOR TO THE PLACEMENT OF ANY OF THE NEW CONCRETE SURFACES.
- ALL EARTHWORK INCLUDING THE REMOVAL OF THE EXISTING UNSUITABLE MATERIAL STOCKPILE AND THE CONSTRUCTION OF THE EXPANSION OF THE EXISTING WRA SHALL BE ACCOMPLISHED PRIOR TO THE PLACEMENT OF ANY OF THE PROPOSED CONCRETE SURFACES. WE DO NOT WANT TO HAVE ANY HAIL ROUTES CROSSING OVER THE NEWLY PLACED CONCRETE.
- THE NEW SEWER LINE BETWEEN THE EXISTING MANHOLE AND THE NEW MANHOLE S-4 SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF THE NEW DRIVEWAY.
- UPON THE CONSTRUCTION OF THE NEW SEWER LINE AS NOTED ABOVE THE SOUTH SIDE OF THE EXISTING DRIVEWAY SHALL NOT BE DISTURBED AND SHALL REMAIN OPEN FOR TRAFFIC INTO THE EXISTING PIPE STORAGE AREA.
- ALL SEWER LINE CONSTRUCTION SHALL BE DONE AND APPROVED/CLEARED FOR USE PRIOR TO THE PLACEMENT OF ANY OF THE NEW CONCRETE SURFACES.
- THE NEW DRIVEWAY SHALL BE CONSTRUCTED AND THE REQUIRED WAITING PERIOD OF 7 DAYS MINIMUM SHALL BE OBSERVED PRIOR TO OPENING THIS DRIVEWAY TO TRAFFIC.
- AFTER THE EARTHWORK HAS BEEN COMPLETED THE WORK ON THE PLACEMENT OF THE PIPE STORAGE AREA CAN BE ACCOMPLISHED. WORK IN THIS AREA SHALL BE DONE GOING FROM EAST TO WEST. THIS WORK SHALL INCLUDE THE RAISING AND PLACEMENT OF ANY INLETS AND DRAINAGE PIPE.
- COORDINATION SHALL BE DONE BETWEEN THE CONTRACTOR, CHARLOTTE PIPE AND DUKE ENERGY FOR THE REMOVAL OF THE EXISTING WITHIN WORK PIPES AND THE EXISTING FIBER OPTIC LINE THRU THIS AREA.
- AFTER THE NEW DRIVEWAY HAS BEEN PLACED THE WORK CAN BE DONE ON THE REMOVAL OF THE EXISTING CONCRETE SURFACES FOR THE WATER MAIN RELOCATION AND THE NEW BUILDING CONSTRUCTION.
- AFTER THE WATER MAIN HAS BEEN CLEARED FOR USE BY THE EXISTING WATER MAIN CAN BE REMOVED.
- NEW MANHOLES S-1 AND S-2 CAN BE INSTALLED AND THE EXISTING SEWER MAIN BETWEEN THEM CAN BE "T.V.E.D" FOR ITS CONDITION. EXISTING MANHOLE 2 CAN BE REMOVED AT THIS TIME.
- AFTER THE NEW SEWER LINE HAS BEEN CLEARED FOR USE WITH FDEP THE EXISTING SEWER LINE CAN BE FILLED UTILIZING "FLOWABLE FILL".
- AFTER THE WORK ON THE PIPE STORAGE AREA HAS BEEN COMPLETED THE WORK ON THE TRUCK STAGING AREA SHALL BE DONE.
- AFTER THE BUILDING CONSTRUCTION HAS BEEN COMPLETED THE CONCRETE OVER THE TOP OF THE WATER MAIN ADJACENT TO THE NEW BUILDING CAN BE REPLACED.
- IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE EXISTING SITE IS TO REMAIN SECURE AT ALL TIMES.
- ANY TEMPORARY FENCING SHALL BE SUPPLIED AND MAINTAINED TO ENSURE THAT THE SITE REMAINS SECURE.
- ALL NEW FENCING TO BE INSTALLED AFTER THE COMPLETION OF THE CONSTRUCTION SHALL MATCH THE EXISTING FENCING.
- THE NEW GATE FOR THE ENTRANCE DRIVE SHALL BE INSTALLED AND COORDINATED WITH ON-SITE CHARLOTTE PIPE STAFF. THE CONTROLS FOR THE GATE SHALL BE INSTALLED BY THIRD PARTY COORDINATED BY ON-SITE CHARLOTTE PIPE STAFF.
- THERE SHALL BE NO TRAFFIC ALLOWED ON THE NEWLY PLACED CONCRETE SURFACES FOR A MINIMUM OF 7 DAYS AFTER PLACEMENT AS PER REQUIREMENTS FROM "CHARLOTTE PIPE, NORTH CAROLINA CORPORATE MANAGEMENT".
- ALL SITE WORK SHALL NOTE AND FOLLOW RECOMMENDATIONS AS PER THE ON-SITE SOILS REPORT BY CENTRAL TESTING LABORATORY PROJECT NUMBER # 2484136.200, DATED 12-17-24.

Brooks Engineering, Inc.
 225 West Main Street, Tallahassee, Florida 32378
 P (904) 344-8667 C (904) 448-2100

REGISTERED CONSULTING ENGINEER
 PROFESSIONAL SEAL
 CHARLOTTE, N.C. 28217
 TELE: 704-337-2581

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 NOTES
 WILDMOOD, FLORIDA

Michael Z Brooks
 7/27/25

The User has been digitally signed by me and the content is the same. Please confirm the content is the same. If you are not the user, please contact the user or my electronic signature.

MICHAEL Z BROOKS PE FL REG NO 3884

Drawn/Rev	REVISION	DATE
Checked: MFB	SUBMITTAL #1	07/10/25
Date: 06/13/25		
Scale: AS SHOWN		
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Sheet: 3 of 17



- LEGEND**
- PROPERTY LINE
 - FENCE TYPE III SILT FENCE
- DEMOLITION NOTES**
ALL EXISTING IMPROVEMENTS SHOWN IN DARK ARE TO BE REMOVED.
- KEY NOTES:**
- 1) INSTALL 867 L.F. OF SILT FENCE BARRIER.
 - 2) INSTALL 442 L.F. OF SILT FENCE BARRIER.
 - 3) INSTALL 123 L.F. OF SILT FENCE BARRIER.
 - 4) INSTALL 588 L.F. OF SILT FENCE BARRIER.
 - 5) INSTALL 1422 L.F. OF SILT FENCE BARRIER.
 - 6) PROTECT EXISTING INLET WITH SEDIMENT CONTAINMENT SYSTEM MAT.
 - 7) SAW CUT EXISTING CONCREFT AND REMOVE AS SHOWN.
 - 8) EXISTING 10" WATERLINE TO BE REMOVED.
 - 9) EXISTING SANITARY SEWER MAIN & SERVICE LATERAL TO BE REMOVED. REFER TO SHEET 10 "UTILITY PLAN".
 - 10) EXISTING LIGHT POLE TO BE RELOCATED.
 - 11) COORDINATION SHALL BE DONE BETWEEN THE CONTRACTOR, CHARLOTTE PIPE AND DUKE ENERGY FOR THE REMOVAL AND RELOCATION / REPLACEMENT OF THE EXISTING WOODEN POWER POLES AND THE EXISTING "FIBER OPTIC LINE" THRU THIS AREA.
 - 12) APPROXIMATE LOCATION OF DESIGNATED CONCRETE WASHOUT AREA.
- NOTES:**
1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
 2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER SLOPE AREA HAS BEEN STABILIZED BY SO2, OR COMPACTED AS DETERMINED BY THE OWNER.
 3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
 4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPANDED IN LIEU OF PERMANENT MEASURES.
 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
 7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
 9. ALL SWPPP METHODS/DETAILS SHALL MEET THE MOST RECENT DCDT DCMG MANAGEMENT PRACTICES.

Brooks Engineering, Inc.
205 West Main Street, Suite 100, Tallahassee, Florida 32301
P. (904) 242-8867, F. (904) 242-8867, E. CBRO@BROOKS-ENG.COM

BARNEYS CONSTRUCTION
6020 OLD DUNWELLY ROAD
TALLAHASSEE, FLORIDA 32311
TEL: 784-437-2881

**CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
EROSION CONTROL
& DEMC PLAN
MILWOOD, FLORIDA**

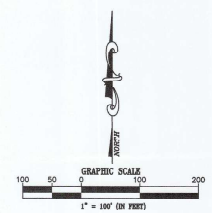
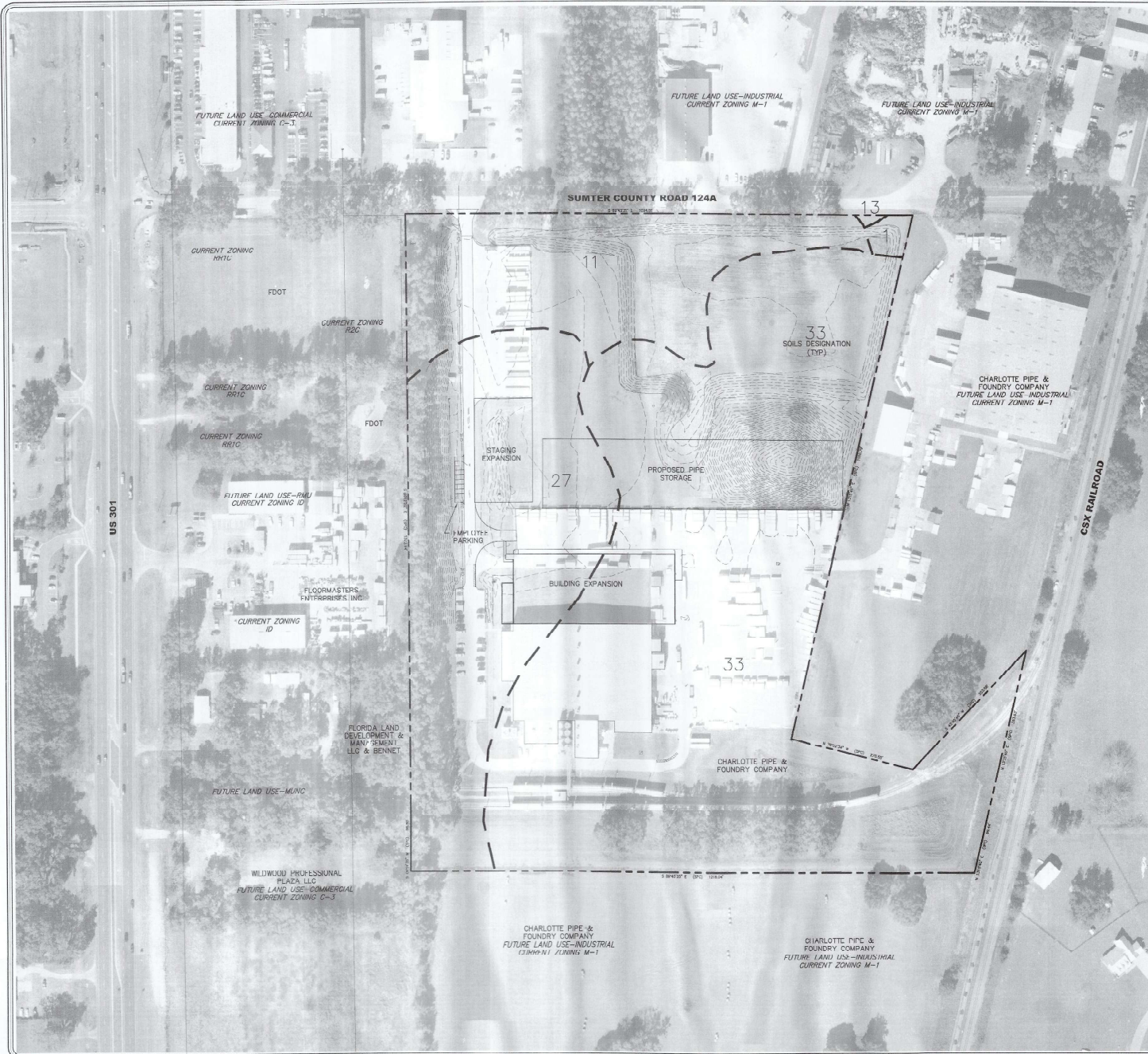
Michael Z Brookes PE
3 Sept 25

MICHAEL Z BROOKES PE FL REG. NO. 38814

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Sheet 4 of 17

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- NOTES:
- BOUNDARY DIMENSIONS AS PER ORIGINAL BOUNDARY SURVEY, HUNTS SURVEYING AND MAPPING, JANUARY 1996.
 - AERIAL PHOTO FROM SUMTER COUNTY GIS.

LEGEND:

SOIL TYPE	MAP SYMBOL	HYDROLOGIC SOIL GROUP	AREA
ARREDONDO FINE SAND, 0% - 5% SLOPES	1	A	0.2
LAKE FINE SAND, 0% - 5% SLOPES	8	A	1.7
MILLHOPPER SAND, 0% - 5% SLOPES	11	A	5.0
JAYAVEL FINE SAND, 0% - 5% SLOPES	13	A	0.0
SAWYERVILLE FINE SANDS BOLDERS SUBSURFACE, 0% - 5% SLOPES	27	C/D	18.3
SPARR FINE SAND, BOULDERY SUBSURFACE, 0% - 5% SLOPES	33	A/D	33.3

Brooks Engineering, Inc.
 225 West Main Street, Gainesville, Florida 32608
 P (352) 341-6861 F (352) 416-2506

BUSINESS CONSTRUCTION
 4020 OLD MANATEE ROAD
 CHARLOTTE, N.C. 28217
 TEL: 704-534-2581

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 AERIAL OVERALL SITE PLAN
 WILDWOOD, FLORIDA

Michael J. Brooks
 2/20/25

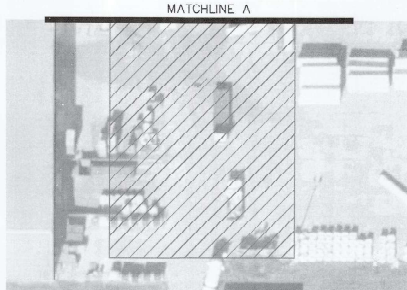
This form has been digitally signed & sealed by Michael J. Brooks, PE on the date indicated to the right. Printed copies of this document are not considered signed and no electronic copies may be verified on any electronic copies.

REVISION	DATE
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Date: 05/19/25	
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File No. B01-24-10	

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LEGEND		KEY NOTES:	
---	PROJECT BOUNDARY	①	CONSTRUCT 6" THICK CONCRETE. SEE SHEET 7 "CONCRETE JOINT LAYOUT" FOR DETAIL.
---	PROPOSED ROAD	②	CONSTRUCT ASPHALT EMPLOYEE PARKING. 1" TYPE S-3 ASPHALTIC CONCRETE. 6" LIMEROCK BASE, LBR 100 (PRIMED). 12" TYPE B STABILIZED SUB-BASE, LBR 40.
---	BUILDING SLIBACK/EASEMENT LINE	③	REPLACE WITH 6" THICK CONCRETE.
---	WALL	④	4" WIDE WHITE STRIPE (TYP)
[Pattern]	CONCRETE PAVEMENT		
[Pattern]	NEW BUILDING		
[Pattern]	NEW PAVEMENT		
[Pattern]	TRUCK LOADING ZONE APPROX. 100'x300'		
	NOTE: LOADING ZONE IS PRIVATE WITH NO PUBLIC ACCESS.		



Brooks Engineering Inc.
 245 W. U.S. 90, Suite 100, Ft. Lauderdale, FL 33322
 P. (561) 544-8667 C. (561) 478-2320

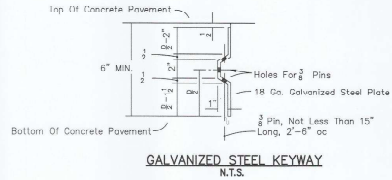
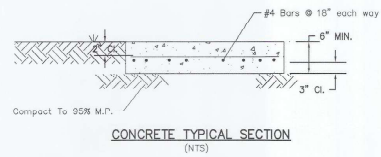
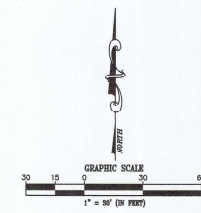
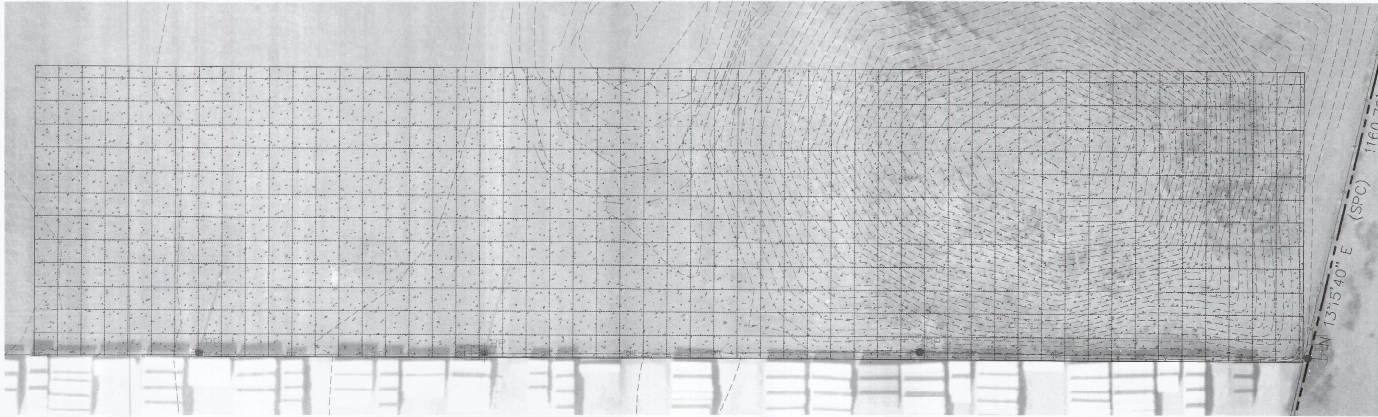
BARRINGER CONSTRUCTION
 4000 OLD PINEVILLE ROAD
 SUITE 100, FT. LAUDERDALE, FL 33309
 TEL: 754-337-2891

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 SITE PLAN
 WILDWOOD, FLORIDA

Michael J. Branch
 3 Sept 2024
 This plan has been digitally signed & sealed for sheet 7 of sheet 17. Any alteration to the seal or printed notes of this document are not considered legal and void and the signature must be verified in any electronic system.
 MICHAEL J. BRANCH, PE FL REG. NO. 10847

PROJECT #	24-50 Charlotte Pipe/Plan/0024-50 Charlotte Pipe-TOTAL.dwg	DATE	07/10/24
CONTRACT #	00419/24	SUBMITAL #	07/10/24
DATE	09/19/24	SCALE	AS SHOWN
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TITLE	00419/24-C	SHEET	6 of 17

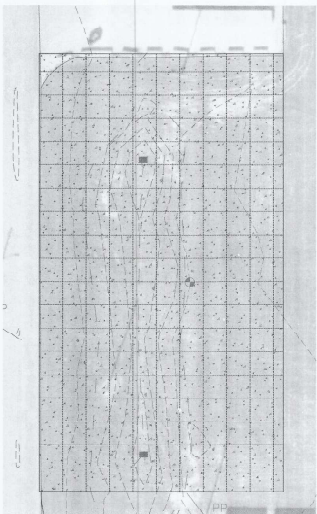
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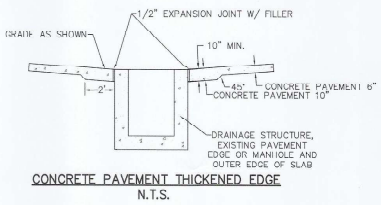
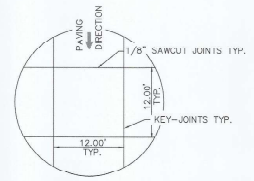
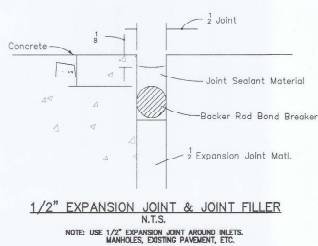
NOTE: ALL EAST-WEST JOINTS ARE KEYS JOINTS. ALL NORTH-SOUTH JOINTS ARE 1/8" SAW-CUT JOINTS. SAW-CUTS SHALL BE MADE 6 HRS. AFTER PAVING. USE CURING COMPOUND AS PER FDOT SPECIFICATIONS. NO TRAFFIC UNTIL ONE WEEK, 7 DAYS AFTER PAVING.

BACKER ROD BOND BREAKER (CONCRETE-CONCRETE JOINTS)				
JOINT DIMENSIONS (INCHES)				
JOINT WIDTH	SEALANT BEAD THICKNESS	BACKER ROD DIAMETER	MINIMUM JOINT DEPTH	BACKER ROD PLACEMENT DEPTH
1/4"	1/4"	3/16"	1"	1/2"
3/8"	1/4"	1/8"	1 1/4"	1/2"
1/2"	1/4"	3/16"	1 1/2"	1/2"
5/8"	5/16"	1/4"	1 1/2"	1/2"
3/4"	3/8"	1"	1 3/4"	1/2"
1"	7/16"	1 1/8"	1 3/4"	1/2"
1 1/4"	1"	1 1/4"	2"	1/2"
> 1"	1 1/4"	1 1/4"	2"	1/2"

Unless otherwise indicated on the plans the joint width for new construction will be 1/4" for construction joints, for all other joints.
For rehabilitation projects the joint width will be shown on the plans or established by the Engineer based on field conditions.



- Steel Foundation Structural Notes**
- The Soil Beneath The Footings Shall Be Compacted To A Minimum Of 95% Of Modified Proctor Such That The Soil Compressive Strength Without Settlement Shall Be 1500 PSF Or Greater.
 - Concrete Shall Be FDOT Class II(c) Having Minimum 28-Day Compressive Strength Of 4,000 PSI. Concrete To Be Additionally Reinforced With A Fiber Mesh Additive.
 - Reinforcing Steel Shall Be ASTM A615 Grade 60.
 - Contractor To Provide Compaction Test Results Under Concrete.
 - Refer to CTL Soils Report Dated 12/17/2024 for additional information.



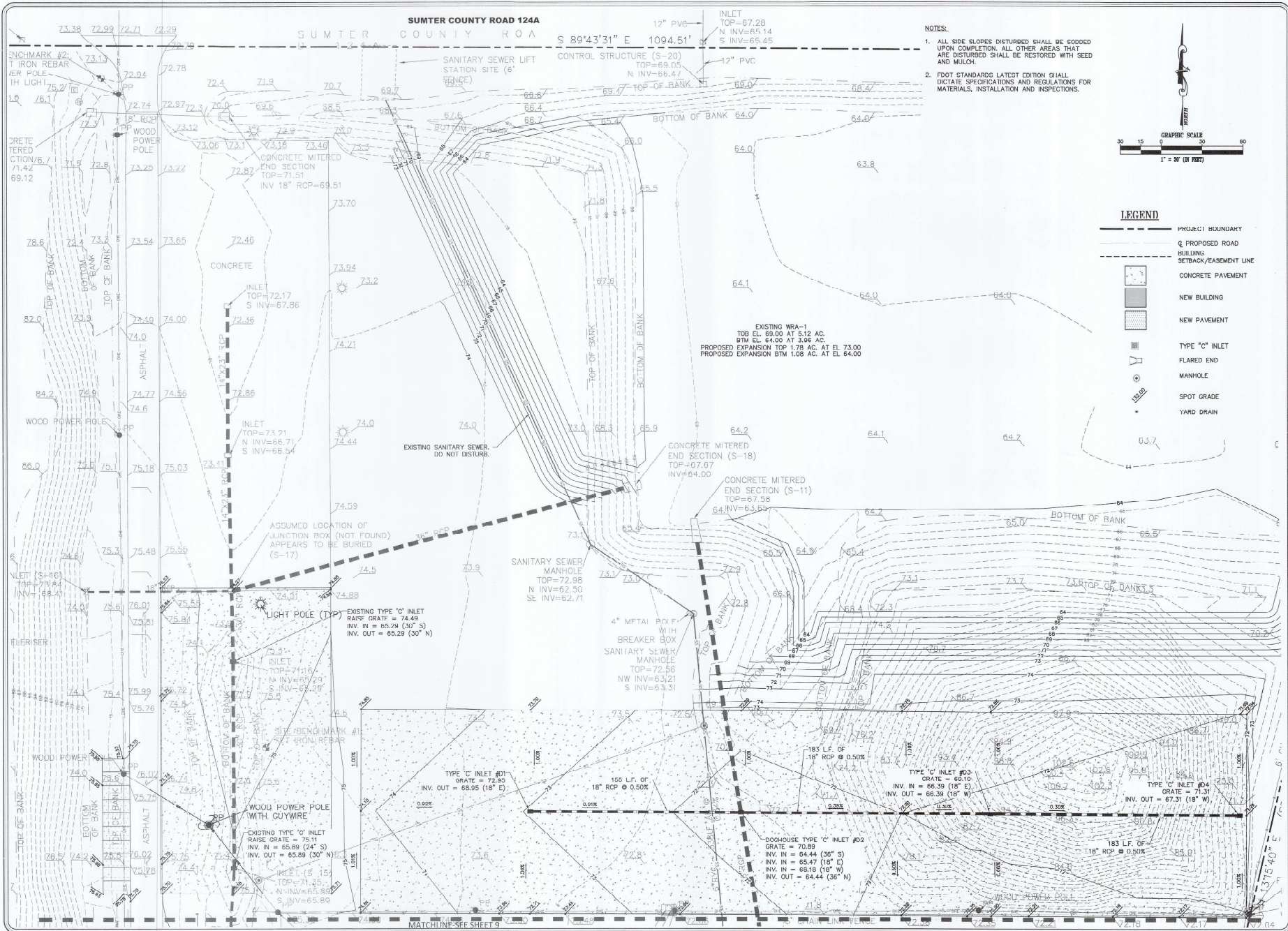
Brooks Engineering, Inc.
225 West Main Street, Tallahassee, Florida 32378
P: (904) 544-8667 C: (904) 419-2309

BARRINGER CONSTRUCTION GROUP, INC.
225 West Main Street, Tallahassee, Florida 32378
P: (904) 544-8667 C: (904) 419-2309

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
CONCRETE JOINT LAYOUT
WILDWOOD, FLORIDA

Michael J. Brooks
P.E.
MICHAEL J. BROOKS, P.E. FL REG. NO. 38814

Drawn: RAP
Checked: MZB
Date: 06/16/25
Scale: AS SHOWN
Alt. Key #
Rev. No.: 00 24-10
DATE: 07/10/25
SUBMITTAL #3
Sheet: 7 of 17



Brooks Engineering, Inc.
 225 West Main Street, Tallahassee, Florida 32301
 TEL: (904) 344-8867 FAX: (904) 344-8868

BARRINGER CONSTRUCTION
 4020 OLD PINEVILLE ROAD
 SUITE 100
 TALLAHASSEE, FLORIDA 32317
 TEL: (904) 331-3880

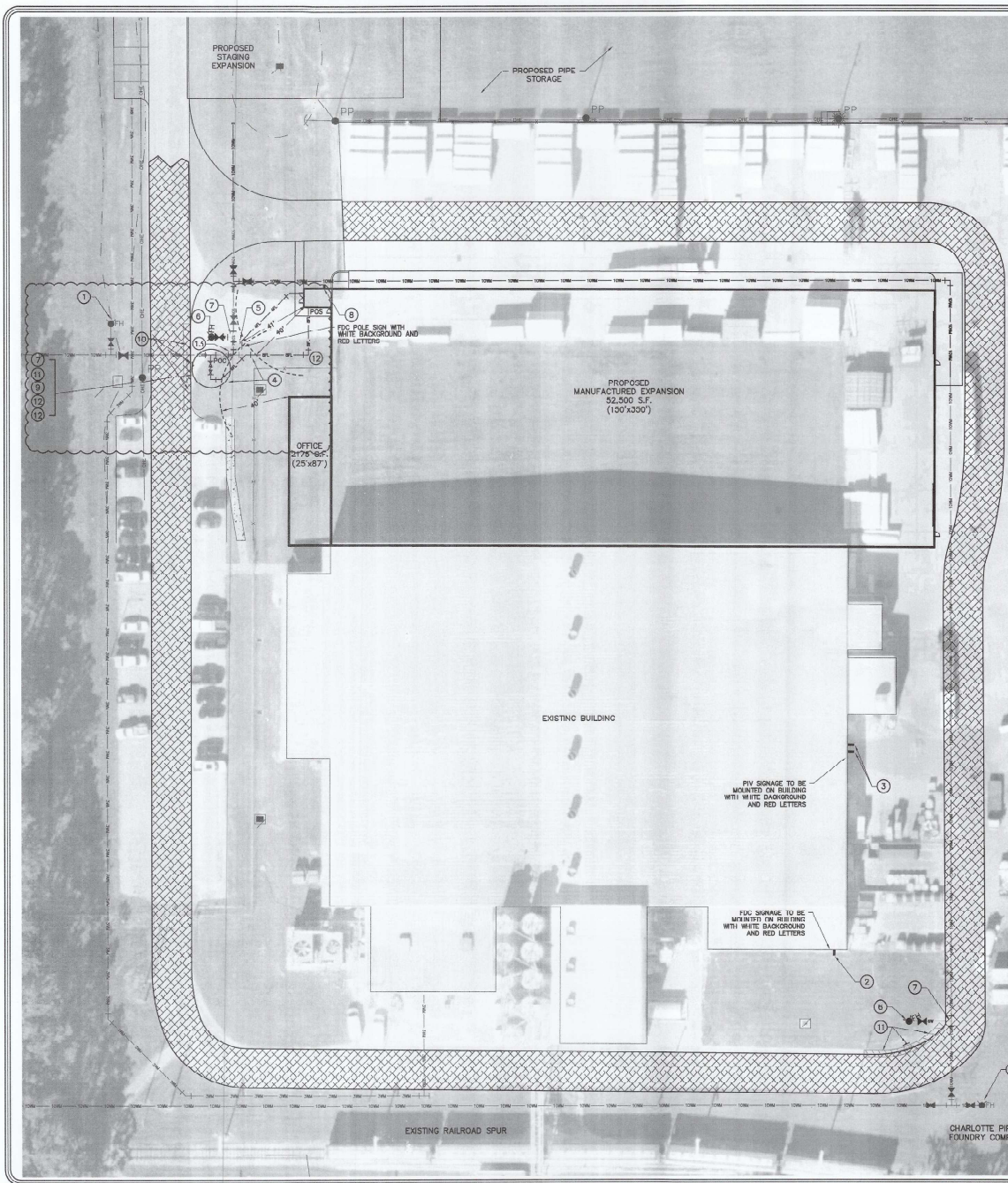
CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 PAVING GRADING &
 DRAINAGE PLAN
 WILDWOOD, FLORIDA

Michael H. Hines
 3/24/2015

This plan has been verified and approved by the Professional Engineer, Michael H. Hines, P.E., on the date indicated on the plan. It is the responsibility of the client to ensure that the information on this plan is current and that the drawings must be verified on the electronic copies.

Drawn: JAS	DATE:
Checked: JAS	REVISION:
Date: 11/18/2014	SUBMIT DATE: 03/27/2015
Scale: AS SHOWN	
Auto Plot: 03/27/2015	
Plot File: 03/24/15	
Plot File: 03/24/15	

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FIRE LINE NOTES:

1. ALL DESIGN, FABRICATION, AND INSTALLATION IS TO BE IN STRICT ACCORDANCE WITH FPSC 8TH EDITION, NFPA 24 - 2019 EDITION AND ALL PAMPHLETS ENACTED BY THAT EDITION.
2. THE SCOPE OF THIS WORK IS TO START AT THE BOTTOM DISCHARGE 90° ON THE DISCHARGE SIDE OF THE 6" BACKFLOW PREVENTER TO STUO UP AT EACH RISER LOCATION.
3. ALL FIRE LINE IN GREEN AREAS IS TO HAVE 30% OF COVER AND ALL FIRE LINE UNDER TRAFFIC OR AREAS IS TO HAVE 30% OF COVER.
4. ALL CHANGES OF DIRECTION ARE TO BE RETAINED WITH MEG-A LUG RESTRAINTS. THE BELLS ON RUNS WILL BE RETAINED WITH SERRATED RESTAINERS. EBBA OR EQUAL.
5. ALL BURIED FERROUS METAL IS TO BE PROTECTED FROM CORROSION WITH A COATING OF 'BLACK DRAGON' OR EQUAL.
6. ALL PVC LINES ARE TO HAVE 2 - #10 WIRES RAN ALONG THE PIPE AND TAPED TO THE PIPE EVERY 10'.
7. ALL LINES ARE TO HAVE A METALLIC TAPE MIDWAY BETWEEN THE TOP OF THE PIPE AND THE SURFACE OF THE EARTH.
8. ALL FIRE LINES ARE TO BE TESTED AT 200 PSIFOR 2 HOURS WITH NO LEAKS OR PRESSURE LOSS.
9. ALL FIRE LINES ARE TO BE FLUSHED PER NFPA 24 PRIOR TO CONNECTION TO THE RISER.
10. THE POS IS THE POINT AT WHICH THE WATER BECOMES FOR FIRE FIGHTING USE ONLY. THE POC IS THE CONNECTION TO THE MUNICIPAL WATER MAIN.

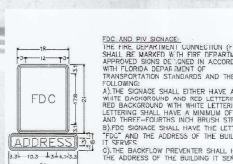
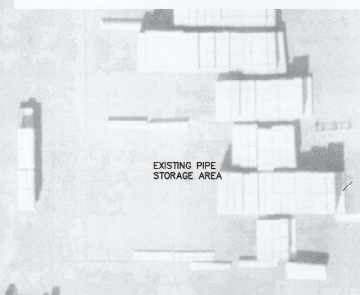
LEGEND

- ① EXISTING FIRE HYDRANT
- ② EXISTING FIRE DEPARTMENT CONNECTION
- ③ EXISTING FIRE SPRINKLER POST INDICATOR VALVES (2)
- ④ 8" 45° BEND
- ⑤ PROPOSED FIRE DEPARTMENT CONNECTION
- ⑥ PROPOSED FIRE HYDRANT
- ⑦ WET TAP EXISTING 10" PVC WATER MAIN
- ⑧ PROPOSED 4 VALVE HOSE HEADER
- ⑨ INSTALL 'FIRE LINE' BACKFLOW PREVENTER DEW-12
- ⑩ INSTALL 'NO PARKING - FIRE LANE' SIGN & STRIPE PAVEMENT OR L.P. IN LENGTH PER DETAIL A1 BUT 10M MIGHT.
- ⑪ 8" GATE VALVE
- ⑫ 0" 80° M.J.D.J. BEND
- ⑬ 10" 90° M.J.D.J. BEND
- ▨ FIRE DEPARTMENT ACCESS ROUTE - 20' WIDE MINIMUM

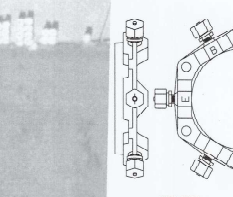
Required Fire Water Supply Calculations Per FPFC 8th Edition

This supply requirement is for firefighting use only.
 Project - Charlotte Pipe Building expansion, 4149 Cr 124A Wildwood, FL
 This is to establish the proper water supply available per FPFC 8th Edition. These calculations determine the required volume of water that is to be available onsite.

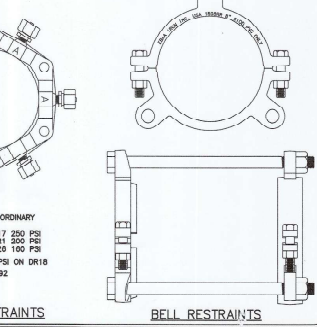
Building Criteria
 Occupancy hazard classification - Industrial
 Construction Type = Type II
 Building addition will create one building of 124,358 Sq. Ft.
 Fully fire sprinklered building reduction will be used
 Building-Footprint = 124,358
 Per Table 18.4.3.2.1 requires 5,000 GPM
 FPFC Chapter 18 paragraph 18.4.3.2 allows a reduction of 75% for Fully Fire Sprinklered Buildings
 5000 GPM less 75% = 1,250 Duration = 2 Hours
 This exceeds the 1,000 GPM minimum FPFC Chapter 18 paragraph 18.4.3.2
 Per Table 18.4.3.3 Hydrants < 250' from the building can be credited with 1500 GPM at 20 PSI each.
 Existing Flow Test Witnessed by - Ron Vigue City of Wildwood and Ryan Workman Barringer Const.
 Static = 40 PSI
 Residual = 36 PSI
 Flowing = 1000 GPM
 Extrapolated Flow to 20 PSI = 1464 GPM
 There are two Fire Hydrants on the 10" water main on opposite corners of the building.
 These two hydrants meet the requirements of FPFC Chapter 18



1. SIGNS SHALL BE HIGH INTENSITY RETROREFLECTIVE YELLOW AND RED SIGNS MADE BY ENGRAVING THE WORDS IN HIGHLY VISIBLE LETTERS NOT LESS THAN ONE INCH HIGH AND NOT MORE THAN ONE INCH APART.
2. SIGNS SHALL BE DOUBLE FACED. FACE THE DIRECTION OF TRAFFIC FLOW AND SIGNS NOT QUADRATE SHALL BE 180° BEET ABOUT. NO TAP FOR THE FIRE LANE SHALL BE PLUMBER TIGHT 90° FROM A SIDE.
3. SIGNS SHALL BE MOUNTED ON METAL POSTS, NOT LESS THAN TWO (2) INCHES IN DIAM.
4. THE MINIMUM HEIGHT MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE SIGN OR THE HORIZONTAL CENTER LINE SHALL BE 10 FEET FROM THE BOTTOM OF THE SIGN TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELLED WAY SHALL BE 7 FEET.
5. WHERE A CURB IS PROVIDED, FOUR INCHES OUT OF CURB TOP AND FACE TO BE TRAFFIC YELLOW FOOT FOUR INCHES FROM CURB TO FACE OF CURB. SIGNALS BE FOUR INCHES OUT FROM EXISTING CURB AND TO BE TRAFFIC YELLOW FOOT FOUR INCHES FROM CURB TO FACE OF CURB. SIGNALS BE FOUR INCHES OUT FROM EXISTING CURB AND TO BE TRAFFIC YELLOW FOOT FOUR INCHES FROM CURB TO FACE OF CURB. SIGNALS BE FOUR INCHES OUT FROM EXISTING CURB AND TO BE TRAFFIC YELLOW FOOT FOUR INCHES FROM CURB TO FACE OF CURB. SIGNALS BE FOUR INCHES OUT FROM EXISTING CURB AND TO BE TRAFFIC YELLOW FOOT FOUR INCHES FROM CURB TO FACE OF CURB.
6. LETTERS NOT LESS THAN FOUR (4) INCHES IN HEIGHT AND NOT LESS THAN TWO (2) INCHES IN WIDTH WITH THE SPACING BETWEEN THE LETTERS BEING 1/8" FROM THE CENTER OF THE LETTER TO THE CENTER OF THE NEXT LETTER.
7. SIGNS AND PAINTING ARE TO BE MANUFACTURED BY THE PROPERTY OWNER.



MEG-A LUG RESTRAINTS
 EBBA IRON
 2025
 PRESSURE RATINGS FOR ORDINARY WATER WORKS
 DR14 200 PSI SR17 250 PSI
 DR16 150 PSI SR21 200 PSI
 DR22 100 PSI SR28 100 PSI
 (L) GPM RATED 100 PSI ON DR18
 EXCESS LENGTH - 13 OF 92
 FOR USE ON PVC PIPE
 MADE IN THE USA



Brooks Engineering Inc.
 205 West Main Street, Suite 100, Wildwood, FL 32076
 P: (321) 343-6887 C: (321) 418-2328

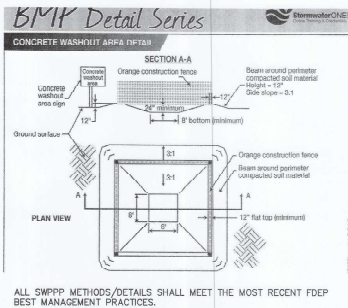
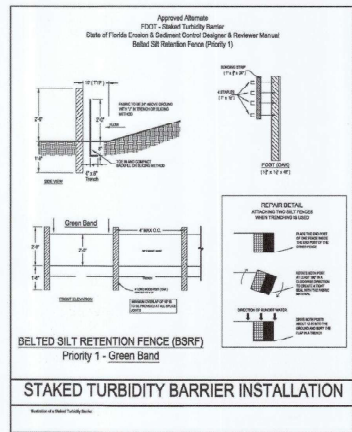
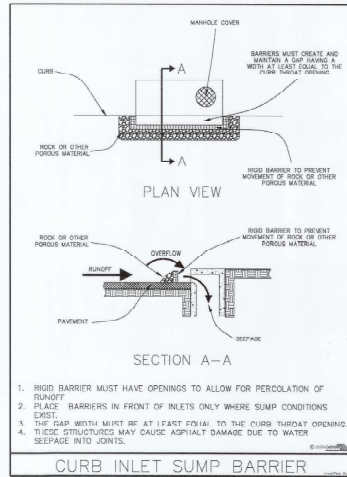
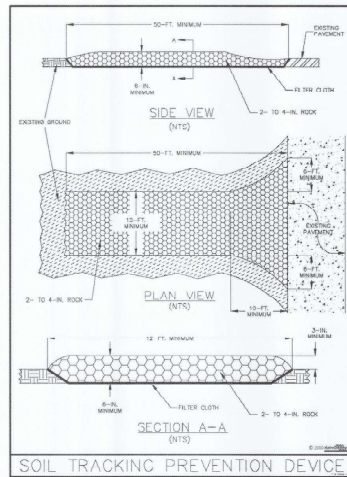
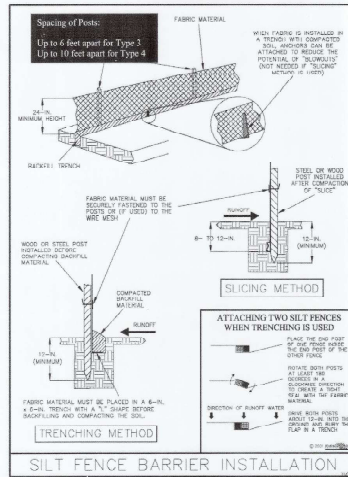
PAVING CONSTRUCTION
 4000 OLD PINNACLE ROAD
 WILDWOOD, FL 32076
 TELE: 704-237-2661

**CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 FIRE PROTECTION PLAN**
 WILDWOOD, FLORIDA

PROFESSIONAL ENGINEER
 Z. Brooks, P.E.
 LICENSE NO. 12000
 STATE OF FLORIDA

REVISED	DATE
DESIGN	07/10/25
CHECK	08/05/25
DATE	08/05/25
DATE	08/05/25
DATE	08/05/25

Sheet: 11 of 17



STATE OF FLORIDA E&C DESIGNER & REVIEWER MANUAL - LATEST EDITION: JULY 2013

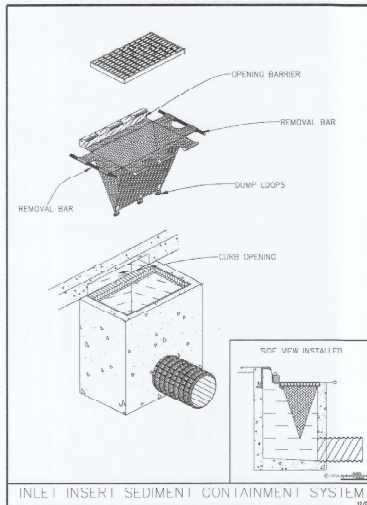
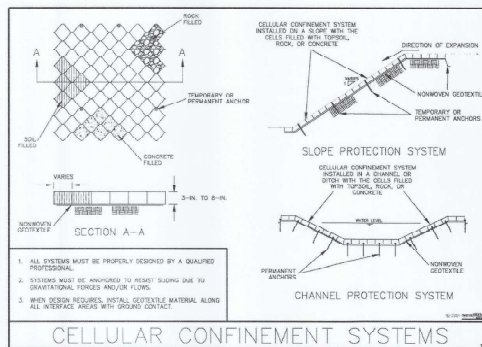


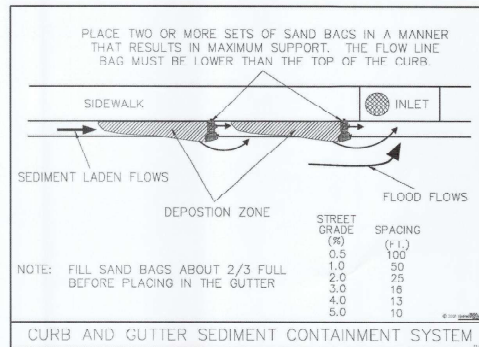
Figure V-18: Illustration of an Inlet Insert Sediment Containment System

Revisions to graphic by: [illegible]

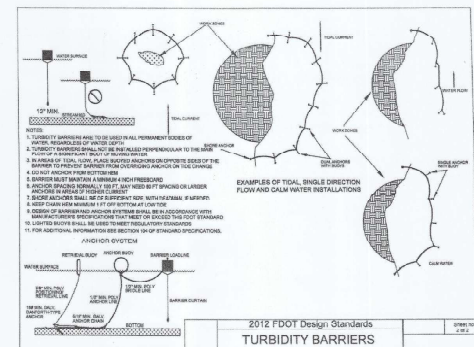
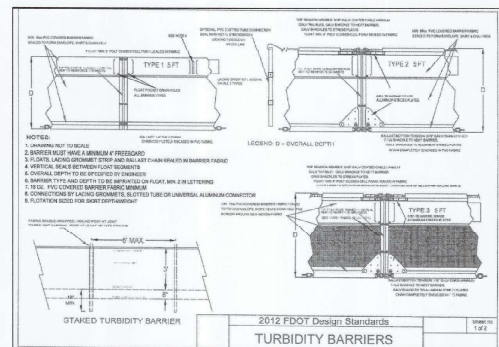
V-42



CELLULAR CONFINEMENT SYSTEMS



CURB AND GUTTER SEDIMENT CONTAINMENT SYSTEM



Brooks Engineering Inc.
225 West Main Street, Tallahassee, Florida 32378
P (904) 418-2887 F (904) 418-2308

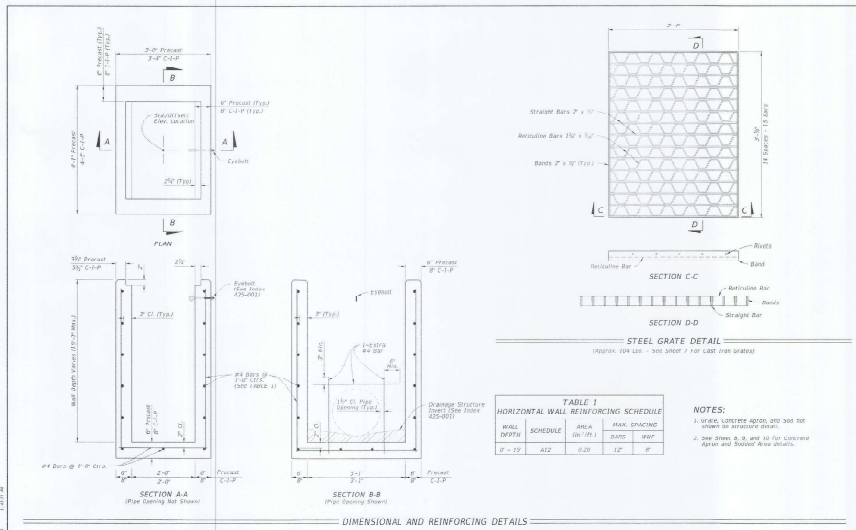
BARRIER CONSTRUCTION
CHARLOTTE, N.C. 28217
TEL: 704-337-2881

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
EROSION CONTROL DETAILS
WILDWOOD, FLORIDA

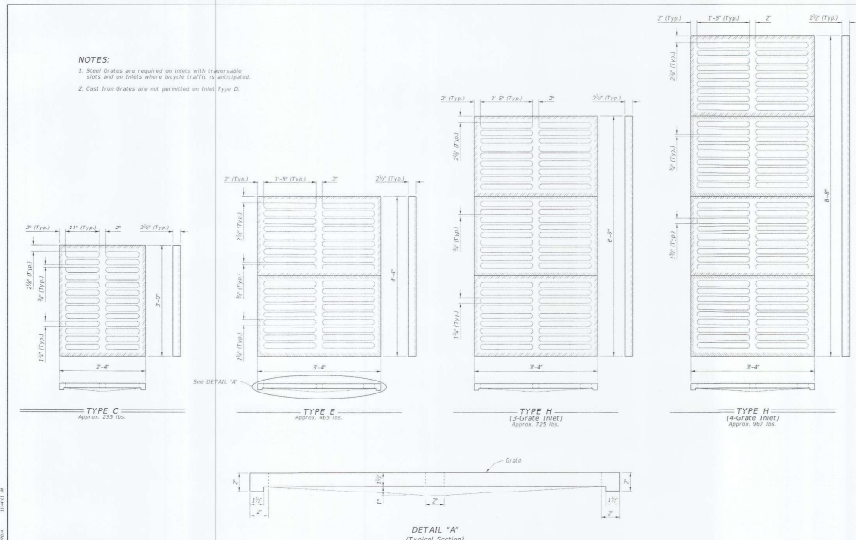
Michael Z. Brooks
This Plan has been digitally signed & sealed by Michael Z. Brooks PE, Inc. and is subject to the seal. Filled copies of this document will not be considered for review on any construction project.

MICHAEL Z. BROOKS PE, FL REG. NO. 38816

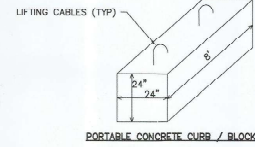
REVISION: DATE:
SUBMITTAL # 07/10/25
Checked: MZB
Date: 06/18/25
Scale: AS SHOWN
AT Key #
PIN No. 09-24-10
Sheet: 12 of 17



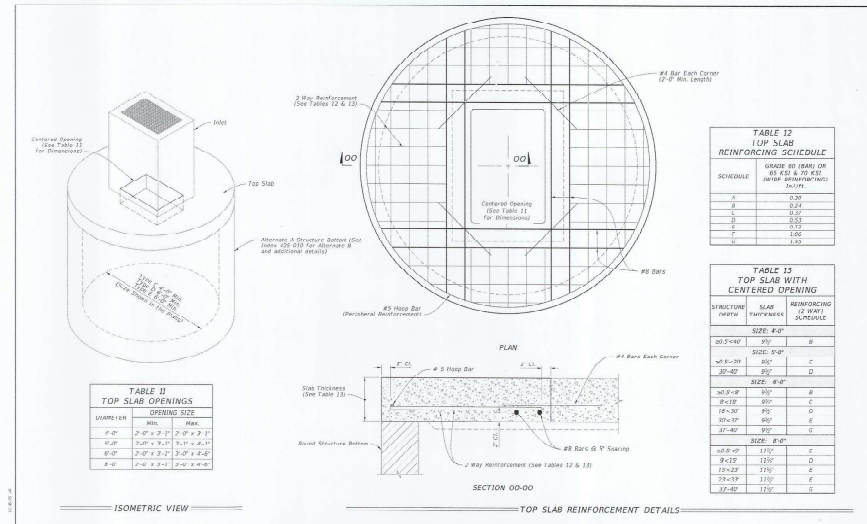
LAST REVISION	DESCRIPTION	INDEX	SHEET
02/01/20		425-052	2 of 14



LAST REVISION	DESCRIPTION	INDEX	SHEET
02/01/20		425-052	7 of 14



- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DO THE FOLLOWING ITEMS AS A PART OF THE OVERALL PROJECT:
1. MAINTENANCE OF TRAFFIC WILL BE REQUIRED FOR THE ENTIRE LENGTH OF THE PROJECT. THE PROJECT MAY BE BROKEN DOWN IN VARIOUS SECTIONS AS REQUIRED BY THE CONTRACTOR FOR THE WORK TO BE COMPLETED.
 2. EXISTING ACTUAL ROADWAY SHALL NOT BE DISTURBED OR BLOCKED AT ANY TIME.
 3. CONTRACTOR SHALL COORDINATE ALL WORK WITH "CHARLOTTE PIPE".
 4. PROJECT CONSISTS OF CONSTRUCTION OF A NEW CONCRETE STAGING / PARKING AREA. EXISTING SOILS SHALL BE REMOVED AND RE-CONSTRUCTED AS PER THE SOILS REPORT BY CENTRAL TESTING, NO. 2404120-2200 VIEWED BY REFERENCE DEEMED A PART OF THE CONSTRUCTION PLANS FOR THIS PROJECT, TO THE LIMITS AS HIGHLIGHTED ON THE PLAN SHEETS.
 5. THERMOPLASTIC STRIPING SHALL BE PLACED AS A PART OF THIS PROJECT FOR THE NEW STAGING / PARKING AREA.
 6. AS PART OF THE MOBILIZATION FOR THE PROJECT A VIDEO SHALL BE DONE BY THE CONTRACTOR TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF THE CONSTRUCTION. A COPY OF THE VIDEO SHALL BE PRESENTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 7. DRIVEWAYS SHALL BE TIED INTO THE NEW PAVEMENT.
 8. THE CONTRACTOR SHALL MAINTAIN ANY AND ALL ITEMS NECESSARY FOR THE PROTECTION OF THE EXISTING DRAINAGE SYSTEM. THESE ITEMS SHALL BE CONSIDERED A PART OF THE MOT FOR THIS PROJECT.
 9. ANY AND ALL MANHOLES AND VALVE BOXES THAT ARE LOCATED WITHIN THE PAVED AREAS SHALL BE PROTECTED AND ADJUSTED TO GRADE AS NECESSARY AS A PART OF THIS OVERALL PROJECT.
 10. ALL CONCRETE EDGES SHALL BE THICKENED AS PER THE DETAILS ON THESE PLANS.
 11. CURING COMPOUND SHALL BE UTILIZED ON FINISHED CONCRETE AS PER MANUFACTURER'S RECOMMENDATIONS.
 12. PORTABLE CONCRETE CURB BLOCKS SHALL BE PLACED ON ALL THREE SIDES OF THE PROPOSED CONCRETE PARKING AREA. BLOCKS SHALL BE PLACED AROUND THE PERIMETER AT 12" ON CENTER, 4" SPACING BETWEEN EACH BLOCK, AND PLACED 12" IN FROM THE EDGE OF THE CONCRETE. 43 BLOCKS WILL BE REQUIRED. SEE BLOCK DETAIL THIS SHEET.
 13. GRADE SLOPE AWAY FROM CONCRETE EDGE A 5:1 MIN.
 14. SO ALL DISTURBED AREAS A MINIMUM OF 20' FROM ANY EDGE OF PAVEMENT.



LAST REVISION	DESCRIPTION	INDEX	SHEET
02/01/20		425-052	14 of 14

Brooks Engineering, Inc.
 205 West Main Street, Tallahassee, Florida 32301
 P: (904) 833-3333 F: (904) 833-3334

BARRINGER CONSTRUCTION
 4020 OLD FINEVILLE ROAD
 TALLAHASSEE, FLORIDA 32309
 TEL: 904-837-2861

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 CONSTRUCTION DETAILS
 WILDWOOD, FLORIDA

Michael S. Brooks
 3/20/20

DESIGNED BY	DATE
REVISION	DATE
CHECKED BY	SUBMITTAL #
DATE	DATE
SCALE	SCALE
FILE NO.	NO.

Sheet: 13 of 17



Project Review Committee Technical Standards Waiver Request

Project Name CP&F FL Expansion Project

Project # 25-1564

1. Briefly describe your waiver request.

Our request is to not have to add parking spots based on the added square footage due to the low employee count the company operates with.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

City of Wildwood, Land Development Regulations, Section 6.6, Parking and loading Areas

3. Please provide the justification for your waiver request.

Of the 54,675 SF of added space 95% of it is strictly for production, with overall only (2) offices being added. The customer has also provided a letter stating only 10 new employees will be hired as part of this expansion. Additionally, they have noted overall employee headcount and have enough parking spots to handle shift change.

Name (Print) Josh Ramsey

Date 7/30/25

Signature Josh Ramsey
Digitally signed by Josh Ramsey
DN: C=US, E=josh.ramsey@barringerconstruction.com,
O=Barringer Construction, CN=Josh Ramsey
Date: 2025.07.31 11:20:48-04'00'



WILDWOOD FLORIDA

City of Wildwood

Project #: 25-1564 Charlotte Plant and Foundry Plant Expansion

Representative: Aaron Yardy

Date: 8/29/2025

*****PLEASE NOTE: Two hard copies of plans, along with the electronic copy are required with every submittal. Partial submittals are not accepted. *****

DEVELOPMENT SERVICES

1. LDR 4.4 (D)(8) Please provide a preliminary concurrency determination form.
 - The form has been added to this re-submittal
 - i. Are the calculations for the concurrency based on historic data or by ERU conversions from the LDR? Staff's calculations are producing different numbers.
 - ii. Please provide calculations to verify that the lift station can sustain the addition per Utility Director Jason Martin's email on 8/29/2025.

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-1117 Home Depot Mod

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

BUDGET IMPACT:

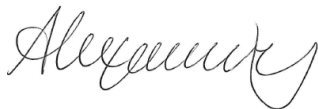
HISTORY/FACTS/ISSUES:

Case No	A25-1117
Parcel Number	G05X001
Acreage	19.35 +/-
Property Location	The property is generally located at the south west corner of the intersection of C 466A and Powell Rd
Owner/Applicant	Home Depot U.S.A, Inc.

The applicant is seeking approval from the Project Review Committee for a minor modification to the previously approved Home Depot Wildwood (Wildwood Crossing) (SP 2210-002) consisting of revisions to the storm water pond.

The applicant has submitted a technical waiver to waive the requirement for a 12-foot-wide flat access berm surrounding the retention pond.

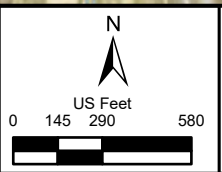
A25-1117 is expected to meet the criteria set forth in the Design District Standards, Land Development Regulations, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan, subject to the approval of the technical waiver.



Alex Lammers
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-1117
HOME DEPOT, WILDWOOD
 PARCEL G05X001

MAP 1B
LOCATION
MAP
APR 2025



Project Review Committee Technical Standards Waiver Request

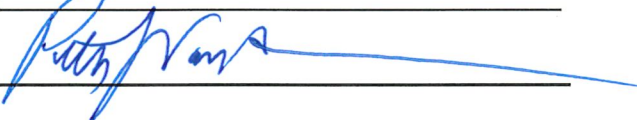
Project Name Home Depot - Wildwood

Project # SP 2210-002

1. Briefly describe your waiver request.
Provide a 12' wide access berm at the top of bank of the DRA at up to a 4:1 slope.
2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.
6.4, Section D, (3)
3. Please provide the justification for your waiver request.
The existing DRA has 3'H/1'V side slopes requiring a fence and 12' flat access berm. Up to a 4'H/1'V access berm is proposed to provide for access. The site and DRA are privately maintained.

Name (Print) Peter VanRens

Date 2025-06-26

Signature 

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: SPM 2408-009 Trailwinds Village The Wilds Phase 3 Modification

REQUESTED ACTION: Staff recommends approval

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case No: SPM 2408-009 Trailwinds Village - The Wilds Phase 3 (Modification to SP 2306-007)

Parcel Number: Western Portion of Parcel G04LRI-002

Acreage: 21.02 +/- (Lot RI-2 of the Trailwinds Village Replat One Subdivision)

Property Location: Generally located approximately 0.3 miles north of C 466A and approximately 0.5 miles of east of E C 462

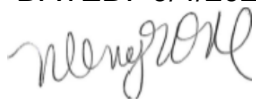
Owner: Wilds Apartments, LLC

Applicant: Nick Herring, with the Framework Group, LLC

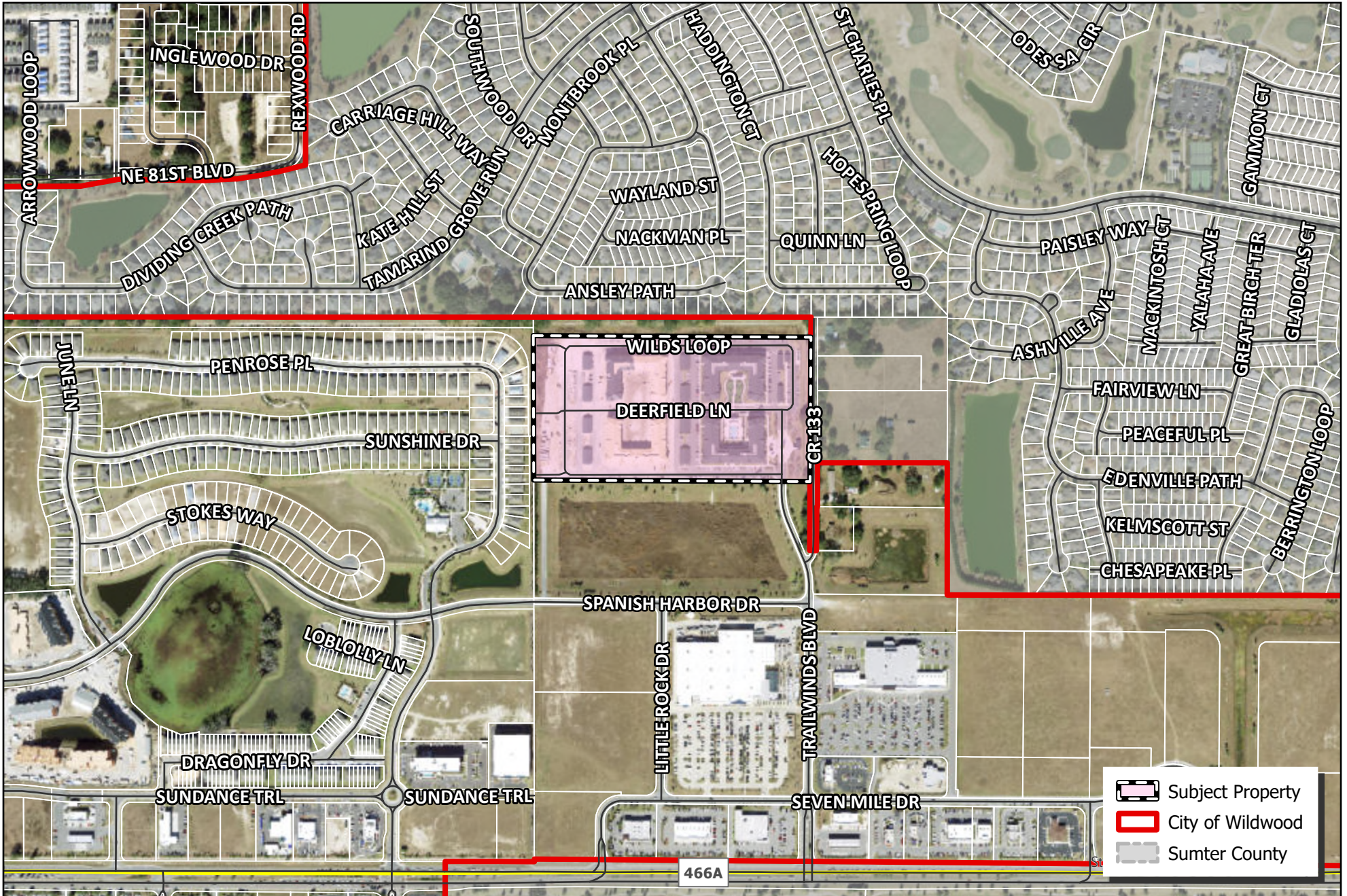
The applicant is seeking a favorable recommendation from the Project Review Committee addressing revisions to Phase 3, including the elimination of a Single-Family/Multi-family Residential Development consisting of 18 dwelling units and 48 parking spaces, now proposing the installation of a retaining wall around the perimeter of Phase 3 and establishing this area as open area/common space, on 21.02 acres MOL, as per the attached plans.

SPM 2408-009 meets the criteria set forth in the Design District Standards, Land Development Regulations, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan.

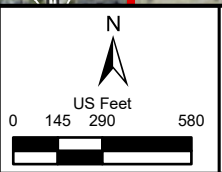
DATED: 9/4/2025



Wendy Then, AICP, CFM
Assistant Director Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



SPM 2408-009
TRAILWINDS VILLAGE THE WILDS PHSE 3 - CONSTRUCTION
REVISION
 PORTION OF PARCEL G04LRI-002

MAP 1B
LOCATION
MAP
SEP 2025

GENERAL DEVELOPMENT NOTES

- TITLE:** TRAILWINDS VILLAGE - THE WILDS - PHASE 3
- LAND OWNER:** WILDS APARTMENTS, LLC
2300 CURLEW ROAD, SUITE 100
PALM HARBOR, FL 34683
PHONE: (801) 243-0897
- APPLICANT:** FRAMEWORK GROUP, LLC
1211 N. W. SHORE BLVD STE 801
TAMPA, FL 33607
PHONE: (801) 243-0897
- ENGINEER:** LJA ENGINEERING
CHRIS POTTS, PE
643 SW 4TH AVE, SUIT 220, GAINESVILLE, FL 32601
(352) 244-8341
- SURVEYOR:** CLYMER FARMER BAILEY INC
KAYE JAMISON, PROFESSIONAL SURVEYOR
4450 N.E. 83RD RD WILDWOOD, FL 34785
(352) 748-3104
- TAX PARCEL NO.:** G04JH-002
- PROPERTY ADDRESS:** 7752 WILDS LOOP, WILDWOOD, FL 34785
SECTION 4
TOWNSHIP 19
RANGE: 23
- PRESENT ZONING:** CMJ
- FUTURE LAND USE:** CMJ
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF CONSTRUCTION. SIGNOR ABOVE OR BELOW GROUND AND/OR APPLICABLE CODES. THEY SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTION TO AVOID DAMAGE TO ADJACENT PROPERTY AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY THAT OCCURS.
- LJA AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- ANY AND ALL WORK CONDUCTED WITHIN THE CITY OF WILDWOOD RIGHT OF WAY MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.
- ELEVATIONS ARE BASED ON VILLAGES DATUM. ADD 2.55 FT TO CONVERT TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE PROPOSED INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY WILDS APARTMENTS LLC.

UTILITY PROVIDERS:

POWER: SECO ENERGY - SUMNER COUNTY 330 S HIGHWAY 301 SUMNERVILLE, FL 33585-0301 PHONE: (352) 793-3801	WASTEWATER: CITY OF WILDWOOD WATER DEPT. 100 N MAIN ST WILDWOOD, FL 34785 PHONE: (352) 330-1349
WATER: CITY OF WILDWOOD WATER DEPT. 100 N MAIN ST WILDWOOD, FL 34785 PHONE: (352) 330-1346	GAS: TECO PEOPLES GAS - OCALA 702 N FRANKLIN ST PO BOX 2562 TAMPA, FLORIDA 33601-2562 PHONE: (352) 622-0111 / (877) 832-6747
TELEPHONE/CABLE: CENTURYLINK - OCALA 2002 SE BROADWAY ST OCALA, FL 34471-2128 PHONE: (352) 268-2285	

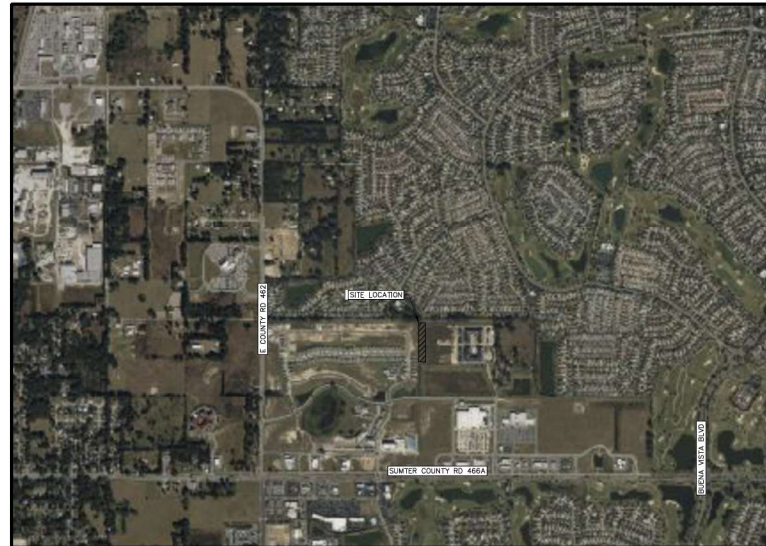
TRAILWINDS VILLAGE - THE WILDS - PHASE 3

SHEET INDEX

SHEET NO.	TITLE
C0.00	COVER SHEET
C0.01	LEGEND, ABBREVIATIONS, AND NOTES
C0.02	STORMWATER POLLUTION PREVENTION PLAN
C1.00	EXISTING CONDITIONS
C2.00	DIMENSION PLAN
C3.00 - C3.01	RETAINING WALL DETAIL PLAN

AGENCY	PERMIT #	SUBMITTED	STATUS
CITY OF WILDWOOD	SP 2308-007	1/18/2024	APPROVED
S.W.F. W.M.D.	876153	1/19/2024	APPROVED
F.D.E.P.	0448521-001-DWC/CM	6/28/2024	APPROVED

CONSTRUCTION PLANS OF TRAILWINDS VILLAGE THE WILDS - PHASE 3 FOR FRAMEWORK GROUP, LLC



VICINITY MAP
1" = 1,000'

LEGAL DESCRIPTION:
PARCEL RI-2 OF TRAILWINDS VILLAGE REPLAT ONE,
AS PER PLAT THEREOF RECORDED IN PLAT BOOK 17,
PAGE(S) 44, 44-A THROUGH 44-N, INCLUSIVE, OF
THE PUBLIC RECORDS OF SUMNER COUNTY, FLORIDA.

NO.	DATE	DESCRIPTION	CONSTRUCTION REVISION #
1	08/27/23		

LJA Engineering, Inc.
643 SW 4th Avenue, Suite 220
Gainesville, Florida 32601
352.244.8341 / WWW.LJA.COM

COVER SHEET

PROJECT: TRAILWINDS VILLAGE THE WILDS - PHASE 3

CLIENT: FRAMEWORK GROUP, LLC TAMPA, FL

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CHRISTOPHER POTTS, PE ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

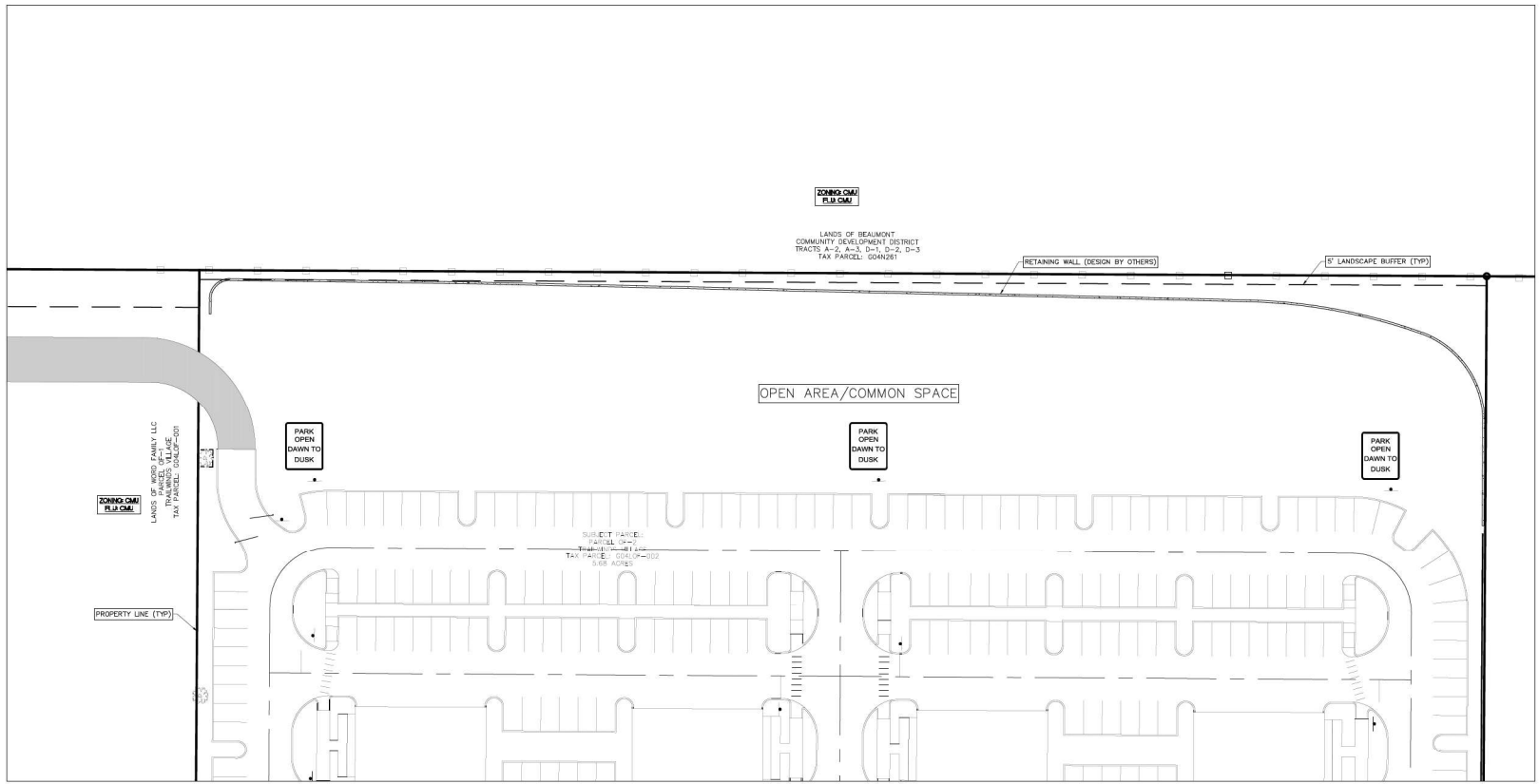
CHRISTOPHER POTTS, PE
FLORIDA LICENSE NO. 73842

DATE: JULY 2023

DRAWN BY:

CHECKED BY:

SHT. **C0.00**





32982.000
FLA CMU

LANDS OF BEAUMONT
COMMUNITY DEVELOPMENT DISTRICT
TRACTS A-2, A-3, D-1, D-2, D-3
TAX PARCEL: 0040261

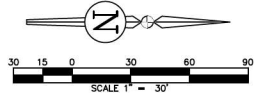
32982.000
FLA CMU

LANDS OF WINDS FAMILY, LLC
TRAILWINDS VILLAGE
TAX PARCEL: 0040490

SUBJECT PARCEL:
TAX PARCEL: 0040490-002
5.68 ACRES

- LEGEND**
-  NEW ASPHALT PAVEMENT
 -  NEW CONCRETE SIDEWALK

- DIMENSION NOTES:**
1. BUILDING & SITE LAYOUT IS DESIGNED WITH A PARALLEL AXIS PERPENDICULAR TO THE NORTH PROPERTY LINE.
 2. ALL PARKING SPACES SHALL BE 10' WIDE UNLESS SHOWN OTHERWISE.
 3. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND RECORD DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
 4. ARCHITECTURAL DRAWINGS SHALL BE REFERENCED FOR ALL BUILDING DIMENSIONS AND FOR ADDITIONAL DETAILING OF SITE SPECIFIC FEATURES, INCLUDING STAIRWAYS, RAMPS, HANDRAILS, DOORWAYS, CANNIES, HANDSICAP, AND ALL GROUND FLOOR SURFACE FEATURES UNDER THE BUILDING FOOT.
 5. ALL PARKING & STRIPPING SHALL MEET THE LATEST FOOT AND MUTCD STANDARDS.



REVISIONS

NO.	DATE	DESCRIPTION	DESIGNED BY	DATE	DESCRIPTION	DESIGNED BY
1	07/17/24	CONSTRUCTION REVISION #				




LJA Engineering, Inc.
645 SW 4th AVENUE, SUITE 220
GAINESVILLE, FLORIDA 32601
352.244.8541 / WWW.LJA.COM

DIMENSION PLAN

PROJECT: TRAILWINDS VILLAGE
THE WILDS - PHASE 3

CLIENT: FRAMEWORK GROUP, LLC
TAMPA, FL



CHRISTOPHER POTTS, PE
FLORIDA LICENSE NO. 73842

DATE: JULY 2024
DRAWN BY: _____
CHKD BY: _____

SHT. **C2.00**

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-0944 Sweet Six

REQUESTED ACTION: Staff recommends approval contingent on resolution of outstanding comments.

CONTRACT: Vendor/Entity:
Effective Date: Termination Date:
Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-0944 Sweet Six
Owner	SWEET SIX PROPERTIES II LLC
Applicant	Aileen Guillen
Acreage	15.06 +/-
Property Location	The subject property is generally located at the southeast corner of the intersection of US 301 and E C 462.
Parcel(s)	D32-028, D32-029, D32-034, and D32-167

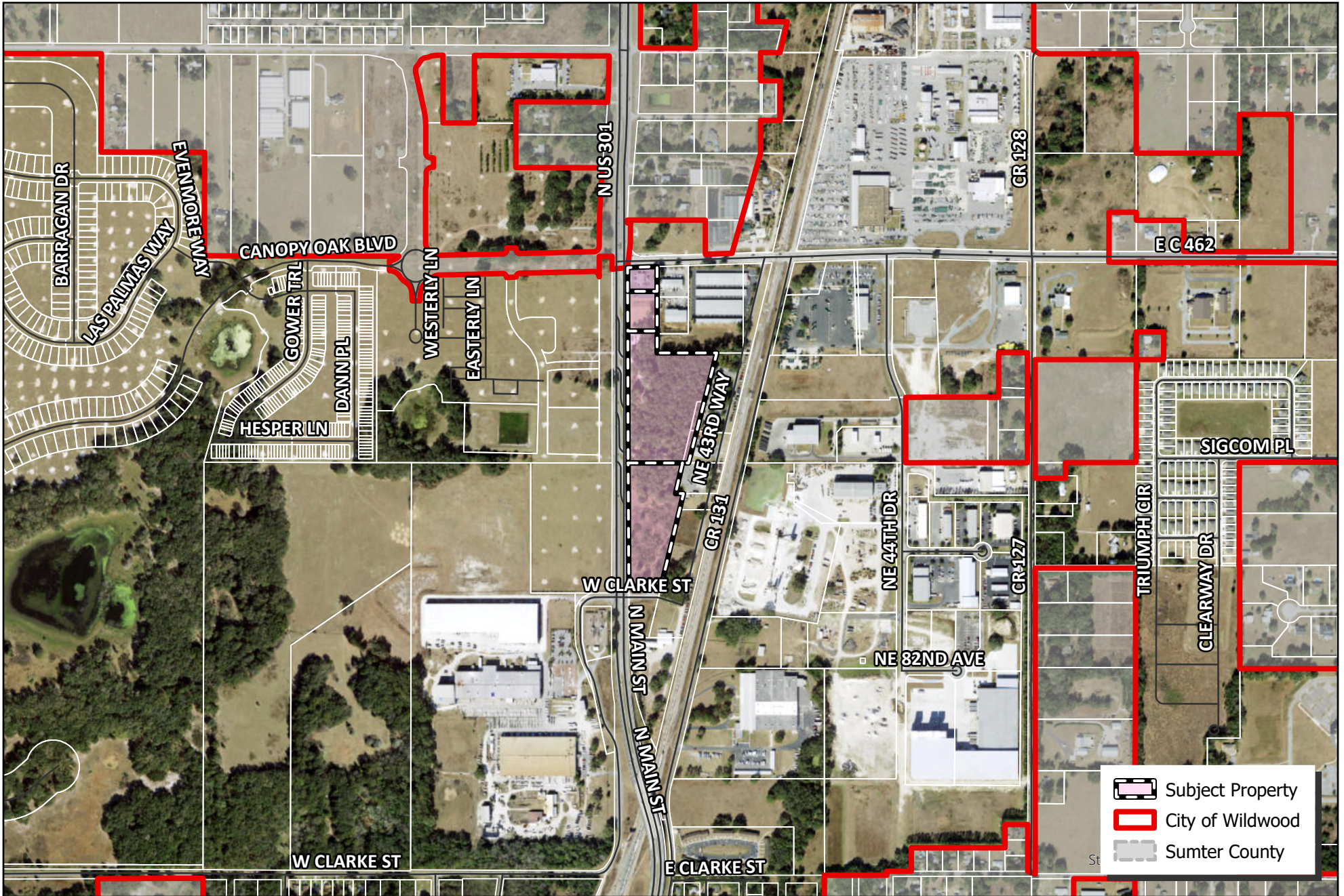
The applicant is seeking a favorable recommendation from the Project Review Committee for the construction of a four-story, 98-unit Hawthorn hotel building, five hundred and ninety-nine (599) parking spaces, including associated infrastructure, on 15.06 acres MOL, as per the attached plans. The project consists of additional future phases to include 70,871 square feet of retail across seven (7) buildings. The subject project, A25-0944, is for the construction of the site and hotel structure only. The retail buildings within Phase 2 will require a separate site plan application for staff to review at time of construction.

As of the writing of this report, the project has outstanding comments from the City Attorney and Fire Plans Examiner regarding the word format legal description and the 8-inch water main that will be servicing more than one fire hydrant. Please see the attached comment review letters. However, the applicant has submitted documentation to address these comments that is still under review by Staff. The applicant has submitted a technical waiver request for a section of the Design District Standards that states flat roof structures should utilize recognizable cornice treatments and be capped by an articulated parapet design that acts as a structural expression of the building facade and its materials. See attached waiver request.

A25-0944 is expected to meet the criteria set fourth within the Land Development Regulations, Design District Standards, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan, subject to the clearing of final comments and approval of the requested technical waiver.



McKenna Page
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-0944
SWEET SIX
 PARCELS D32-028, D32-029, D32-034 & D32-167

MAP 1B
LOCATION
MAP
SEP 2025



SWEET SIX SITE PLAN

CITY OF WILDWOOD, FLORIDA SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST JULY 2025

INFRASTRUCTURE OWNERSHIP NOTE:

ITEMS	OWNER
ROADS AND PARKING	PRIVATE
WATER	CITY OF WILDWOOD WILL OWN UP TO THE WATER METER. WATER MAIN BEYOND THE METER WILL BE PRIVATELY OWNED AND MAINTAINED.
SEWER	CITY OF WILDWOOD WILL OWN FORCEMAIN UP TO THE PROPERTY LINE. FORCEMAIN, SANITARY SEWER, AND LIFT STATION LOCATED INSIDE THE PROPERTY WILL BE PRIVATELY OWNED AND MAINTAINED.
LIFT STATION	PRIVATE
STORMWATER FACILITIES	PRIVATE

OPERATION AND MAINTENANCE INSTRUCTIONS:

SWEET SIX PROPERTIES II LLC
AS REQUIRED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE OPERATIONAL AND MAINTENANCE FACILITIES FOR THIS SITE. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY 18 MONTHS TO DETERMINE THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE STRUCTURES WHEN IT ACCUMULATES TO A POINT AT WHICH CONVEYANCE VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

IN ADDITION, YOU OR YOUR DESIGNATED REPRESENTATIVE SHALL INSPECT THE RETENTION PONDS ON A WEEKLY BASIS FOR THE FORMATION OF SINHOLES. SHOULD A SINHOLE FORM, YOU MUST FOLLOW ALL APPLICABLE PROCEDURES OUTLINED BY THE TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN ON THESE PLANS. AT SUCH TIME, YOU MUST ALSO NOTIFY THE BUREAU WITHIN 48 HOURS OF DISCOVERY OF SAID SINHOLE, AND SUBMIT A DETAILED REPAIR PLAN FOR WRITTEN APPROVAL. WITHIN 30 DAYS OF SAID DISCOVERY, ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THE TIME BASED ON ACTUAL CONDITIONS.

SCOPE OF WORK:

THE PROPOSED PROJECT IS INTENDED TO BE A PHASED DEVELOPMENT. PHASE 1 IS THE ONLY PHASE BEING PROPOSED BY THIS PLAN SET AND THE RELEVANT PERMIT AGENCIES ARE BEING APPLIED FOR PHASE 1 APPROVAL. ALL ADDITIONAL PHASES OF CONSTRUCTION PROPOSED IN THE FUTURE WILL APPLY FOR THE APPROPRIATE PERMIT MODIFICATIONS AT A LATER DATE.

PHASE 1 PROPOSES THE CONSTRUCTION OF ONE HOTEL BUILDING, ONE WET DETENTION STORMWATER FACILITY, THREE INTERCONNECTED DRY RETENTION STORMWATER FACILITIES, FOUR DRIVEWAY ACCESS CONNECTIONS, UNDERGROUND UTILITY INFRASTRUCTURE, STORMWATER CONVEYANCE INFRASTRUCTURE, AND ASSOCIATED PARKING. PHASE 1 IS INTENDING TO CONSTRUCT THE DRIVE ASBLES AND PARKING OF THE ENTIRE SITE, AS WELL AS THE STORMWATER FACILITIES AND CONVEYANCE INFRASTRUCTURE THAT HAS BEEN DESIGN TO ACCOMMODATE THE FINAL BUILD-OUT CONDITION OF THE SITE AND THE SERVICE CONNECTION TO THE HOTEL. SERVICE LINES EXTENDING FROM THE MAIN LINES ARE NOT PROPOSED FOR ANY FUTURE PHASES OF CONSTRUCTION. DURING PHASE 1, ALL BUILDING LOCATIONS DENOTED AS PHASE 2 WILL REMAIN AS GRADED BASE MATERIAL TO THE SPECIFIED ELEVATION IN PREPARATION FOR FUTURE CONSTRUCTION.

PHASE 2 PROPOSES CONSTRUCTING THE RETAIL BUILDINGS DENOTED IN THIS PLAN SET. UPON THIS TIME, THE APPROPRIATE PERMIT MODIFICATIONS WILL BE APPLIED FOR AND THE RELEVANT BUILDING DESIGN DOCUMENTATION WILL BE PROVIDED. THE DESIGN OF THE PHASE 2 BUILDINGS AND UTILITY SERVICE CONNECTIONS HAVE NOT BEEN FINALIZED AT THE TIME OF PHASE 1. NO ADDITIONAL PARKING OR STORMWATER MITIGATION IS REQUIRED TO MEET JURISDICTION DESIGN STANDARDS.

PHASE 3 PROPOSES THE DEMOLITION OF THE SPECIFIED PARKING STALLS AND LANDSCAPE ISLANDS DETAILED IN THIS PLAN SET. AT THIS LOCATION, IT IS PROPOSED TO CONSTRUCT ADDITIONAL RETAIL BUILDINGS. UPON THIS TIME, THE APPROPRIATE PERMIT MODIFICATIONS WILL BE APPLIED FOR AND THE RELEVANT BUILDING DESIGN DOCUMENTATION WILL BE PROVIDED. THE DESIGN OF THE PHASE 3 BUILDINGS AND UTILITY SERVICE CONNECTIONS HAS NOT BEEN FINALIZED AT THE TIME OF PHASE 1. ALL APPROPRIATE DESIGN CRITERIA WILL BE MET FOR EACH JURISDICTION AS EACH PHASE OF CONSTRUCTION IS APPLIED FOR.

CONTACT INFORMATION:

OWNER: SWEET SIX PROPERTIES II LLC 4811 NW 113TH CT CORAL FL 33157 MOHAMMED MURAD, P.E. (786) 395-2714	CIVIL ENGINEERING CONSULTANT: KIMBLEY HORN AND ASSOCIATES, INC. 1700 SE 17TH ST, SUITE 200 OCALA FL 34747 MOHAMMED MURAD, P.E. (352) 458-3000	SURVEYOR: CLYDE FARNER BARLEY, INC. 4420 SW 73RD AVE MIAMI, FL 33155 (786) 306-2714	APPLICANT: THE 183 TEAM 4101 SW 73RD AVE MIAMI, FL 33155 (786) 306-2714
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UTILITY PROVIDERS:

CITY OF WILDWOOD: 1200 INDUSTRIAL DR WILDWOOD, FL 34785 ANDREW MARTIN (852) 303-1348	SEWER/DRAINAGE: 3712 E BROWNLAND ST OCALA, FL 34741 KURT J. GIDD (352) 401-6555	ZAVO GROUP: 1521 S MAIN ST BUTTE, MT 59701 HENRY KLOUGAR (407) 406-6510	WASTE MANAGEMENT: 2705 E 4TH ST WILDWOOD, FL 34785 DANE KIRKING (852) 684-3142
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GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THIS PROPOSED DEVELOPMENT SHALL BE FOR A HOTEL AND INCLUDE THE CONSTRUCTION OF 1 BUILDING ALONG WITH ACCOMPANYING ASPHALT PARKING AND CONCRETE SIDEWALK TOGETHER WITH ALL REQUIRED INFRASTRUCTURE IMPROVEMENTS AS SHOWN HEREON. FUTURE PHASES ARE SHOWN BELOW.

PHASES:

- PHASE 1: PROPERTY INFRASTRUCTURE AND HOTEL BUILDING, GRADED BUILDING PADS WILL BE SHOWN FOR FUTURE RETAIL BUILDINGS.
- PHASE 2: RETAIL BUILDINGS.
- PHASE 3: (22-31) SF RETAIL BUILDING ON PAVED PARKING LOT.

STANDARD NOTES:

- REPRODUCTION OF THESE PLANS IS NOT VALID UNLESS SIGNED BY THE ENGINEER IN RESPONSIBLE CHARGE AND SEALED WITH RAISED EMBOSSED SEAL.
- COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN SET ASIDE BY THE ENGINEER. YOU WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE CITY OF WILDWOOD LAND DEVELOPMENT CODE EXCEPT AS INDICATED THAT THE RELEVANT PROVISIONS WILL BE PROTECTED FROM STORMWATER DAMAGE AS A RESULT OF THIS PROPOSED DEVELOPMENT THAT THE DRAINAGE FACILITIES INCORPORATED HEREON ARE SUFFICIENT IN SIZE AND THAT SIGHT DISTANCE AT DRIVEWAYS COMPLY WITH A.A.S.H.T.O. AND THE F.O.D.T. SITE IMPACT HANDBOOK. I FURTHER CERTIFY THAT THIS PLAN MEETS ALL REQUIREMENTS OF THE D.E.P. AND S.W.F.W.M.D.

AGENCY PERMITS:

CITY OF WILDWOOD ONGOING
S.W.F.W.M.D. ONGOING
FOOT ONGOING

STATEMENT OF OWNERSHIP & CERTIFICATION

THIS IS TO HEREBY CERTIFY THAT WE, OUR SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS DESCRIBED IN THE OPERATION AND MAINTENANCE INSTRUCTIONS, AND AS SHOWN ON THESE PLANS.

CONCURRENCY DEFERRAL NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVE ANY PUBLIC FACILITY CAPACITY. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

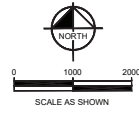
SURVEY:

CONTACT: CLYDE FARNER BARLEY, INC.
4401 SW 69RD
WILDWOOD, FL 34785
PHONE: (852) 748-3126

NOTE: SEE TOPOGRAPHIC SURVEY BY CLYDE FARNER BARLEY, INC. FOR BEARINGS, DISTANCES, MONUMENTATION, AND SURVEYOR'S CERTIFICATION.



VERTICAL DATUM - NAVD 1988



- C1.0 - COVER SHEET
- C2.0 - GENERAL NOTES AND SPECIFICATIONS
- C3.0 - EXISTING CONDITIONS
- C4.0 - MASTER DEMOLITION PLAN
- C4.1 - DEMOLITION PLAN
- C5.0 - MASTER HORIZONTAL GEOMETRY PLAN
- C5.1 - HORIZONTAL GEOMETRY PLAN
- C5.2 - HORIZONTAL GEOMETRY PLAN
- C5.3 - MASTER PAVING, GRADING, AND DRAINAGE PLAN
- C6.0 - HORIZONTAL GEOMETRY PLAN
- C6.1 - PAVING, GRADING, AND DRAINAGE PLAN
- C6.2 - MASTER UTILITY PLAN
- C7.0 - MASTER UTILITY PLAN
- C7.1 - UTILITY PLAN
- C7.2 - UTILITY PLAN
- C8.0 - UTILITY PLAN DETAILS
- C9.0 - EROSION CONTROL PLAN
- C10.0 - CONSTRUCTION DETAILS
- C10.1 - CONSTRUCTION DETAILS
- C10.2 - MASTER DRIVEWAY AND FOOT SHEET
- C10.3 - DRIVEWAY SHEET
- C12.0 - FOOT NORTH DRIVEWAY SHEET
- C12.1 - CLARKE STREET DRIVEWAY SHEET
- C13.0 - TRUCK TURN EXHIBIT
- B01 - BOUNDARY & TOPOGRAPHIC SURVEY
- L001 - LANDSCAPE PLAN
- L002 - LANDSCAPE PLAN
- L003 - LANDSCAPE PLAN
- L004 - LANDSCAPE PLAN
- L005 - LANDSCAPE PLAN
- P1.0 - PHOTOMETRIC PLAN
- EX-01 - TREE SURVEY EXHIBIT
- EX-02 - TREE SURVEY EXHIBIT

LEGAL DESCRIPTION:

SEE SHEET C03

SITE DATA:

PROJECT NAME SWEET SIX SITE PLAN
PROJECT LOCATION 8271 US 901
WILDWOOD, FL 34785
OWNER SWEET SIX PROPERTIES II, LLC
4101 SW 73RD AVE
MIAMI, FL 33155

ZONING (LAND USE) C-2A-C-3
FUTURE LAND USE COMMERCIAL
PARCEL ACCT. NO. 030-038-030-030-034, AND 030-187
PROJECT AREA 686,600 S.F. = 15.58 ACRES
IMPERVIOUS AREA 416,433 S.F. = 63.48% (POST-DEVELOPMENT)

FLOOD ZONE X
PHASE 1 PROPOSED BUILDINGS SIZE 14,848 S.F.
PROPOSED BUILDINGS HEIGHT 8.0 FT
PROPOSED BUILDINGS NUMBER OF STORES 4 STORES
BUILDING SETBACKS:
FRONT, SIDE, AND REAR VARIES (SEE SHEETS C6.1 & C.5)

PHASES OF CONSTRUCTION:

PHASE 1:	C-2A-C-3
NUMBER OF BUILDINGS	1 HOTEL BUILDING
NUMBER OF UNITS	98 UNITS AND 1 PER EMPLOYEE
RETAIL AREA	3,816 S.F.
HOTEL PARKING REQUIRED	1 PER UNIT AND 1 PER EMPLOYEE
RETAIL PARKING REQUIRED	4 SPACES PER 1,000 S.F. OF RETAIL
ADA PARKING REQUIRED	1% OF TOTAL PARKING (FOR 92 TO 1,000 PARKING SPACES)
ADA PARKING PROVIDED	12 SPACES
TOTAL PARKING PROVIDED	105 HOTEL SPACES
STANDARD PARKING PROVIDED	294 SPACES
COMPACT PARKING PROVIDED	291 SPACES
ADA PARKING PROVIDED	14 SPACES
TOTAL PARKING PROVIDED	599 SPACES
PHASE 2:	C-2A-C-3
NUMBER OF BUILDINGS	7 RETAIL BUILDINGS
RETAIL AREA	70,871 S.F.
(NO ADDITIONAL PARKING IS TO BE CONSTRUCTED)	
ADA PARKING REQUIRED	12 SPACES
TOTAL PARKING REQUIRED	284 RETAIL SPACES & 105 HOTEL SPACES
TOTAL PARKING PROVIDED	389 SPACES
STANDARD PARKING PROVIDED	294 SPACES
COMPACT PARKING PROVIDED	291 SPACES
ADA PARKING PROVIDED	14 SPACES
TOTAL PARKING PROVIDED	599 SPACES

PHASE 3:
NUMBER OF BUILDINGS 10 TO BE DETERMINED
MAXIMUM ALLOWABLE RETAIL AREA 22,131 S.F.

(NO ADDITIONAL PARKING IS TO BE CONSTRUCTED)	
COMPACT SPACES PROPOSED TO BE DEMOLISHED	58 SPACES
ADA PARKING REQUIRED	12 SPACES
TOTAL PARKING REQUIRED	372 RETAIL SPACES & 105 HOTEL SPACES
TOTAL PARKING PROVIDED	477 SPACES
STANDARD PARKING PROVIDED	294 SPACES
COMPACT PARKING PROVIDED	238 SPACES
ADA PARKING PROVIDED	14 SPACES
TOTAL PARKING PROVIDED	544 SPACES

LANDSCAPE CALCULATION:

TOTAL PAVEMENT AREA 243,051 S.F.
REQUIRED LANDSCAPE AREA 34,305 S.F.
PROVIDED LANDSCAPE AREA (10% OF PAVED PARKING AND ENTRYPWAY PER 608 CHAPTER 104)(4) = 17,657 S.F.

IMPERATIVE:
IT IS THE SURVEYOR'S AND CONTRACTOR'S RESPONSIBILITY TO HAVE THE MOST CURRENT PLANS DURING CONSTRUCTION. CONTACT PROJECT ENGINEER, PRIOR TO LAYOUT OF IMPROVEMENTS, TO OBTAIN COORDINATE DATA.



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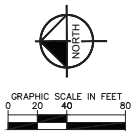
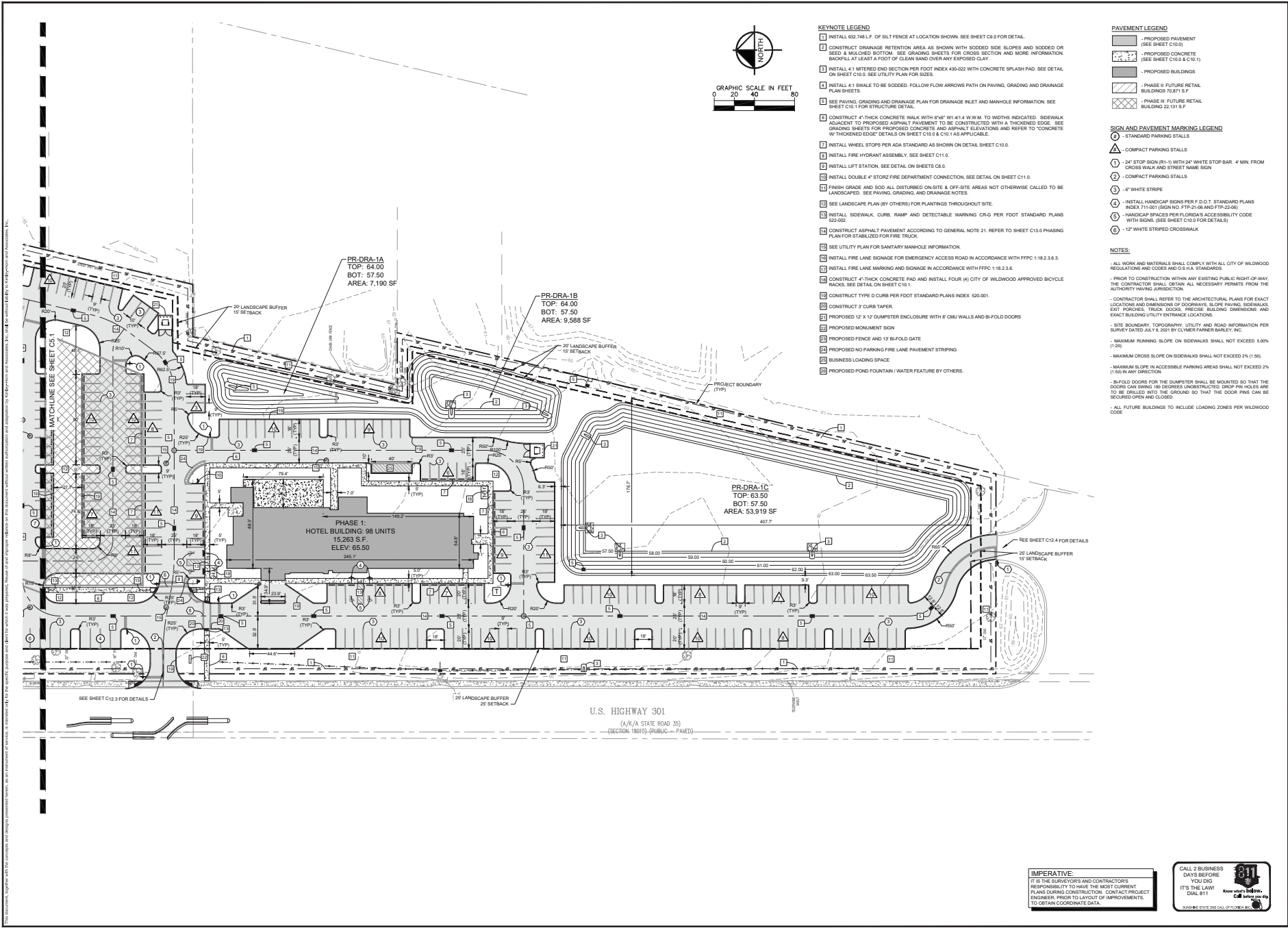
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- KEYNOTE LEGEND**
- INSTALL 60" DIA. F. OF SILT FENCE AT LOCATION SHOWN. SEE SHEET C10.0 FOR DETAIL.
 - CONSTRUCT DRAINAGE RETENTION AREA AS SHOWN WITH SLOPED SIDE SLOPES AND SLOPED OR SEED & MULCHED BOTTOM. SEE GRADING SHEETS FOR CROSS SECTION AND MORE INFORMATION. SIDEWALK AT LEAST 4" FOOT OF CLEAN SAND OVER ANY EXPOSED CLAY.
 - INSTALL 4" METRED END SECTION PER FOOT INLET 430-022 WITH CONCRETE SPLASH PAD. SEE DETAIL ON SHEET C10.0. SEE UTILITY PLAN FOR SIZES.
 - INSTALL 4" SWALE TO BE SLOPED. FOLLOW FLOW ARROWS PATH ON PAVING, GRADING AND DRAINAGE PLAN SHEETS.
 - SEE PAVING, GRADING AND DRAINAGE PLAN FOR DRAINAGE INLET AND MANHOLE INFORMATION. SEE SHEET C10.1 FOR STRUCTURE DETAIL.
 - CONSTRUCT 4" THICK CONCRETE WALK WITH 4" W. 41.4 W.W.M. TO WIDTHS INDICATED. SIDEWALK ADJACENT TO PROPOSED ASPHALT PAVEMENT TO BE CONSTRUCTED WITH A THICKENED EDGE. SEE GRADING SHEETS FOR PROPOSED CONCRETE AND ASPHALT ELEVATIONS AND REFER TO "CONCRETE W/ THICKENED EDGE" DETAIL ON SHEET C10.0 & C10.1 AS APPLICABLE.
 - INSTALL WHEEL STOPS PER ADA STANDARD AS SHOWN ON DETAIL SHEET C10.0.
 - INSTALL FIRE HYDRANT ASSEMBLY. SEE SHEET C11.0.
 - INSTALL LIFT STATION. SEE DETAIL ON SHEETS C8.0.
 - INSTALL DOUBLE 4" STORZ FIRE DEPARTMENT CONNECTION. SEE DETAIL ON SHEET C11.0.
 - FINISH GRADE AND SOO ALL DISTURBED ON-SITE & OFF-SITE AREAS NOT OTHERWISE CALLED TO BE LANDSCAPED. SEE PAVING, GRADING, AND DRAINAGE NOTES.
 - SEE LANDSCAPE PLAN (BY OTHERS) FOR PLANTINGS THROUGHOUT SITE.
 - INSTALL SIDEWALK, CURB, RAMP AND DETECTABLE WARNING CR-G PER FOOT STANDARD PLANS 520-002.
 - CONSTRUCT ASPHALT PAVEMENT ACCORDING TO GENERAL NOTE 21. REFER TO SHEET C13.0 PHASING PLAN FOR STABILIZED FOR FIRE TRUCK.
 - SEE UTILITY PLAN FOR SANITARY MANHOLE INFORMATION.
 - INSTALL FIRE LANE SIGNAGE FOR EMERGENCY ACCESS ROAD IN ACCORDANCE WITH FPPC 118.2.3.6.3.
 - INSTALL FIRE LANE MARKING AND SIGNAGE IN ACCORDANCE WITH FPPC 118.2.3.6.
 - CONSTRUCT 4" THICK CONCRETE PAD AND INSTALL FOUR (4) CITY OF WILDLWOOD APPROVED BICYCLE MARKS. SEE DETAIL ON SHEET C10.1.
 - CONSTRUCT TYPE D CURB PER FOOT STANDARD PLANS INDEX 530-001.
 - CONSTRUCT 3" CURB TAPER.
 - PROPOSED 12' X 12' DUMPSTER ENCLOSURE WITH 8" CMU WALLS AND BI-FOLD DOORS.
 - PROPOSED MONUMENT SIGN.
 - PROPOSED FENCE AND 12' BI-FOLD GATE.
 - PROPOSED NO PARKING FIRE LANE PAVEMENT STRIPING.
 - BUSINESS LOADING SPACE.
 - PROPOSED POND FOUNTAIN / WATER FEATURE BY OTHERS.

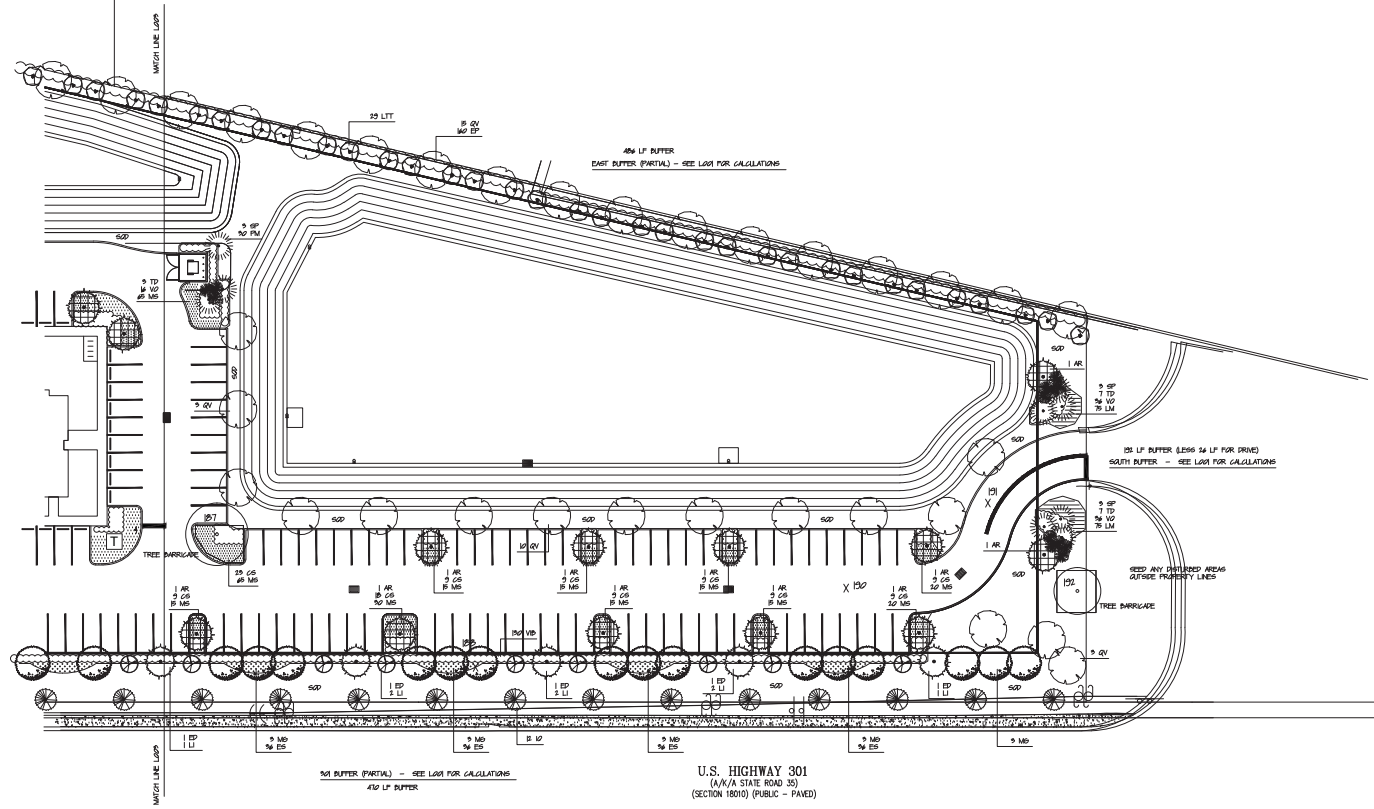
- PAVEMENT LEGEND**
- PROPOSED PAVEMENT (SEE SHEET C10.0)
 - PROPOSED CONCRETE (SEE SHEET C10.0 & C10.1)
 - PROPOSED BUILDINGS
 - PHASE II: FUTURE RETAIL BUILDING 70,871 S.F.
 - PHASE III: FUTURE RETAIL BUILDING 22,313 S.F.
- SIGN AND PAVEMENT MARKING LEGEND**
- STANDARD PARKING MARKINGS
 - COMPACT PARKING STALLS
 - 24" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR. 4" MIN. FROM CROSSWALK AND STREET NAME SIGN
 - COMPACT PARKING STALLS
 - 4" WHITE STRIPE
 - INSTALL HANDICAP SIGNS PER F.O.T. STANDARD PLANS INDEX 711-001 (SIGN NO. FTR-21-06 AND FTR-22-06)
 - HANDICAP SPACES PER FLORIDA'S ACCESSIBILITY CODE WITH SIGNS. (SEE SHEET C10.0 FOR DETAILS)
 - 12" WHITE STRIPED CROSSWALK

- NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF WILDLWOOD REGULATIONS AND CODES AND D.E.H.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY ESTABLISHED PUBLIC RIGHT-OF-WAY THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORTALS, TRUCK DOORS, PROPOSED BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED MAY 4, 2021 BY CONNER FARMER BARLEY, INC.
 - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.0% (1:20).
 - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:50).
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:50) IN ANY DIRECTION.
 - BI-FOLD DOORS FOR THE DUMPSTER SHALL BE MOUNTED SO THAT THE DOORS CAN SWING 180 DEGREES UNRESTRICTED. DROP PIN HOLES ARE TO BE DRILLED INTO THE GROUND SO THAT THE DOOR PINS CAN BE SECURED OPEN AND CLOSED.
 - ALL FUTURE BUILDINGS TO INCLUDE LOADING ZONES PER WILDLWOOD CODE.

<p>Kimley-Horn</p> <p>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, Ocala, FL 34711 PHONE: 352-238-2000 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106</p>	<p>LICENSURE PROFESSIONAL NICHOLENNA MURDO P.E. SCALE: AS SHOWN DE: 00000000 EXPIRES: 12/31/2025 FIDELITY: 91243</p>	<p>DATE: JULY 2025 DRAWN BY: KIM CHECKED BY: KIM</p>	<p>DATE: _____ BY: _____</p>
	<p>HORIZONTAL GEOMETRY PLAN</p>		
<p>SWEET SIX SITE PLAN PREPARED FOR SWEET SIX PROPERTIES II LLC</p>			<p>FLORIDA</p>
<p>IMPERATIVE: IT IS THE SURVEYORS AND CONTRACTORS RESPONSIBILITY TO HAVE THE MOST CURRENT PLANS DURING CONSTRUCTION. CONTACT PROJECT ENGINEER, PRIOR TO LAYOUT OF IMPROVEMENTS, TO OBTAIN COORDINATE DATA.</p>			<p>CALL 2 BUSINESS DAYS BEFORE YOU DO IT'S THE LAW! DIAL 811</p>
<p>SHEET NUMBER C5.2</p>			<p>CITY OF WILDLWOOD</p>

LANDSCAPE MATERIAL LIST

CANOPY TREES		
AR	AVICELA FLORIDA FLAME	FLORIDA WAXE
LD	LEU. SPICA	ANDROMEDA
MD	MIMOSA MANRIANA 'BROWN BEAUTY'	SOUTHERN MAGNOLIA
OV	OLEA FLORIDANA	LIVE OAK
UNDERSTORY TREES		
ED	ELAEAGARIS OLIVE	JAPANESE ELDERBERRY
IV	LEU. VOUTROIA TROUSSE	WESTERN HOLLY
LI	LAGERSTRÖMIA INDICA 'MAGNIFICENT'	GRAPE WINDLE
LIT	LEUCISTOMA JAPONICA TREE-TYPE	FRUIT TREE
MY	MIRICA ZEPHYRA	WAX WINDLE
PF	PAEONIA MOUTONII	FLORIDA PALM
SHRUBS		
CS	CAMELLIA JAPONICA	COMMON CAMELLIA
CS	CAMELLIA SARGENTII	'SWEEP' CAMELLIA
DE	DICENTRA DEXTERA	GOLDEN DEXTERA
EP	ELAEAGARIS PARVIFLORA	SELECTION
ES	ERAGROSTIS SPICATISSIMA	PURPLE LOVE GRASS
FA	FORSYTHIA	JAVA PLANT
FP	FORSYTHIA	PIKE BUSH
IP	IRIS	IRIS
LE	LEU. SPICA	WESTERN HOLLY
LI	LAGERSTRÖMIA INDICA	JAPANESE WAX
NO	NOELA	FLORIDA WAXE
PA	PAEONIA	FLORIDA WAXE
RE	REYNOLDSIA	WAX WINDLE
TD	TRIFOLIUM	WAX WINDLE
VB	VERBENA	SWEET VERBENA
GRASS/COVERS		
AN	ANNUIS	SEASONAL 4" POT'S SET 4" o.c.
AR	ANDROMEDA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
AV	AVICELA	1 GAL. MIN. 5" - 7" SPREAD FULL SET 30" o.c.
CS	CAMELLIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
DE	DICENTRA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
EP	ERAGROSTIS	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
FA	FORSYTHIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
FP	FORSYTHIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
IP	IRIS	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
LE	LEU. SPICA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
LI	LAGERSTRÖMIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
NO	NOELA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
PA	PAEONIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
RE	REYNOLDSIA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
TD	TRIFOLIUM	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.
VB	VERBENA	1 GAL. MIN. 1" - 3" SPREAD FULL SET 30" o.c.



U.S. HIGHWAY 301
(A/K/A STATE ROAD 35)
(SECTION 18010) (PUBLIC - PAVED)

SCALE 1" = 30'

Richard A Kesselring
Digitally signed by Richard A Kesselring
Date: 2025.05.20 15:43:26 -04'00'

RICHARD A KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #958

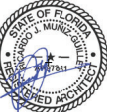
NO.	DATE	CITY	COMMENTS	BY
1	5/20			

DATE:	2 / 25
SCALE:	1" = 30'
JOB NO.:	

ENVIRONMENTAL DESIGN
ANDY KESSELRING ARCHITECT
11111 W. WINDY HILL
TALLAHASSEE, FLORIDA 32310
LANDSCAPE ARCHITECTURE, SITE PLANNING,
OUTDOOR COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

LANDSCAPE PLAN - SOUTH
SWEET SIX WILDWOOD
WILDWOOD FLORIDA

SHEET 1204 of 1204



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	ISSUED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	COMMENTS R2



ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ACCESSIBLE TO SERVICE.
- GO TO PROVIDER A MATCH WALL SHOWING A FULL WINDOW INSTALL WITH FINISHING. SEE CALL OUT FOR WINDOW SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW. ALL EXTERIOR VENTS, SHELLS, MECHANICAL ROOFINGS AND EXTERIOR FLOWERS MUST BE COORDINATED TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
- ALL READING POINTS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLANS. SO IT IS THE ELEVATOR RESPONSIBILITY TO SUBMIT THE ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THESE APPROVED DRAWING FOR THE PERMIT PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THIS SET, IT WILL DELAY THE SERVICE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONTRACTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDES WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA AVAILABLE TO COVER THE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN LOCATION. AREA AVAILABLE TO COVER THE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN LOCATION. AREA AVAILABLE TO COVER THE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN LOCATION.
- ALL SIGNAGE TO BE COORDINATED WITH THE ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.
- FOR SIGNAGE ACCESSIBILITY TO INTERVIEW OF ALL PARAPETS WHERE SIGNAGE ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. THESE PARAPETS MUST BE WEATHER PROOF. ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MUST BE WEATHER PROOF.
- ELECTRICAL OR WIRE SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS BLOCKED PERITE TRANSFORMERS COORDINATED AND INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

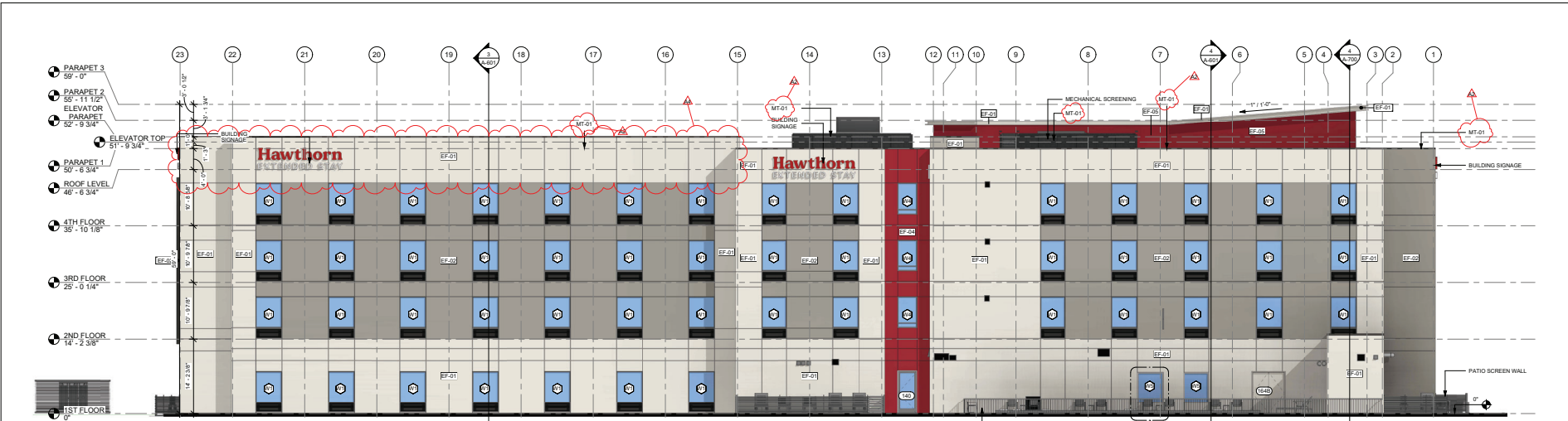
BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

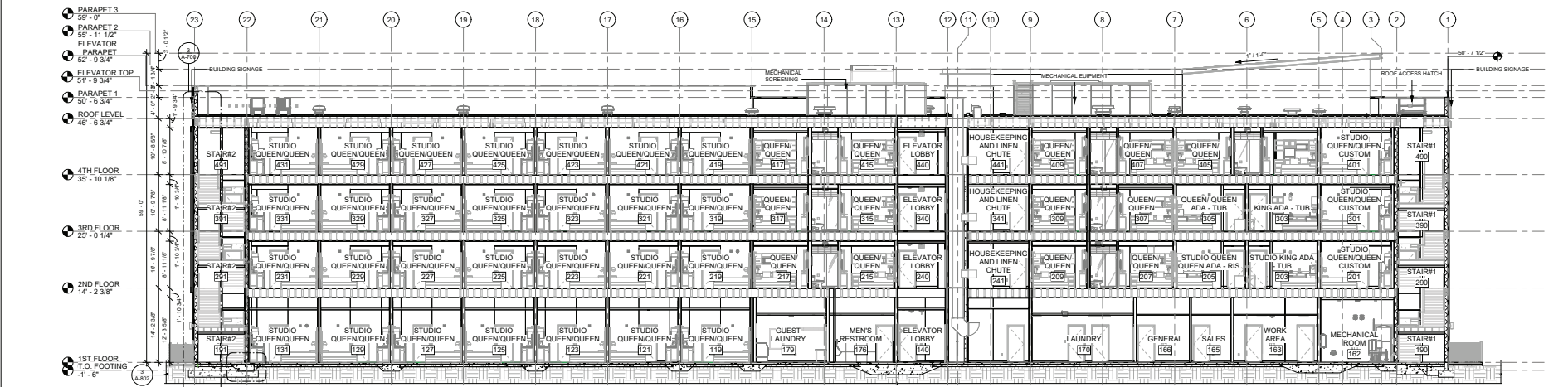
EXT. FINISH LEGEND				EXT. FINISH LEGEND			
MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-05	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7008 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW7088 NITRA V SPOON		
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW9170 ACIER	MT-01	METAL	BRASS SWATCHES FINE SW7048 URBANE BRONZE		
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7048 URBANE BRONZE	TL-01	CELESTON RAINSCREEN	LEAD PAMBO		
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7588					



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	SUBMITTED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	COMMENTS R2



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADJACENT TO PROPERTY LINE.
- GO TO PROVIDER A MATCH WALL SHOWING A FULL WINDOW INSTALL WITH FINISHING. SEE CALLS AND PROFESSIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW. ALL EXTERIOR WALLS, SHELLS, MECHANICAL ROOMS AND EXTERIOR FLOORS SHALL BE COORDINATED WITH THE SIGN COMPANY. ALL FINISHING SHALL BE COORDINATED WITH THE SIGN COMPANY.
- ALL SIGNAGE PERMITS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLANS, SO IT IS THE ARCHITECT'S RESPONSIBILITY TO SUBMIT THE PERMIT APPLICATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THESE APPROVED DURING THE SIGN REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE SIGNAGE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONTRACTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR OR TRIM BLANDED WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWG. FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN AS-BUILT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA SHALL COVER FULL LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTIONS BY CONTRACTOR TO SIGN COMPANY.
- PRIMARY ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNAGE IS LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. THESE PARAPETS MUST BE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS INSTALLED.
- ALL SIGNAGE SHALL BE INSTALLED WITH SIGNAGE ON EXTERIOR WALLS. MUST HAVE ELECTRICAL PENETRATIONS AND/OR VENT TRANSFORMERS COORDINATED AND INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWG. FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

EXT. FINISH LEGEND				EXT. FINISH LEGEND			
MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7005 PEARL WHITE		EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW7008 WITH V-GROOVING	
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW9170 ACER		MT-01	METAL	BLACK SANDPEBBLE FINE SW7048 URBANE BRONZE	
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7048 URBANE BRONZE		RF-01	ROOFING	LEEDS BAMBOO RAINSCREEN	
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7588					



WILDWOOD FLORIDA

City of Wildwood
Project: A25-0944 Sweet Six
Date: 09/4/2025

*****PLEASE NOTE: Two hard copies of plans, along with the electronic copy are required with every submittal. Partial submittals are not accepted.*****

CITY ATTORNEY

1. City Attorney reserve the right to make further comments upon resubmittal.
 - A. **Response: Acknowledged.**
 - I. **Standing comment.**
 2. **New comment: The legal description on the Word document and site plan does not match the legal description on the boundary survey as noted below for parcel ID D32-167. Please update as needed.**
 - A. Word document and site plan
THENCE RUN N00°08'39"W ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 254.80 TO THE POINT OF BEGINNING.
 - B. Survey:
NORTH HIGHWAY NO. 301; THENCE RUN N00°08'39"W ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 254.80 FEET TO THE POINT OF BEGINNING.

FIRE

1. Provide construction type and fire flow for each structure per FFPC 1:Table 18.4.5.2.1, show on plans. ****Construction type and fire flow for all structures (including proposed) not provided on site plan.****
2. Dead-end, 8-inch water main cannot serve more than one hydrant per Wildwood LDR 6.2(C)(5). Existing design is not in compliance with Wildwood LDR, provide a letter from the City of Wildwood Utilities approving the design. **** Not addressed.****



City of Wildwood
Development Services Department
100 North Main Street
Wildwood, FL 34785
Tel: 352.330.1334
Fax: 352.330.1338
www.wildwood-fl.gov

**PROJECT REVIEW COMMITTEE
TECHNICAL STANDARDS WAIVER REQUEST**

PROJECT NAME: _____

PROJECT NUMBER: _____

1. Briefly describe your waiver request:

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver:

3. Please provide the justification for your waiver request:

Name (print): _____

Date: _____

Signature: _____