



PLANNING & ZONING BOARD - CITY OF WILDWOOD
Special Magistrate – Lindsay C.T. Holt

Agenda
Regular Meeting
October 7, 2025 2:15 PM
City Hall Commission Chamber
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

- 1. Planning & Zoning Regular Meeting September 02, 2025, at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

- 1. A25-3304 - RZ - 5474 Williamsburg Ln.**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

Parcel G16F001

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from RPUD (City) to MHP (City) for the parcel listed above on 0.21 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-3403 (O2025-53).

Staff recommends approval of O2025-54 to be forwarded to the City Commission for further action.

2. **A25-3309 - RZ - 64 Robin Rd.**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

Parcel G22AT021

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (Sumter County) and MHP (City) for the parcel listed above on 0.13 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-3308 (O2025-48).

Staff recommends approval of O2025-49 to be forwarded to the City Commission for further action.

3. **A25-0944 - SP - Sweet Six**

Parcels D32-028, D32-029, D32-034, and D32-167

The applicant is seeking a favorable recommendation from the Planning and Zoning Board for the construction of a four-story, 98-unit Hawthorn hotel building, five hundred and ninety-nine (599) parking spaces, including associated infrastructure, on 15.06 acres MOL, as per the attached plans. **The Project Review Committee recommends approval contingent on resolution of outstanding comments.**

4. **A25-1564 - SP - Plant Expansion, Charlotte Pipe and Foundry**

Parcel D29-052

The applicant is seeking a favorable recommendation from the Special Magistrate acting as the Planning and Zoning Board for the construction of a 54,675 sq. ft. expansion to Charlotte Pipe and Foundry with an additional 80,080 sq. ft. outdoor pipe storage area, and 28,125 sq. ft. truck staging expansion, and associated infrastructure, as per the attached plans. **Staff recommends approval contingent upon clearing of the comments.**

5. **A25-3224 - SE - Christian Brothers Auto**

Parcel G05-183

The applicant is seeking Special Exception approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for an automotive repair shop on the parcel listed above, zoned CMU. The proposed 5,372 SF automotive

repair shop will range from services such as, but not limited to, engine repair, transmission services, tune ups, battery replacement, and tire rotating, balancing, or replacing. These services are conducted within enclosed service bays. The automotive repair shop is proposed within the northwest section of the property. **Staff recommends approval.**

V. ADJOURNMENT

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

October 7, 2025 2:15 PM

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Planning & Zoning Regular Meeting September 02, 2025, at 2:15 PM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PLANNING & ZONING BOARD
 CITY OF WILDWOOD, FLORIDA
 REGULAR MEETING
 September 2, 2025 2:15 PM
 CITY HALL COMMISSION CHAMBER

(meeting taped)

I. CALL TO ORDER: Planning & Zoning Board

Attendee Name	Title	Status
Lindsay C.T. Holt	Special Magistrate	Present
Wendy Then	Assistant Development Services Director	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present
Jessica Barnes	City Clerk	Present
Jennifer Hutchins	Lieutenant	Present

Special Magistrate Holt brought the meeting to order at 2:10 p.m. and explained the quasi-judicial process of the meeting. She then proceeded with the swearing-in of city staff and audience members.

II. APPROVAL OF SUMMARY MINUTES

1. Planning & Zoning Regular Meeting August 05, 2025, at 2:15 PM.

Special Magistrate Holt saw no revisions necessary and approved the summary minutes for the August 5, 2025, meeting.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

III. OLD BUSINESS

None.

IV. NEW BUSINESS

1. A25-2847 (RZ) St. Vincent De Paul Church Expansion

Special Magistrate Holt read aloud case number A25-2847 (RZ) St. Vincent De Paul Church Expansion, Ordinance O2025-40. Planner Page presented the request for a Zoning Map Amendment to change the zoning district from A10C & RR5C (Sumter County) to Institutional (City) for D32-069, a 35.04-acre parcel. The owner/applicant was present but did not wish to

speak. No public comments were made on this item. Special Magistrate Holt recommended approval of Ordinance O2025-40 to be forwarded to the City Commission for further action.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

2. A25-0055 - SP - Tri-County Heart

Special Magistrate Holt read aloud case number A25-0055 - SP - Tri-County Heart. Planner Page presented the site plan for the construction of a 5,098 square foot medical building on G16M004, a 0.7-acre parcel. Keith Riddle, the engineer of record for the project, was present to answer questions. No public comments were made on the item. Special Magistrate Holt recommended approval of the site plan for case A25-0055 to be forwarded to the City Commission for further action.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

3. A25-0900 - SP - Twistee Treat

Special Magistrate Holt read aloud case number A25-0900 - SP - Twistee Treat. Planner Lammers presented the site plan for the construction of a 583 square foot Twistee Treat ice cream shop on G04-055C, a 0.52-acre parcel. The owner/applicant was not present. No public comments were made on the item. Special Magistrate Holt recommended approval of the site plan for case A25-0900. to be forwarded to the City Commission for further action.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

4. A25-3016 (SE) Circle K at Twisted Oaks

Special Magistrate Holt read aloud case number A25-3016 (SE) Circle K at Twisted Oaks. Planner Page presented the request for a Special Exception to allow a travel center (Circle K) on a portion of parcel D31A218, consisting of approximately 3.17 acres and zoned C-3. The owner/applicant was not present. Resident Thomas Winchester provided public comment. He expressed concerns about the project's impact on traffic, hours of operation, and lighting, and requested more information about these aspects of the project. Special Magistrate Holt recommended approval of the Special Exception for case A25-3016.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

5. A25-2786 - Rezoning - 5341 Lexington Circle

Special Magistrate Holt read aloud case number A25-2786 - Rezoning - 5341 Lexington Circle, Ordinance O2025-43. Assistant Development Services Director Then presented the request for a Zoning Map amendment to change the zoning district from RPUD (Sumter County) to MHP (City) for G16D003, a 0.115-acre parcel. The owner/applicant was not present. No public comments were made on the item. Special Magistrate Holt recommended approval of Ordinance O2025-43 to be forwarded to the City Commission for further action.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

V. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 2:33 p.m.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

APPEAL: NECESSITY OF RECORD.

SEAL

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA

Date

Lindsay C.T. Holt,
Special Magistrate
City of Wildwood, Florida

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-3304 - RZ - 5474 Williamsburg Ln.

REQUESTED ACTION: Staff recommends approval of O2025-54 to be forwarded to the City Commission for further action.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case #	A25-3404
Ordinance #	O2025-54
Owner/Applicant	James Milton Hampton and Susan M. Stoltz
Property Location	The property is generally located on the east side of Williamsburg Ln., approximately 0.36 miles south of E SR 44.
Parcel Number	G16F001
Date	10/7/2025

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from RPUD (City) to MHP (City) for the parcel listed above on 0.21 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-3403 (O2025-53).

ANALYSIS:

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to MHP should be granted based on the following criteria:

a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation of Mobile Home Park (MHP) and the intent of the Comprehensive Plan as stated in FLU Policy 1.2.8.

b) The existing land use pattern of the surrounding area;

The land use pattern of the surrounding area is residential. The proposed MHP zoning designation will serve to establish the character of existing neighborhoods as more single-dwelling units annex into the City and transition from Sumter County's jurisdiction into the City of Wildwood as a result of the Joint Planning Area agreement.

c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc;

Schools: There is no expectation of a generation of school-aged children as the property is located within an age-restricted community. However, the Sumter County School District

has indicated that there are school seats available at this time.

Potable Water & Sewer: The subject property is currently serviced by City Utilities.

Streets: The property has access off Williamsburg Ln. The applicant has applied for an exemption for the TIA submittal which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day. Section 1.f of the Inter-Local Service Boundary Roads Sub-Agreement with Sumter County (O2021-31) is not applicable due to the privately owned and maintained roads within Wildwood County Resort.

d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

During the last couple of years, more single-dwelling units have been annexing into the City and transitioning from Sumter County's jurisdiction into the City of Wildwood as a result of the Joint Planning Area terms and agreement.

e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

The property has access off Williamsburg Ln. The applicant has applied for an exemption for the TIA submittal which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day. Section 1.f of the Inter-Local Service Boundary Roads Sub-Agreement with Sumter County (O2021-31) is not applicable due to the privately owned and maintained roads within Wildwood County Resort.

f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	RPUD (County)
SOUTH	ARD (City) & RPUD (County)
EAST	RPUD (County)
WEST	ARD (County)

If the rezoning is approved, the applicant will be required to submit a zoning clearance to the city prior to development. The zoning clearance will need to follow requirements established in the City's Land Development Regulations and the Design District Standards.

The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2025-54 to be forwarded to the City Commission for further action, subject to the approval of O2025-53, which establishes a future land use appropriate for the proposed zoning.



Alex Lammers, Planner I
Development Services

ORDINANCE NO. O2025-54

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

Parcel G16F001
James Milton Hampton and Susan M. Stoltz
Acres 0.21 +/-

LEGAL DESCRIPTION:

LOT 1, WILDWOOD COUNTRY RESORT ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 33, OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.

This property is to be reclassified from RPUD (Sumter County) to MHP (City).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this _____ day of _____, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

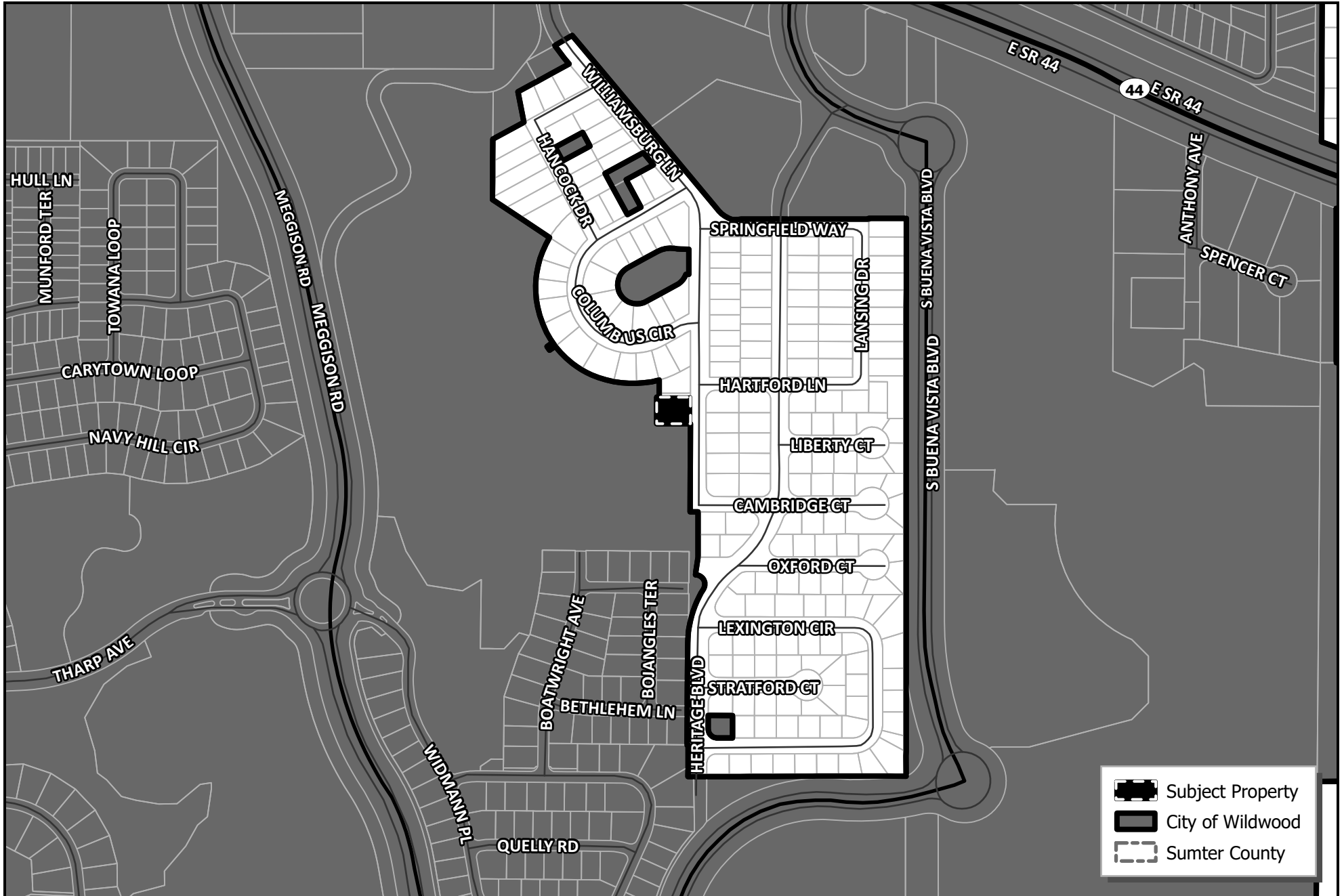
First Reading: _____

Second Reading: _____

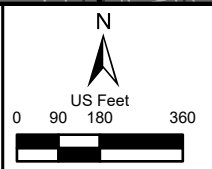
Approved as to form:

City Attorney

EXHIBIT A

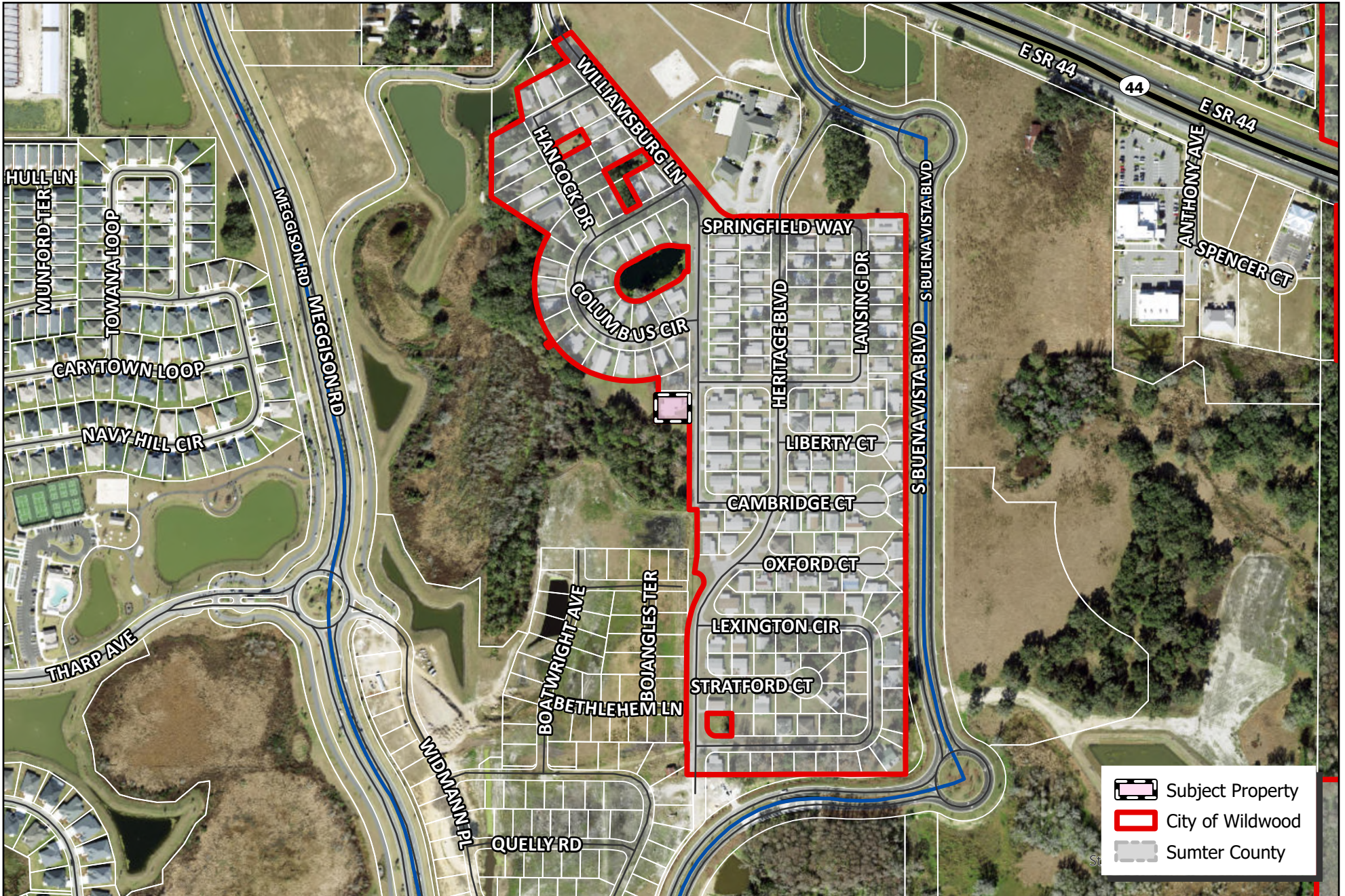


CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov

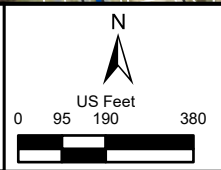


#A25-3404
5474 WILLIAMSBURG LANE
 PARCEL G16F001

MAP 1A
LOCATION
MAP
SEP 2025

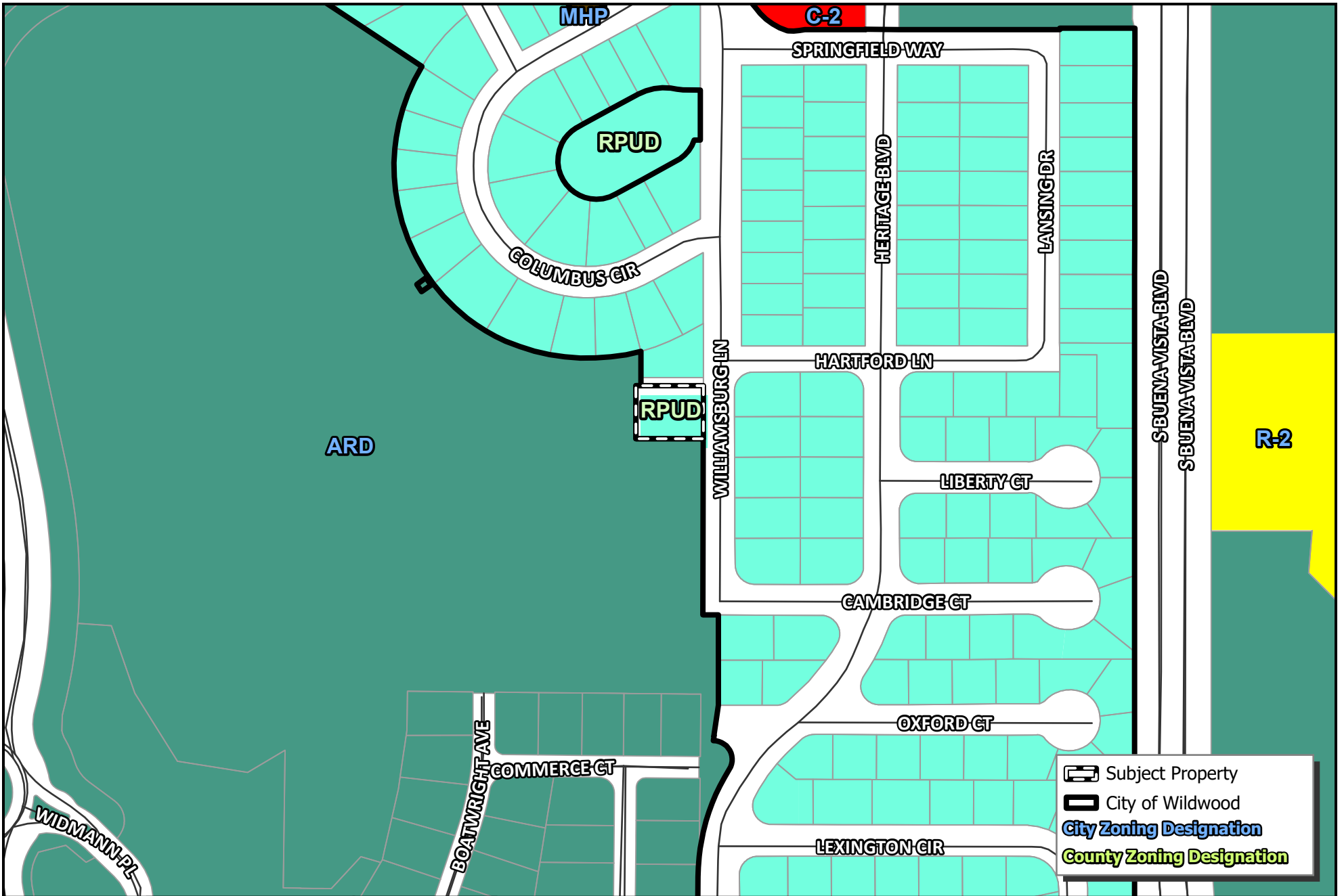






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#A25-3404
5474 WILIAMSBURG LANE
 PARCEL G16F001

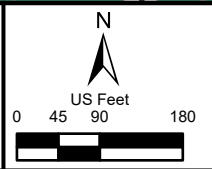
MAP 1B
LOCATION
MAP
SEP 2025



 Subject Property
 City of Wildwood
 City Zoning Designation
 County Zoning Designation

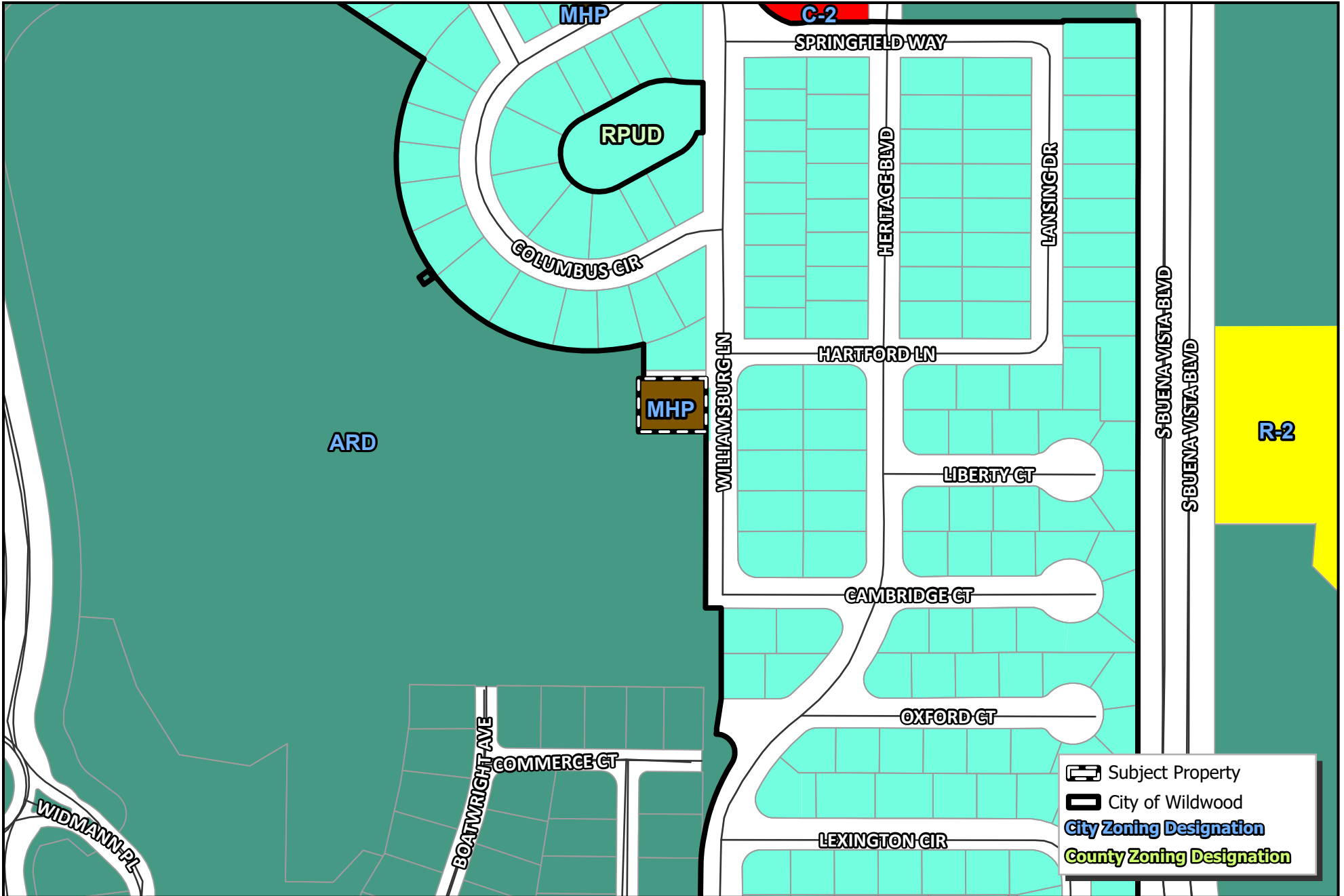


CITY OF WILDWOOD
 100 North Main Street
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#A25-3404
5474 WILLIAMSBURG LANE
 PARCEL G16F001

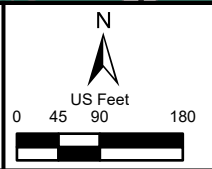
MAP 3A
EXISTING ZONING
SEP 2025



Subject Property
 City of Wildwood
City Zoning Designation
County Zoning Designation



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-3404
5474 WILLIAMSBURG LANE
 PARCEL G16F001

MAP 3B
PROPOSED ZONING
SEP 2025



Business Impact Estimate

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2025-54

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.



City of Wildwood, Florida
PUBLIC NOTICE
Development Services Department
www.wildwood-fl.gov

September 5, 2025

VEGA JENNIFER MUNOZ & ESPINOSA
5594 COLUMBUS CIR
WILDWOOD, FL 34785

Your Parcel Number(s): **G16A118**

RECEIVED

SEP 23 2025

City Of Wildwood
Development Services Dept

THIS LETTER IS TO INFORM YOU OF A PUBLIC HEARING FOR A PROPERTY IN YOUR AREA

NO CHANGES WILL BE MADE TO YOUR PROPERTY

TO: Property owners near a property which is being considered by the Planning & Zoning Board/Local Planning Agency/Special Magistrate to change the Future Land Use Map designation from Rural Residential to Mobile Home Park and to change the Zoning Map designation from RPUD to MHP.

OWNER: James Milton Hampton and Susan M. Stoltz
APPLICANT: James Milton Hampton and Susan M. Stoltz
CASE NUMBERS: A25-3403 – SSCPA and A25-3404 - RZ
PARCEL NUMBER: G16F001

The subject property is generally located on Williamsburg Ln approximately 0.35 miles south of E SR 44.

A public hearing before the City of Wildwood Planning & Zoning Board/Local Planning Agency/Special Magistrate will be held in the City Hall Commission Chamber, 100 North Main Street, Wildwood, FL on **Tuesday October 7th, 2025 at 2 pm.**

The recommendations of the Planning and Zoning Board/Local Planning Agency/Special Magistrate will be presented to the City Commission at a first hearing to be held in the City Commission Chamber on **Monday October 27th, 2025 at 7 pm** and the final hearing to be held in the City Hall Commission Chamber on **Monday November 10th at 9 am.**

Written comments submitted will be heard. Hearings may be continued from time to time as found necessary. Please return this form to: City of Wildwood, Development Services Department, 100 N. Main Street, Wildwood, FL 34785. Questions should be directed to the Development Services Department at (352) 330-1334.

APPEAL: NECESSITY OF RECORD. In order to appeal the Commission’s decision in this matter, a verbatim record of the proceedings is required. The City Commission and the City of Wildwood assume no responsibility for furnishing said record.

- I support this request.
- I do not object to this request.
- I do not support this request for the following reason(s) _____

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-3309 - RZ - 64 Robin Rd.

REQUESTED ACTION: Staff recommends approval of O2025-49 to be forwarded to the City Commission for further action.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-3309
Ordinance Number	O2025-49
Owner(s)/Applicant(s)	Thomas M. Hugunin
Property Location	The property is generally located on the north side of Robin Rd., 0.23 miles east of the intersection of Robin Rd. and Quail Run
Parcel	G22AT021
Date	10/7/2025

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (Sumter County) and MHP (City) for the parcel listed above on 0.13 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment A25-3308 (O2025-48).

ANALYSIS: The applicant is proposing a mobile home on the property.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to MHP should be granted based on the following criteria:

(a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation of Mobile Home Park (MHP) and the intent of the Comprehensive Plan as stated in FLU Policy 1.2.8.

(b) The existing land use pattern of the surrounding area;

The land use pattern of the surrounding area is residential and recreational. The proposed MHP zoning designation will serve to establish the character of existing neighborhoods as more single-dwelling units annex into the City and transition from Sumter County's jurisdiction into the City of Wildwood as a result of the Joint Planning Area agreement.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc;

Schools: There is no expectation of a generation of school-aged children as the property is located within an age-restricted community. However, the Sumter County School District has

indicated that there are school seats available at this time.

Potable Water & Sewer: City water and sewer are available to the subject property. Utilities are located on the north and south side of Robin Rd. The applicant will work with the Utility department to connect to utilities.

Streets: The property has access off of Robin Rd. The applicant has applied for an exemption for the TIA submittal which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

During the last couple of years, more single-dwelling units have been annexing into the City and transitioning from Sumter County's jurisdiction into the City of Wildwood as a result of the Joint Planning Area terms and agreement.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

The applicant has applied for an exemption for the TIA submittal which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	R6M (County)
SOUTH	A10C (County)
EAST	R6M (County)
WEST	R6M (County)

If the rezoning is approved, the applicant will be required to submit a zoning clearance to the City prior to development. The zoning clearance will need to follow requirements established in the City's Land Development Regulations and the Design District Standards.

The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2025-49 to be forwarded to the City Commission for further action, subject to the approval of O2025-48, which establishes a future land use appropriate for the proposed zoning.



Alex Lammers, Planner I
Development Services

ORDINANCE NO. O2025-49

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

Parcel G22AT021
Thomas M Hugunin
Acres 0.13+/-

LEGAL DESCRIPTION:

LOT 12, BLOCK T, CONTINENTAL COUNTRY CLUB, INC. RESORTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE(S) 59, 59A & 59B, OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA.

This property is to be reclassified from R6M (Sumter County) to MHP (City).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this _____ day of _____, 2025, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

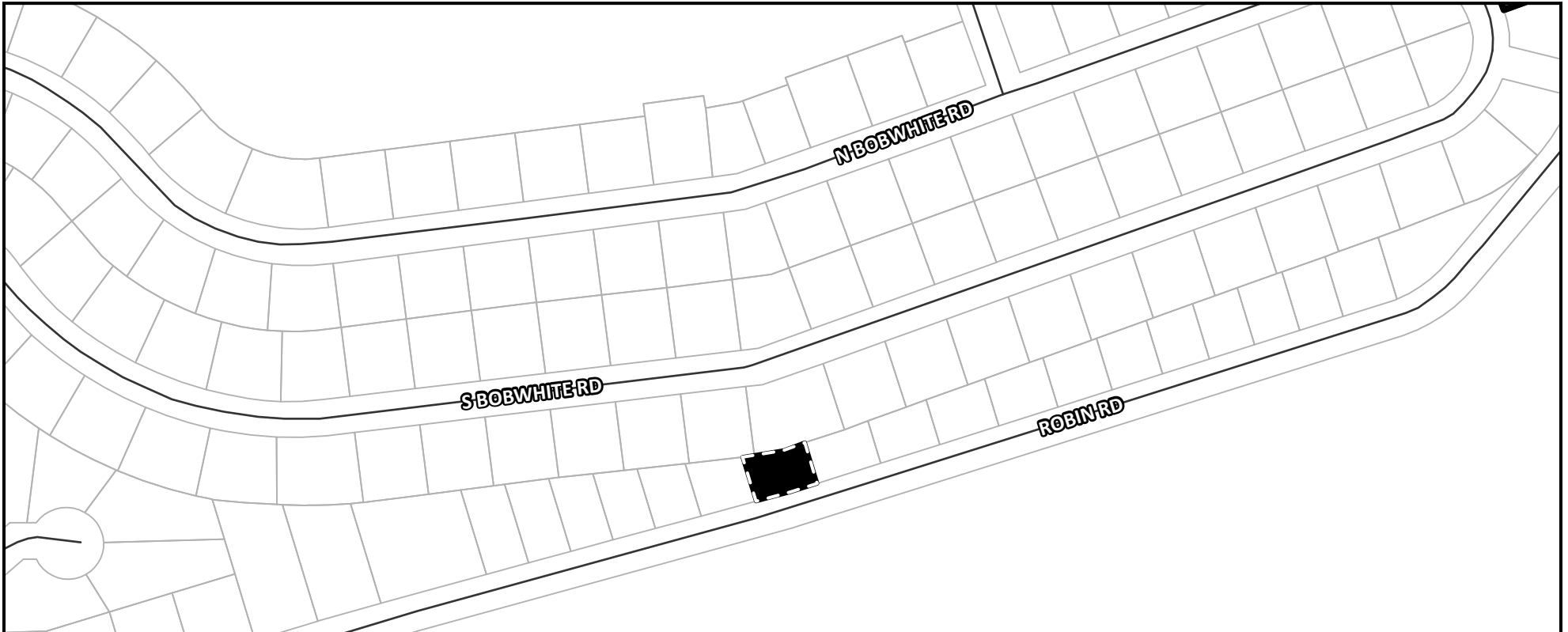
First Reading: _____




Second Reading: _____

Approved as to form:

City Attorney

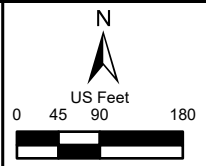
EXHIBIT A



	Subject Property
	City of Wildwood
	Sumter County






CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-3309
64 ROBIN RD
 PARCEL G22AT021

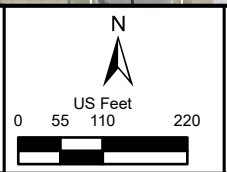
MAP 1A
LOCATION
MAP
AUG 2025



-  Subject Property
-  City of Wildwood
-  Sumter County

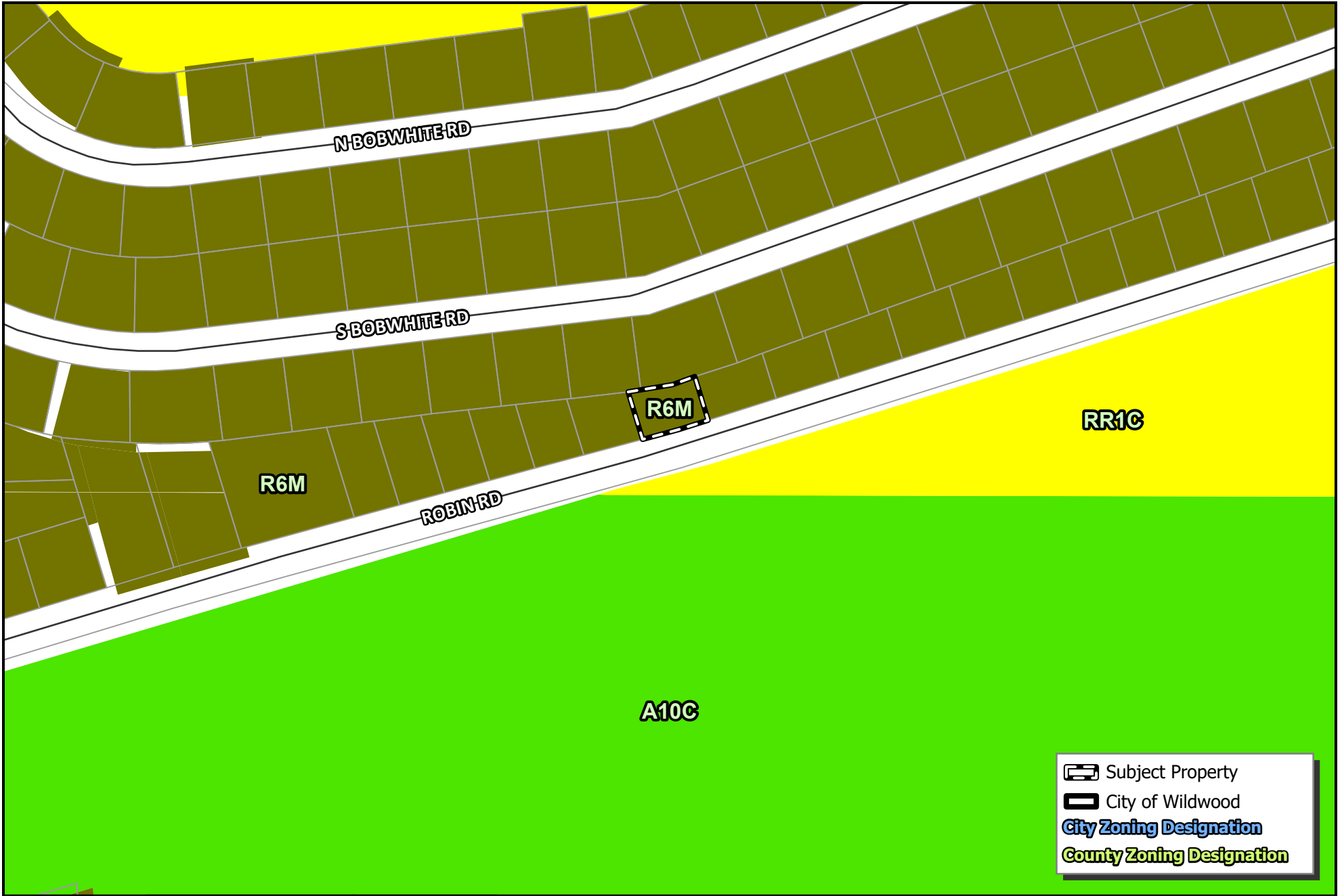


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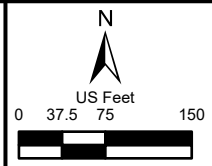


#A25-3309
64 ROBIN RD
 PARCEL G22AT021

MAP 1B
LOCATION
MAP
AUG 2025

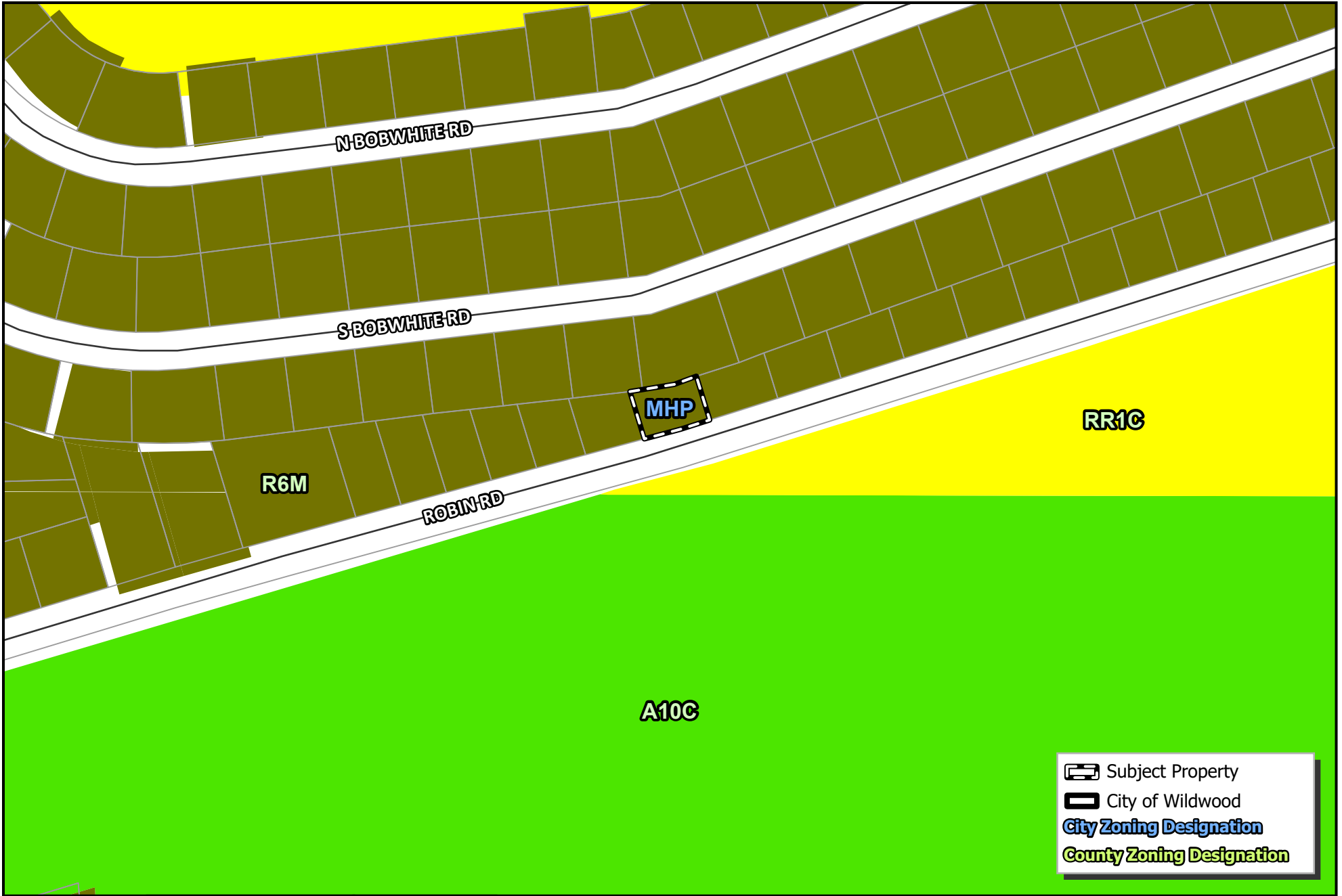



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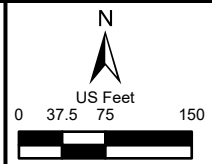
MAP 3A
EXISTING ZONING
AUG 2025



 Subject Property
 City of Wildwood
City Zoning Designation
County Zoning Designation



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#A25-3309
64 ROBIN RD
 PARCEL G22AT021

MAP 3B
PROPOSED ZONING
AUG 2025



Business Impact Estimate

This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2025-49

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: A25-0944 - SP - Sweet Six

REQUESTED ACTION: The Project Review Committee recommends approval contingent on resolution of outstanding comments.

CONTRACT:

Vendor/Entity:
Effective Date: Termination Date:
Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	A25-0944 Sweet Six
Owner	SWEET SIX PROPERTIES II LLC
Applicant	Brian Hannula (Track West Ventures LLC)
Acreage	15.06 +/-
Property Location	The subject property is generally located at the southeast corner of the intersection of US 301 and E C 462.
Parcel(s)	D32-028, D32-029, D32-034, and D32-167

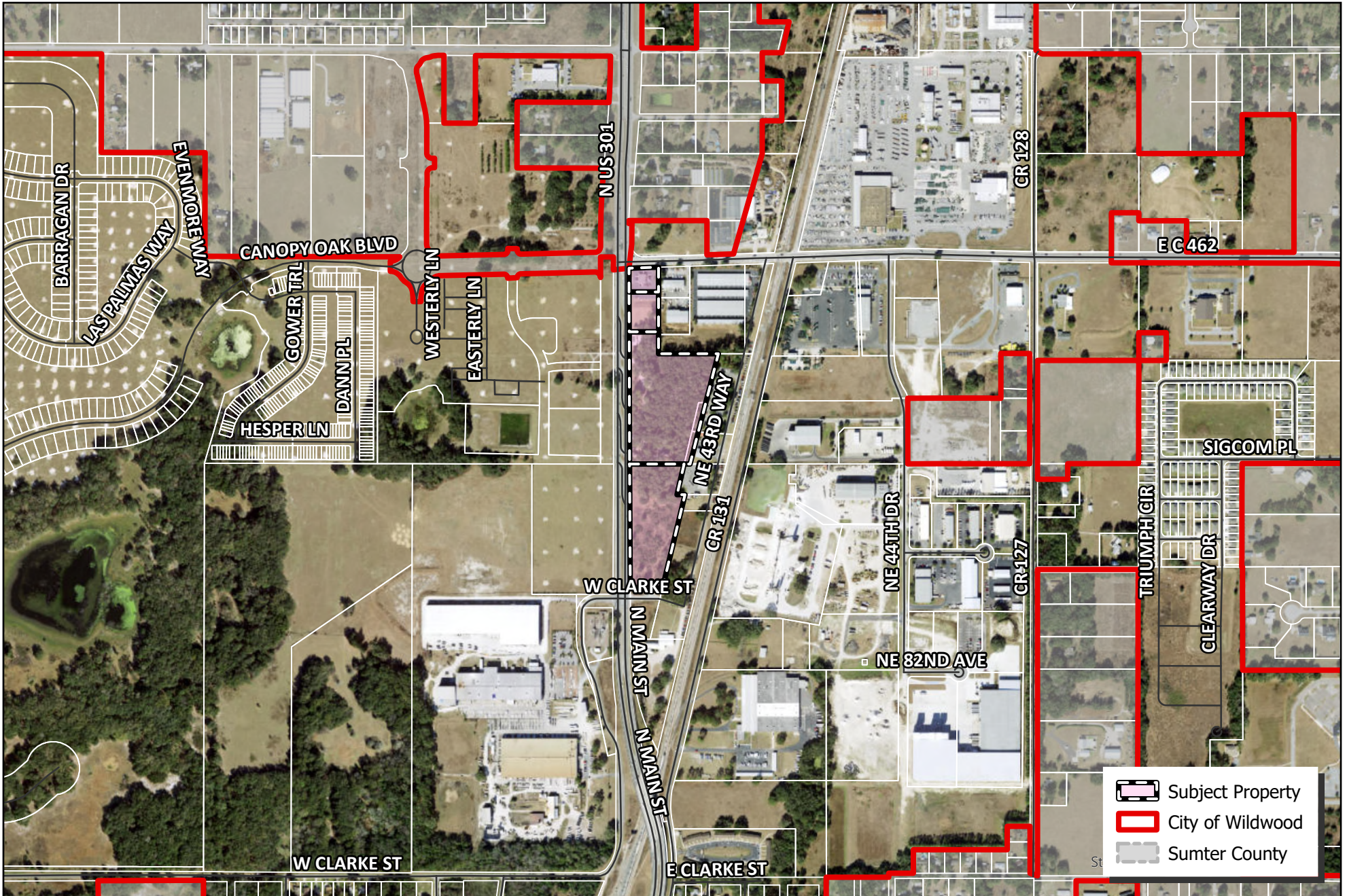
The applicant is seeking a favorable recommendation from the Planning and Zoning Board for the construction of a four-story, 98-unit Hawthorn hotel building, five hundred and ninety-nine (599) parking spaces, including associated infrastructure, on 15.06 acres MOL, as per the attached plans. The project consists of additional future phases to include 70,871 square feet of retail across seven (7) buildings. The subject project, A25-0944, is for the construction of the site and hotel structure only. The retail buildings within Phase 2 will require a separate site plan application for staff to review at time of construction.




The applicant had submitted a technical waiver request for Chapter 1(F)(3) of the Design District Standards regarding cornice treatments. However, this technical waiver request was not approved. As of the writing of this report, the applicant has submitted revised elevations that meet this section of the Design District Standards that are supported by Staff. The revised elevations are included in this report.

A25-0944 is expected to meet the criteria set fourth within the Land Development Regulations, Design District Standards, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan.



McKenna Page
Planner I, Development Services



 Subject Property
 City of Wildwood
 Sumter County

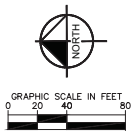
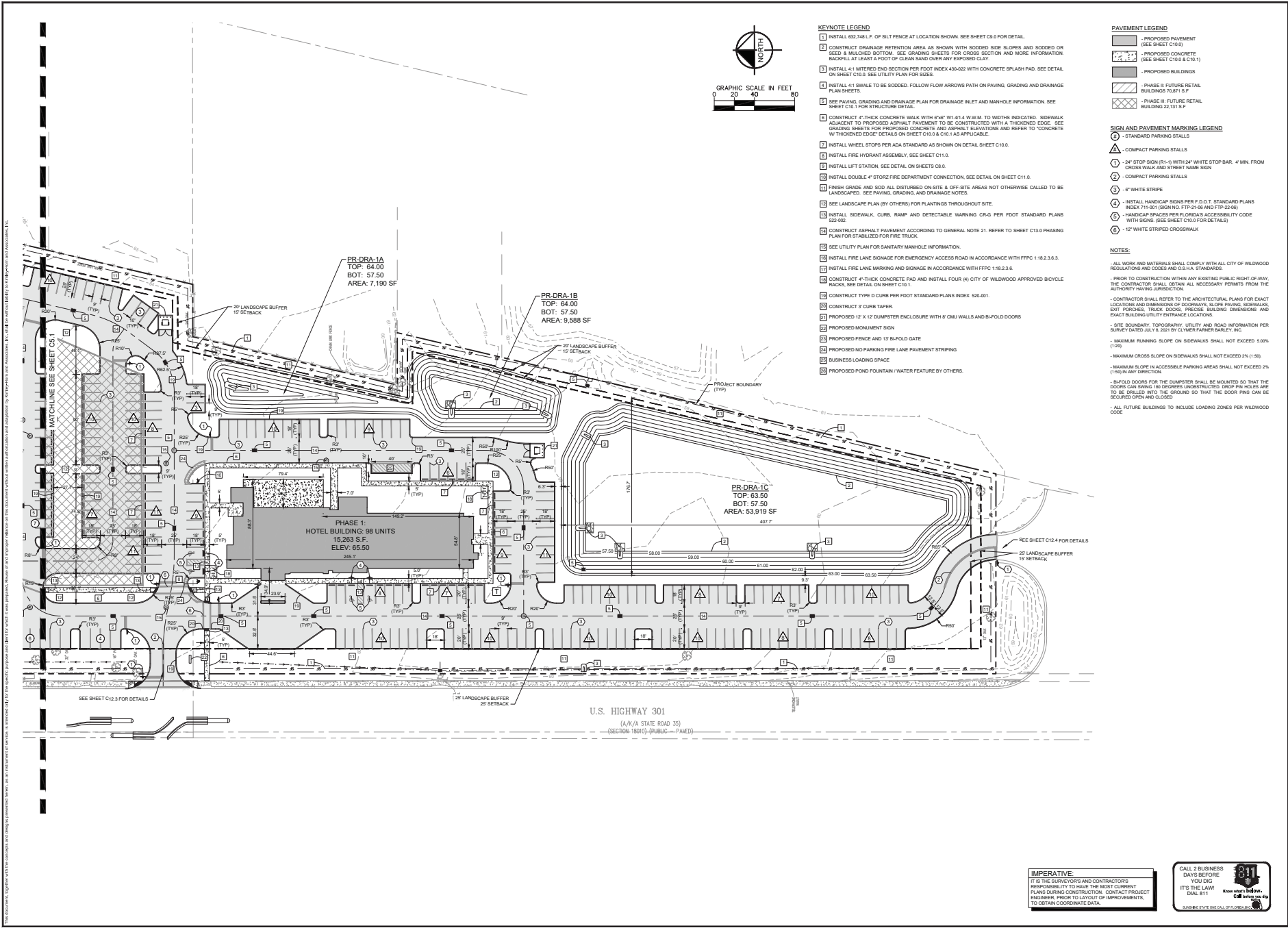


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#A25-0944
SWEET SIX
 PARCELS D32-028, D32-029, D32-034 & D32-167

MAP 1B
LOCATION
MAP
SEP 2025



- KEYNOTE LEGEND**
- INSTALL 60,760 L.F. OF SILT FENCE AT LOCATION SHOWN. SEE SHEET C10 FOR DETAIL.
 - CONSTRUCT DRAINAGE RETENTION AREA AS SHOWN WITH SLOPED SIDE SLOPES AND SLOPED OR SEED & MULCHED BOTTOM. SEE GRADING SHEETS FOR CROSS SECTION AND MORE INFORMATION. SIDEWALK AT LEAST 4 FEET OR CLEAN SAND OVER ANY EXPOSED CLAY.
 - INSTALL 4" METRED END SECTION PER FOOT INLET 430-022 WITH CONCRETE SPLASH PAD. SEE DETAIL ON SHEET C10.0. SEE UTILITY PLAN FOR SIZES.
 - INSTALL 4" SWALE TO BE SLOPED. FOLLOW FLOW ARROWS PATH ON PAVING, GRADING AND DRAINAGE PLAN SHEETS.
 - SEE PAVING, GRADING AND DRAINAGE PLAN FOR DRAINAGE INLET AND MANHOLE INFORMATION. SEE SHEET C10.1 FOR STRUCTURE DETAIL.
 - CONSTRUCT 4" THICK CONCRETE WALK WITH 4" W/ 41.4 W.W.M. TO WIDTHS INDICATED. SIDEWALK ADJACENT TO PROPOSED ASPHALT PAVEMENT TO BE CONSTRUCTED WITH A THICKENED EDGE. SEE GRADING SHEETS FOR PROPOSED CONCRETE AND ASPHALT ELEVATIONS AND REFER TO "CONCRETE W/ THICKENED EDGE" DETAIL ON SHEET C10.0 & C10.1 AS APPLICABLE.
 - INSTALL WHEEL STOPS PER ADA STANDARD AS SHOWN ON DETAIL SHEET C10.0.
 - INSTALL FIRE HYDRANT ASSEMBLY. SEE SHEET C11.0.
 - INSTALL LIFT STATION. SEE DETAIL ON SHEETS C8.0.
 - INSTALL DOUBLE 4" STORZ FIRE DEPARTMENT CONNECTION. SEE DETAIL ON SHEET C11.0.
 - FINISH GRADE AND SOO ALL DISTURBED ON-SITE & OFF-SITE AREAS NOT OTHERWISE CALLED TO BE LANDSCAPED. SEE PAVING, GRADING, AND DRAINAGE NOTES.
 - SEE LANDSCAPE PLAN (BY OTHERS) FOR PLANTINGS THROUGHOUT SITE.
 - INSTALL SIDEWALK, CURB, RAMP AND DETECTABLE WARNING CR-G PER FOOT STANDARD PLANS 520-002.
 - CONSTRUCT ASPHALT PAVEMENT ACCORDING TO GENERAL NOTE 21. REFER TO SHEET C13.0 PHASING PLAN FOR STABILIZED FOR FIRE TRUCK.
 - SEE UTILITY PLAN FOR SANITARY MANHOLE INFORMATION.
 - INSTALL FIRE LANE SIGNAGE FOR EMERGENCY ACCESS ROAD IN ACCORDANCE WITH FPPC 118.2.3.6.3.
 - INSTALL FIRE LANE MARKING AND SIGNAGE IN ACCORDANCE WITH FPPC 118.2.3.6.
 - CONSTRUCT 4" THICK CONCRETE PAD AND INSTALL FOUR (4) CITY OF WILDLWOOD APPROVED BICYCLE MARKS. SEE DETAIL ON SHEET C10.1.
 - CONSTRUCT TYPE D CURB PER FOOT STANDARD PLANS INDEX 530-001.
 - CONSTRUCT 3" CURB TAPER.
 - PROPOSED 12' X 12' DUMPSTER ENCLOSURE WITH 8" CMU WALLS AND BI-FOLD DOORS.
 - PROPOSED MONUMENT SIGN.
 - PROPOSED FENCE AND 12' BI-FOLD GATE.
 - PROPOSED NO PARKING FIRE LANE PAVEMENT STRIPING.
 - BUSINESS LOADING SPACE.
 - PROPOSED POND FOUNTAIN / WATER FEATURE BY OTHERS.

- PAVEMENT LEGEND**
- PROPOSED PAVEMENT (SEE SHEET C10.0)
 - PROPOSED CONCRETE (SEE SHEET C10.0 & C10.1)
 - PROPOSED BUILDINGS
 - PHASE II: FUTURE RETAIL BUILDING 70,571 S.F.
 - PHASE III: FUTURE RETAIL BUILDING 22,313 S.F.
- SIGN AND PAVEMENT MARKING LEGEND**
- STANDARD PARKING STALLS
 - COMPACT PARKING STALLS
 - 24" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR, 4" MIN. FROM CROSSWALK AND STREET NAME SIGN
 - COMPACT PARKING STALLS
 - 4" WHITE STRIPE
 - INSTALL HANDICAP SIGNS PER F.O.D.T. STANDARD PLANS INDEX 711-001 (SIGN NO. FTR-21-06 AND FTR-22-06)
 - HANDICAP SPACES PER FLORIDA'S ACCESSIBILITY CODE WITH SIGNS. (SEE SHEET C10.0 FOR DETAILS)
 - 12" WHITE STRIPED CROSSWALK

- NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF WILDLWOOD REGULATIONS AND CODES AND O.E.H.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORTALS, TRUCK DOORS, PROPOSED BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED MAY 4, 2011 BY CONNER FARMER BARLEY, INC.
 - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.0% (1:20).
 - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:50).
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:50) IN ANY DIRECTION.
 - BI-FOLD DOORS FOR THE DUMPSTER SHALL BE MOUNTED SO THAT THE DOORS CAN SWING 180 DEGREES UNRESTRICTED. DROP PIN HOLES ARE TO BE DRILLED INTO THE GROUND SO THAT THE DOOR PINS CAN BE SECURED OPEN AND CLOSED.
 - ALL FUTURE BUILDINGS TO INCLUDE LOADING ZONES PER WILDLWOOD CODE.

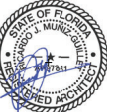
<p>Kimley-Horn</p> <p>© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 1700 8TH STREET, SUITE 200, Ocala, FL 34471 PHONE: 352-238-2000 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106</p>	<p>LICENSED PROFESSIONAL NICHOLE N. MURDO P.E. FLORIDA LICENSE NUMBER: 91243</p>	<p>DATE: JULY 2025 SCALE: AS SHOWN DESIGNED BY: KIM DRAWN BY: KIM CHECKED BY: KIM</p>	<p>DATE</p>
	<p>HORIZONTAL GEOMETRY PLAN</p>	<p>SWEET SIX SITE PLAN PREPARED FOR SWEET SIX PROPERTIES II LLC</p>	<p>FLORIDA</p>
<p>SHEET NUMBER C5.2</p>	<p>CITY OF WILDLWOOD</p>	<p>DATE</p>	<p>DATE</p>

IMPERATIVE:
IT IS THE SURVEYORS AND CONTRACTORS RESPONSIBILITY TO HAVE THE MOST CURRENT PLANS DURING CONSTRUCTION. CONTACT PROJECT ENGINEER, PRIOR TO LAYOUT OF IMPROVEMENTS, TO OBTAIN COORDINATE DATA.

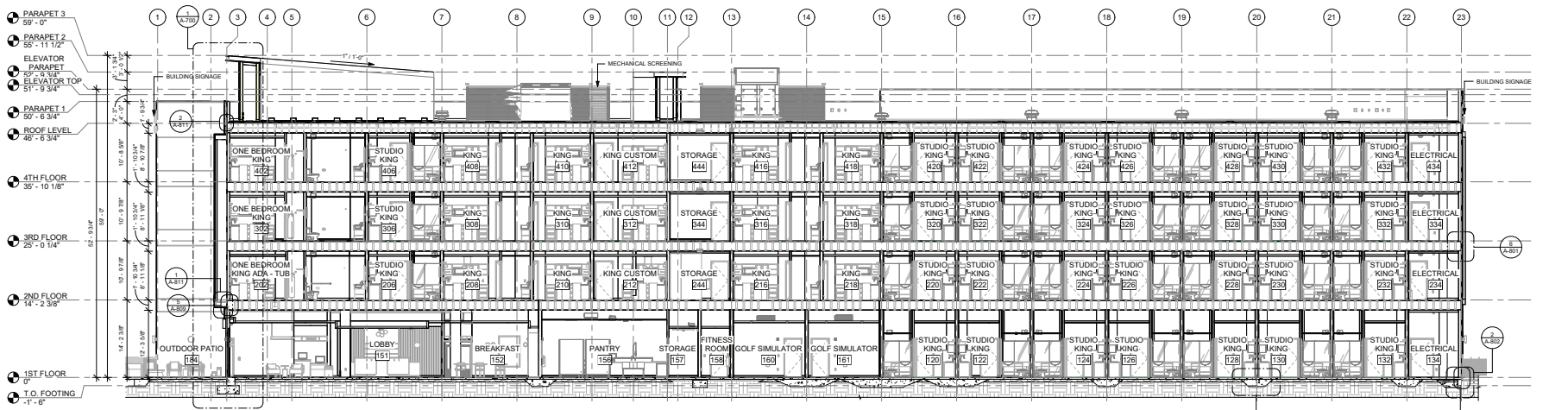
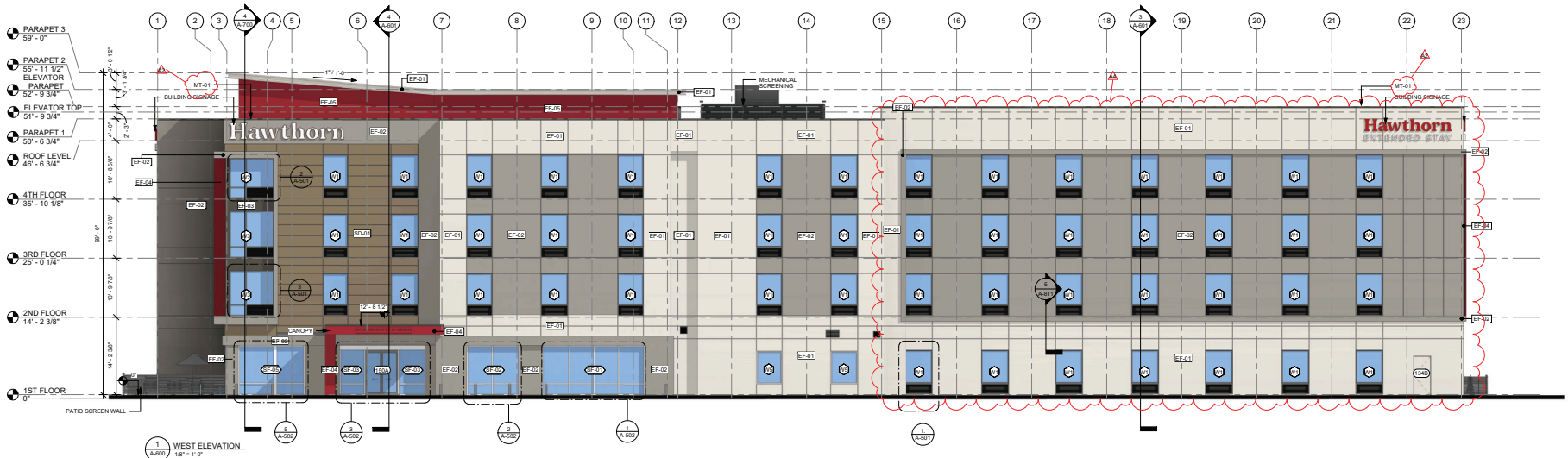
CALL 2 BUSINESS DAYS BEFORE YOU DID IT'S THE LAW! DIAL 811

811
Know what's below. Call before you dig.
800-4-A-SHIRT

DATE ONE CALL OF 1-800-4-A-SHIRT



1	A0	2025.05.16	ISSUED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	COMMENTS R2



ELEVATION NOTES

- REVIEW ALL SIGNAGES AROUND PROPERTY BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ACCESSIBLE TO SERVICE PERSONNEL.
- GO TO PROVIDER A MATCH WALL SHOWING A FULL WINDOW INSTALL WITH FINISHING. SEE CALL OUT FOR WINDOW SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW. ALL EXTERIOR VENTS, SHELLS, MECHANICAL ROOMS AND ELECTRICAL PENETRATIONS MUST BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
- ALL FINISHING POINTS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLANS. SO IT IS THE ELEVATOR RESPONSIBILITY TO SUBMIT THE PERMIT ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THESE APPROVED DRAWING FOR THE FINISHING PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THIS SET, IT WILL DELAY THE SCHEDULE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONTRACTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDES WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN AS-BUILT BASIS.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA AROUND SIGN (PER LENGTH AND HEIGHT OF FACIA) OR SPACE AVAILABLE FOR SIGN LOCATION MUST BE FINISHED BY CONTRACTOR TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
- FINISHING ACCESSORIES TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO PROVIDE AND MAINTAIN ALL ELECTRICAL SERVICE. THESE PARAPETS COULDN'T PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MUST BE AVOIDED.
- ELECTRICAL PENETRATIONS THROUGH EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS BLOCKER PENETRATION COORDINATED AND INSTALLED PRIOR TO CLOSING UP THE WALL. FINISHING LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

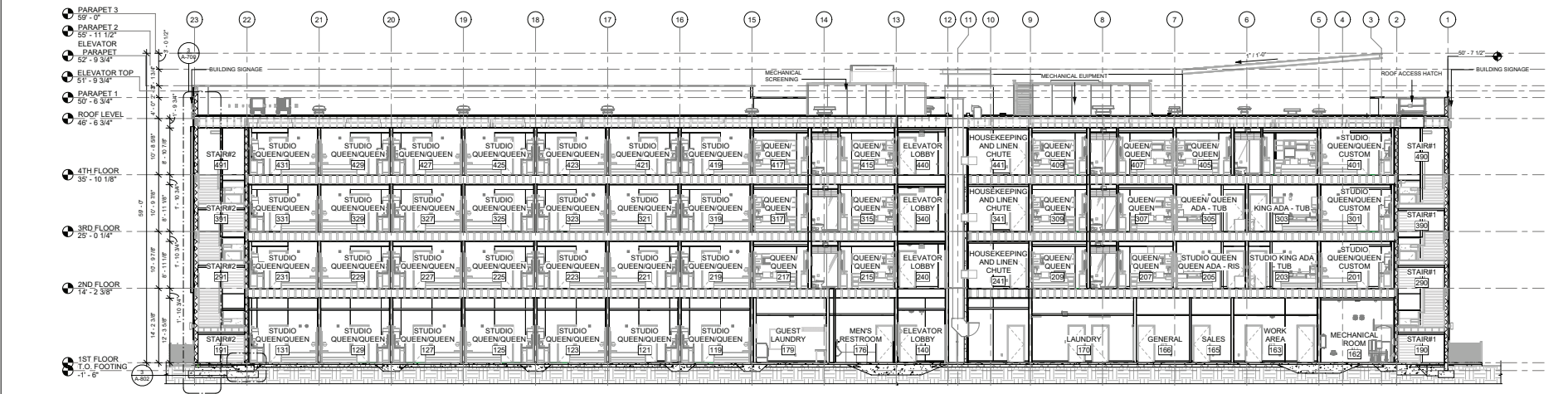
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MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7008 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW7088 NITRA V SPOON		
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW9170 ACHER	MT-01	METAL			
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7048 URBANE BRONZE	TL-01	CELESTON TILES	LENS BRANDED		
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7588					



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	SUBMITTED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	COMMENTS R2



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADJACENT TO WALL.
- GO TO PROVIDER A MATCH WALL SHOWING A FULL WINDOW INSTALL WITH FINISHING. SEE CALLS AND PROFESSIONALLY SCALED DOWN WINDOW IN LIEU OF FULL SIZE WINDOW. ALL EXTERIOR WALLS, SHELLS, MECHANICAL ROOMS AND EXTERIOR FLOORS WILL BE CONCRETE. SEE FROM SIGN COMPANY.
- ALL FINISHING POINTS TO BE CONSISTENT WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMIT PLANS, SO IT IS THE ARCHITECT'S RESPONSIBILITY TO SUBMIT THE ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THESE APPROVED DRAWING FOR THE APPROVED PROJECT. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE APPROVED SET, IT WILL BE THE RESPONSIBILITY OF THE ARCHITECT TO OBTAIN A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTED BUILDING.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR OR TRIM BLANDED WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWG. FOOT TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED BY ARCHITECT/ENGINEER.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA SHOULD COVER FULL LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTIONS BY CONTRACTOR. SEE FROM SIGN COMPANY.
- PRIMARY ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNAGE IS LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE. THESE PARAPETS MUST BE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS INSTALLED.
- ALL EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR VENT TRANSFORMERS COORDINATE WITH CONTRACTOR. TRANSFORMERS TO BE INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWG. ELEVATIONS.

EXT. FINISH LEGEND				EXT. FINISH LEGEND			
MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7005 PEARL WHITE		EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW7008 WITH V. SPOON	
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW9170 ACER		MT-01	METAL	BLACK SANDPEBBLE FINE SW7048 URBANE BRONZE	
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7048 URBANE BRONZE		RF-01	ROOFING	LEEDS BAMBOO RAINSCREEN	
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7588					



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	ISSUED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	SCITY COMMENTS R2
4	A5	2025.08.20	PER PLAN REVIEW COMMENTS

ISSUE:
ISSUED FOR PERMIT

ISSUE DATE: 2025.05.16

DRAWN BY: RTI/AD

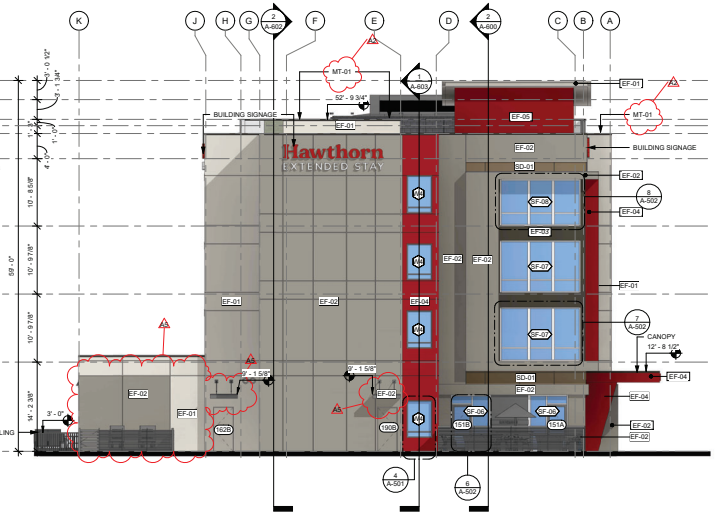
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PROJECT #: B4-313-2401

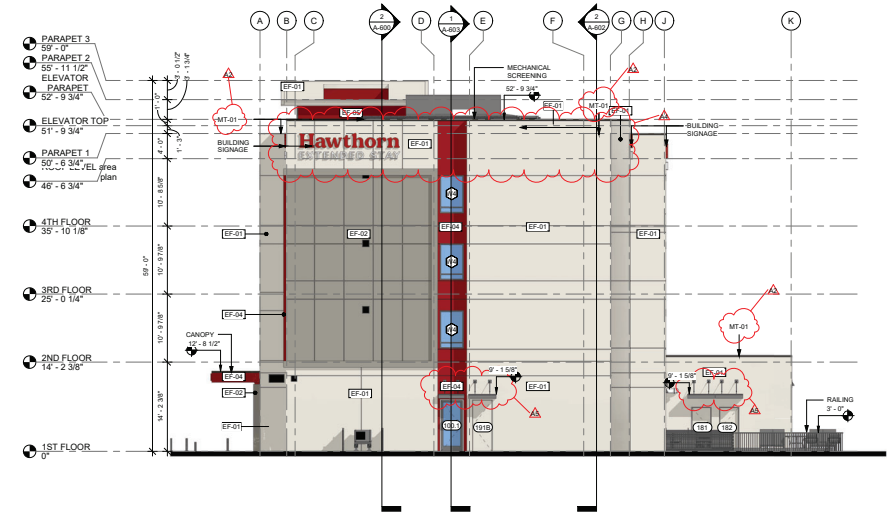
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EXTERIOR ELEVATION & BUILDING SECTION

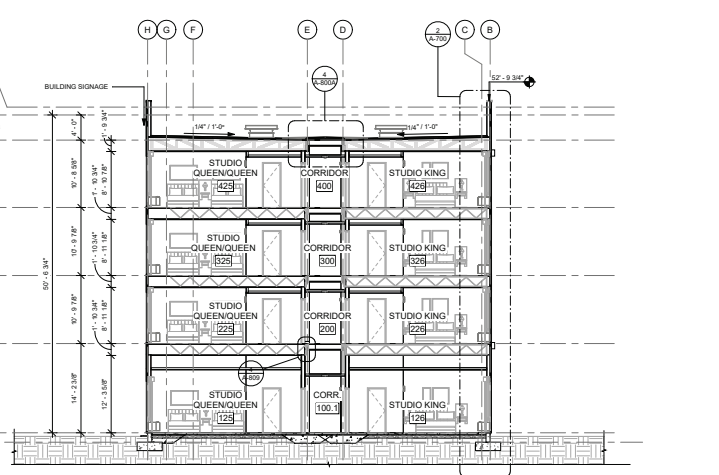
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A-601



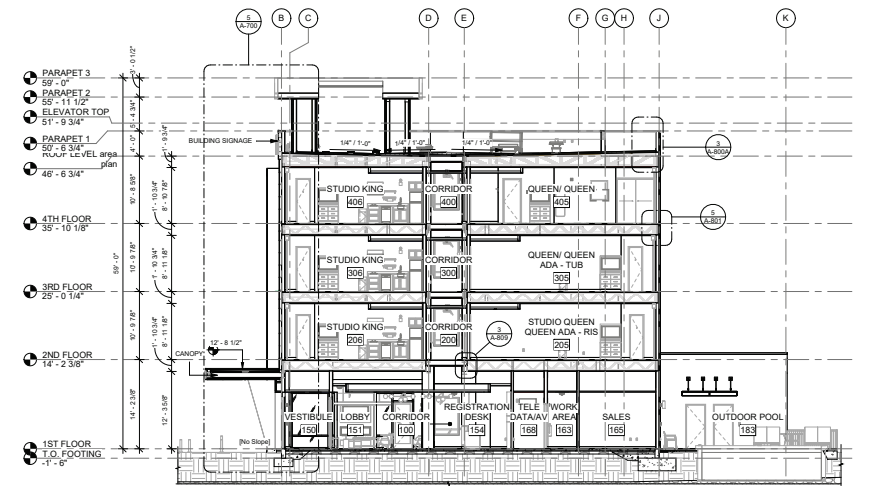
1 NORTH ELEVATION
A-601 18' x 14'



2 SOUTH ELEVATION
A-601 18' x 14'



3 BUILDING SECTION
A-601 18' x 14'



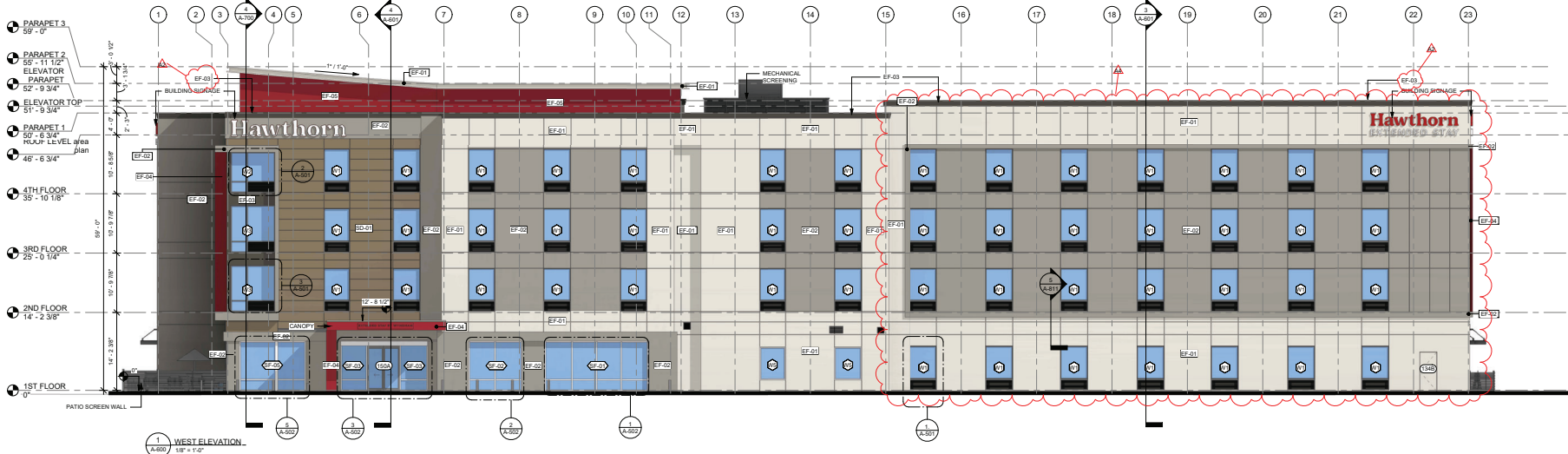
4 BUILDING SECTION
A-601 18' x 14'

- ELEVATION NOTES**
- REVIEW ALL SIGNAGE AND ARCHITECTURE BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY PROTECTED.
 - GO TO PROVIDE A MUCK WALL SHOWING A FULL WINDOW DETAIL WITH FINISHING. SEE CALL FOR A PROPORTIONALLY ACCURATE WINDOW DETAIL. ALL WALLS SHALL BE FINISHED WITH INTERIOR FINISHES. MECHANICAL EXHAUSTS AND EXTERIOR FLOW METAL COVERS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
 - APPROVED BY PERMIT. THE CONTRACTOR DOES NOT REVIEW BUILDING PERMIT PLAN SETS. SO IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THE APPROVED BUILDING PERMIT PLAN SETS.
 - IF THE BUILDING PERMIT SETS DO NOT MATCH THOSE IN THE SITE PLAN, IT WILL DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY AT THE END OF CONSTRUCTION, AND MAY NECESSITATE MODIFICATIONS TO THE CONSTRUCTION PERMIT.
 - ALL WALLS ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.
 - ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DRAWING ELEVATIONS.
- SIGNAGE NOTES**
- ALL SIGNAGE REQUIRED FOR ILLUMINATION PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
 - MINIMUM 3/4" WOOD BAKER BOARD REQUIRED AT SIGN LOCATION. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF SIGN. SEE CALL FOR SIGN ELECTRICAL AND FINAL CONSTRUCTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
 - PERMANENT ACCESS DOORS TO INTERIOR OF ALL PERMANENT ACCESS DOORS TO BE FINISHED BY CONTRACTOR. CONTRACTOR TO FINISH AND CONNECT PRIMARY ELECTRICAL SERVICE. HIDE ALL WIRE WALL.
 - PROTECT WEATHER PROOF ACCESS DOORS AT ROOF LEVEL ON HAWTHORN SIDE OF BUILDING. CONTRACTOR MAY APPLY COATINGS OR PUBLIC SPACES WITH WANGSON ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR BELIEVE TRANSFER CONDUITS AND/OR PENETRATIONS TO BE CLOSED UP BY THE WALL PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.
- BUILDING SECTION NOTES**
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DRAWING ELEVATIONS.

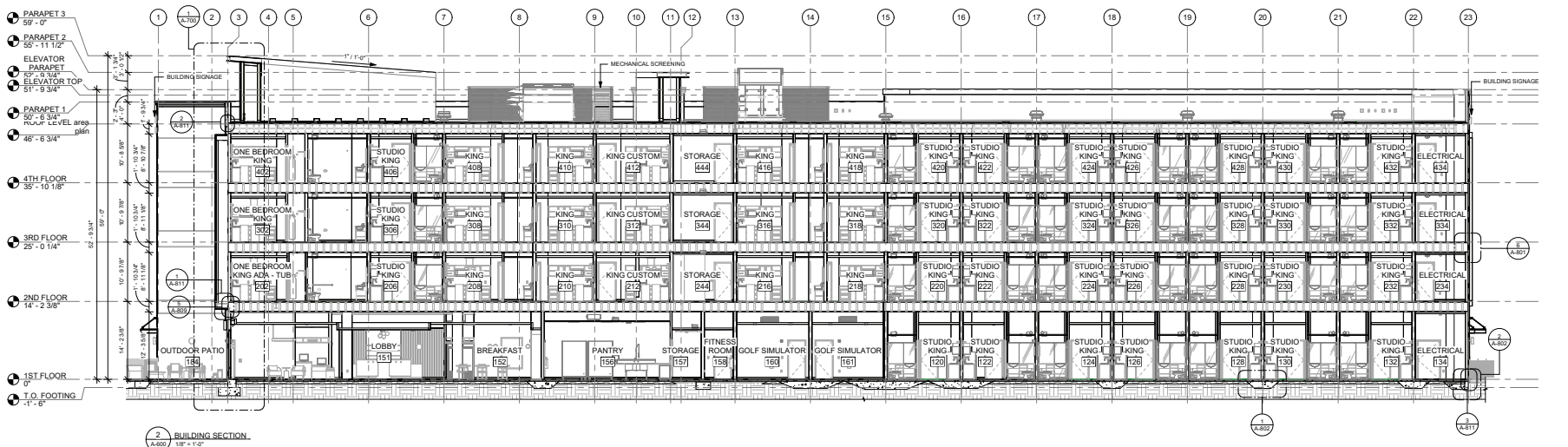
EXT. FINISH LEGEND			EXT. FINISH LEGEND		
MARK	MATERIAL BRAND	COLOR / FINISH	MARK	MATERIAL BRAND	COLOR / FINISH
EF-01	BERWYN WILLIAMS	SANDPBLE FINE SW/005 PEARL WHITE	EF-02	BERWYN WILLIAMS	SANDPBLE FINE SW/170 ACER
EF-03	BERWYN WILLIAMS	SANDPBLE FINE SW/048 URBANE BRONZE	EF-04	BERWYN WILLIAMS	SANDPBLE FINE SW/078 STOPPER SW/008
MT-01	METAL		MT-02	PORCELINA	GLAZO SANDPBLE FINE SW/048 URBANE BRONZE



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	ISSUED FOR PERMIT
3	A2	2025.07.16	FRANCHISE COMMENTS 100%
5	A4	2025.07.16	COMMENTS R2
7	A6	2025.09.15	COMMENTS R3



1 WEST ELEVATION
A.600 1/8" = 1'-0"



2 BUILDING SECTION
A.600 1/8" = 1'-0"

ELEVATION NOTES

- REVIEW ALL SIGNS AND SIGNAGE BEFORE INSTALLING. VERIFY ALL EQUIPMENT IS PROPERLY ANCHORED TO THE STRUCTURE.
- GO TO PROVIDE A WINDOW WALL SHOWING A FULL WINDOW INSTALLATION. VERIFY ALL WINDOW SIZES AND SPACING ARE CORRECT. VERIFY ALL WINDOW SIZES AND SPACING ARE CORRECT.
- ALL EXTERIOR VENTS, DOWNS, MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
- ALL BUILDING PERMITS TO BE CONSIDERED WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMITS. PERMITS TO BE OBTAINED BY THE CONTRACTOR. VERIFY ALL PERMITS ARE OBTAINED BEFORE CONSTRUCTION.
- ALL EXTERIOR VENTS, DOWNS, MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL COLOR.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SHALL BE PAINTED TO MATCH THE BUILDING WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN AS-BUILT BASIS. VERIFY ALL SIGNAGE IS PROPERLY ANCHORED TO THE STRUCTURE.
- MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTIONS BY CONTRACTOR PER SIGN COMPANY.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNAGE IS LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH PARAPET CURBING. PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MUST APPLY.
- PROVIDE WEATHER PROOF ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MUST APPLY.
- EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS THROUGH ROOFING TO BE PROVIDED BY CONTRACTOR. PENETRATIONS TO BE PROVIDED BY CONTRACTOR. PENETRATIONS TO BE PROVIDED BY CONTRACTOR.

BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

EXT. FINISH LEGEND			EXT. FINISH LEGEND		
MARK	MATERIAL / BRAND	COLOR / FINISH	MARK	MATERIAL / BRAND	COLOR / FINISH
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW705 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW788 WITH V-GROOVE
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW9170 ACER	MT-01	METAL	BLACK SANDPEBBLE FINE SW7048 URBANE BRONZE
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7048 URBANE BRONZE	TL-01	CERAMIC TILE	LENS BAMBOO
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW7568			RAINSCREEN

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	SUBMITTED FOR PERMIT
2	A2	2025.07.16	FRANCHISE COMMENTS 100%
3	A4	2025.07.16	FIRE PLAN COMMENTS R2
4	A5	2025.09.01	REVIEW COMMENTS
5	A6	2025.09.15	CITY COMMENTS R3

ISSUE:

ISSUED FOR PERMIT

ISSUE DATE: 2025.06.16

DRAWN BY: RT/AD

CHECKED BY: RB/AR

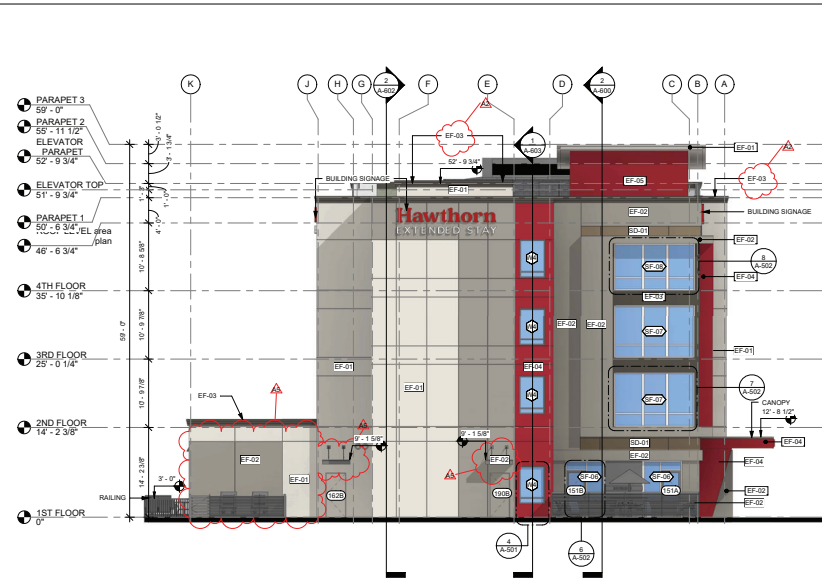
PROJECT #: 84-313-2401

SHEET NAME:

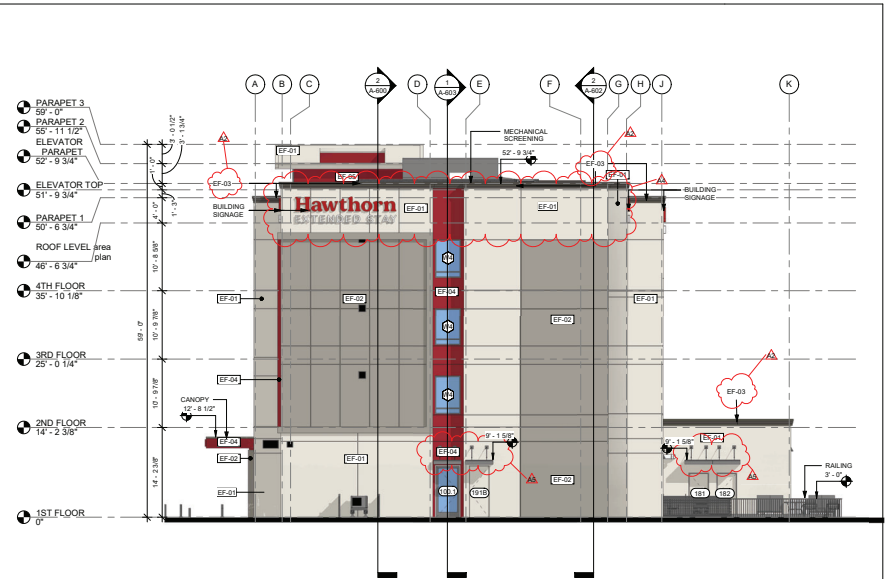
EXTERIOR ELEVATION & BUILDING SECTION

SHEET NUMBER:

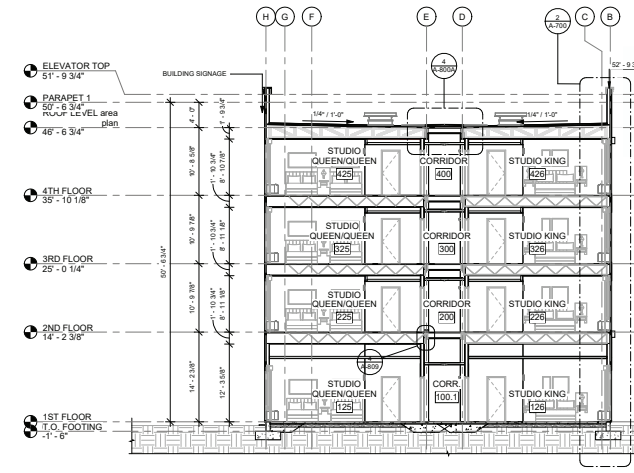
A-601



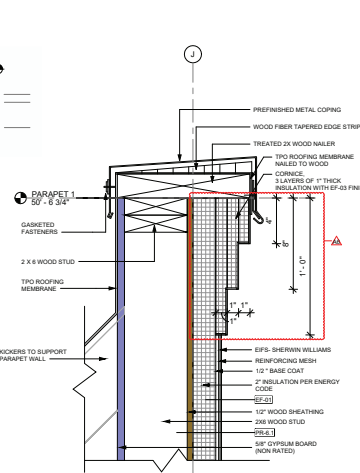
1 NORTH ELEVATION
A-601 18' x 11'0"



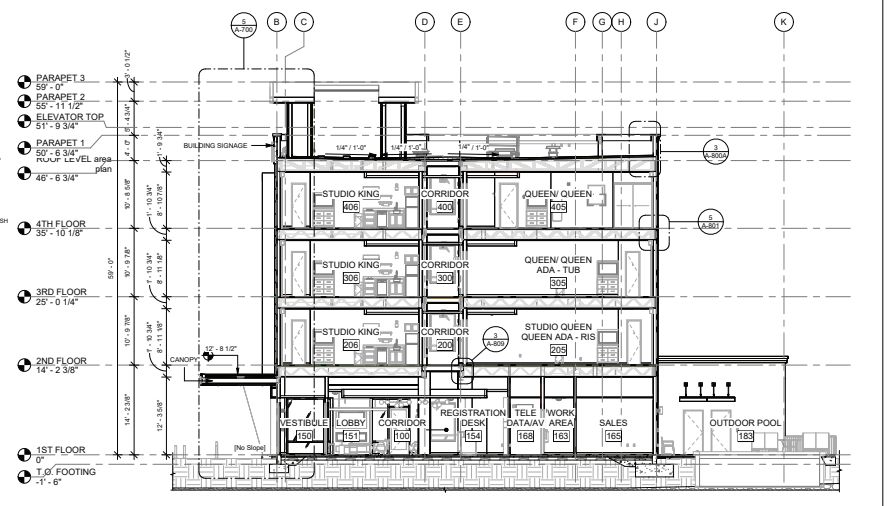
2 SOUTH ELEVATION
A-601 18' x 11'0"



3 BUILDING SECTION
A-601 18' x 11'0"



5 ROOF DETAIL @ METAL PARAPET
A-601 12' x 12' REF: A-600A



4 BUILDING SECTION
A-601 18' x 11'0"

ELEVATION NOTES

- REVEAL ALL SIGNS AND MARKINGS AROUND PROPERTY BEFORE LOCATING ROOF TOP EQUIPMENT. VERIFY ALL EQUIPMENT IS RELEVANT.
- GO TO PROVIDE A MARK WALL SHOWING A FULL WINDOW INSTALLATION. PROVIDE A FULL WINDOW INSTALLATION. PROVIDE A FULL WINDOW INSTALLATION. PROVIDE A FULL WINDOW INSTALLATION.
- ALL EXTERIOR VENTS, DOWNS, MECHANICAL ROOMS AND ALL EXTERIOR FLOORING MATERIALS SHOULD BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIALS COLOR.
- ALL BUILDING PERMITS TO BE CONSIDERED WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMITS. PERMITS SHOULD BE OBTAINED FROM THE PLANNING DEPARTMENT. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMITS. PERMITS SHOULD BE OBTAINED FROM THE PLANNING DEPARTMENT.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED TO MATCH THE BUILDING WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN.
- ALL EXTERIOR VENTS, DOWNS, MECHANICAL ROOMS AND ALL EXTERIOR FLOORING MATERIALS SHOULD BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIALS COLOR.
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BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

EXT. FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW700 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW ST COPPER SW708 METAL V
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW910 ACER	MT-01	METAL	BLACK SANDPEBBLE FINE SW704 URBANE BRONZE
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW704 URBANE BRONZE	TR-01	TRANSPARENT	BLACK SANDPEBBLE FINE SW704 URBANE BRONZE
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW758			

EXT. FINISH LEGEND

MARK	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND	COLOR / FINISH	MATERIAL / BRAND
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW700 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW ST COPPER SW708 METAL V
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW910 ACER	MT-01	METAL	BLACK SANDPEBBLE FINE SW704 URBANE BRONZE
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW704 URBANE BRONZE	TR-01	TRANSPARENT	BLACK SANDPEBBLE FINE SW704 URBANE BRONZE
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW758			



ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION
1	A0	2025.05.16	SUBMITTED FOR PERMIT
3	A2	2025.07.16	FRANCHISE COMMENTS 100%
5	A4	2025.07.16	COMMENTS R2
7	A6	2025.09.15	COMMENTS R3

ISSUE:

ISSUED FOR PERMIT

ISSUE DATE: 2025.05.16

DRAWN BY: RT/AD

CHECKED BY: RB/AR

PROJECT #: BA-113-2401

SHEET NAME:

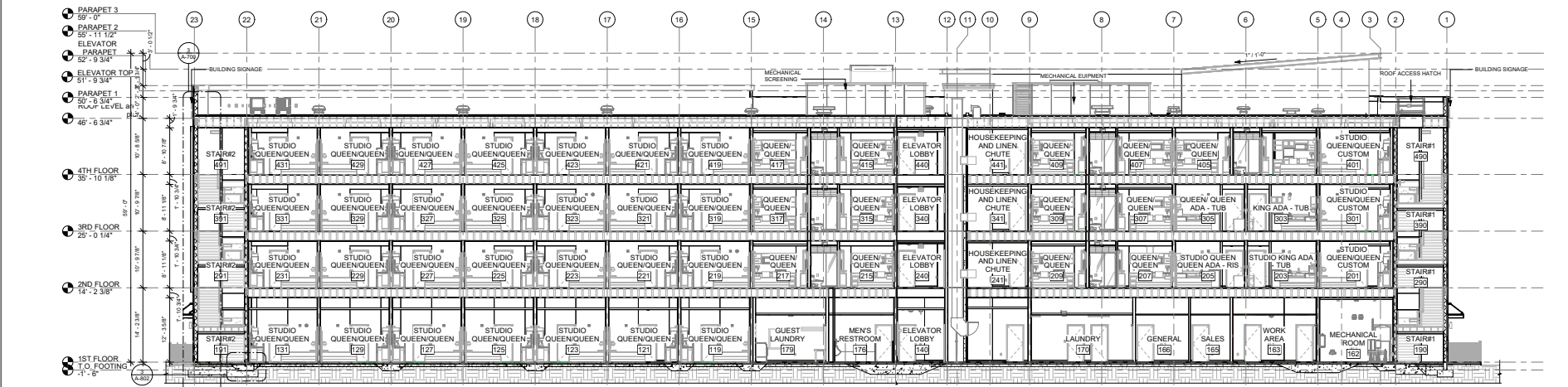
EXTERIOR ELEVATION & BUILDING SECTION

SHEET NUMBER:

A-602



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- REVIEW ALL SIGNS AND MARKINGS BEFORE LOCATING ROOF EQUIPMENT. VERIFY ALL EQUIPMENT IS IDENTIFIED BY SIGNAGE.
- GO TO PROVIDE A MARK WALL SHOWING A FULL WINDOW INSTALLATION. VERIFY ALL WINDOW SIZES AND LOCATIONS. VERIFY ALL WINDOW SIZES AND LOCATIONS. VERIFY ALL WINDOW SIZES AND LOCATIONS.
- ALL EXTERIOR VENTS, SHELLS, MECHANICAL ROOMS, MATCH ADJACENT EXTERIOR MATERIAL CO. OR.
- ALL BUILDING PERMITS TO BE CONSIDERED WITH THE APPROVED SITE PLAN. THE PLANNING DEPARTMENT DOES NOT REVIEW BUILDING PERMITS. PERMITS GO TO THE PLANNING DEPARTMENT FOR REVIEW. THE ELEVATIONS SUBMITTED IN THE BUILDING PERMIT SET MATCH THOSE APPROVED DURING THE SITE REVIEW PROCESS. IF THE ELEVATIONS DO NOT MATCH THOSE IN THE PERMIT SET, IT WILL DELAY THE SCHEDULE OF CONSTRUCTION AND MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION PERMIT.
- ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED TO MATCH THE BUILDING WITH THE ROOF COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

SIGNAGE NOTES

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- ELECTRICAL AND FINAL CONNECTIONS BY CONTRACTOR. VERIFY ALL ELECTRICAL CONNECTIONS TO BE OBTAINED FROM SIGN COMPANY.
- PERMANENT ACCESS DOORS TO BE LOCATED AT ALL PARAPETS WHERE SIGNAGE IS LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO VERIFY THESE PARAPETS ARE PROTECTED FROM WEATHER. THESE PARAPETS SHOULD BE WEATHER PROOF. ACCESS DOORS AT ROOF LEVEL OR ANYWHERE EXTERIOR OR WET CONDITIONS MUST BE WEATHER PROOF.
- EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MUST BE OBTAINED FROM SIGN COMPANY.

BUILDING SECTION NOTES

- ARCHITECTURAL FINISH FLOOR ELEVATIONS REFER TO TOP OF FINISH FLOOR ASSEMBLY. SEE STRUCTURAL DWGS FOR TOP OF STRUCTURE AND BEARING HEIGHT ELEVATIONS.

EXT. FINISH LEGEND			EXT. FINISH LEGEND		
MARK	MATERIAL / BRAND	COLOR / FINISH	MARK	MATERIAL / BRAND	COLOR / FINISH
EF-01	SHERWIN WILLIAMS	SANDPEBBLE FINE SW700 PEARL WHITE	EF-05	SHERWIN WILLIAMS	SHOW STOPPER SW708 WITH V. GRAY
EF-02	SHERWIN WILLIAMS	SANDPEBBLE FINE SW970 ACER	MT-01	METAL	MECHANICAL ROOMS FINE SW704 URBANE BRONZE
EF-03	SHERWIN WILLIAMS	SANDPEBBLE FINE SW704 URBANE BRONZE	RT-01	ROOF ACCESS HATCH	MECHANICAL ROOMS FINE SW704 URBANE BRONZE
EF-04	SHERWIN WILLIAMS	SANDPEBBLE FINE SW708			



Hawthorn
EXTENDED STAY

Hawthorn
EXTENDED STAY

Hawthorn
EXTENDED STAY



Hawthorn
EXTENDED STAY

Hawthorn

HAWTHORN
HOTEL BY HAWTHORN

HAWTHORN HOTEL BY HAWTHORN

Hawthorn
EXTENDED STAY

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: A25-1564 - SP - Plant Expansion, Charlotte Pipe and Foundry

REQUESTED ACTION: The Project Review Committee recommends approval.

CONTRACT:

BUDGET IMPACT:

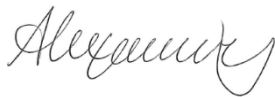
HISTORY/FACTS/ISSUES:

Case Number	A25-1564 Plant Expansion, Charlotte Pipe and Foundry
Owner/Applicant	Charlotte Pipe and Foundry Company
Acreage	33.26 +/-
Property Location	The subject property is generally located on the south side of CR 124A, 0.14 miles east of the intersection of N US 301 and CR 124A.
Parcel	D29-052

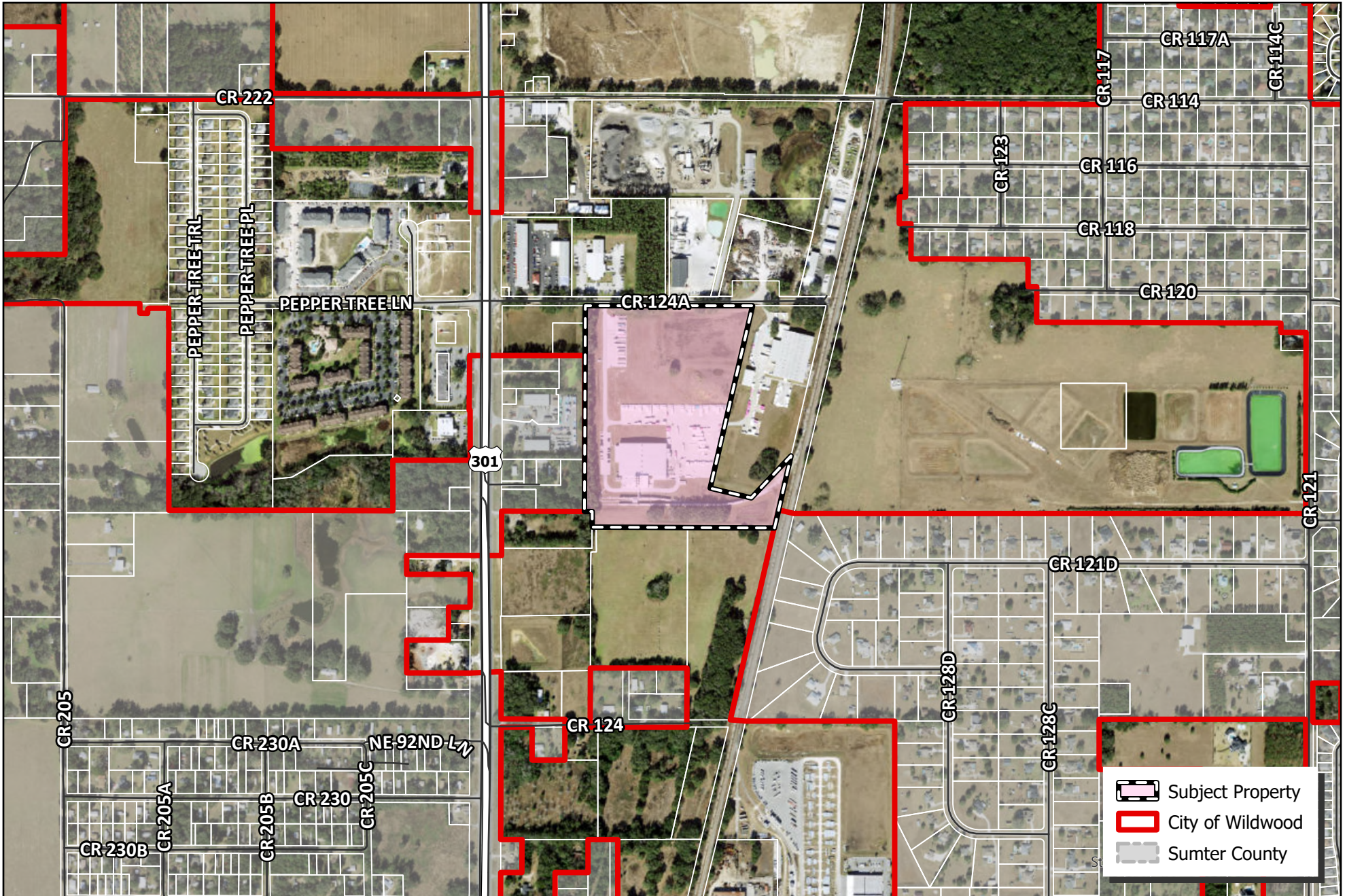
The applicant is seeking a favorable recommendation from the Special Magistrate acting as the Planning and Zoning Board for the construction of a 54,675 sq. ft. expansion to Charlotte Pipe and Foundry with an additional 80,080 sq. ft. outdoor pipe storage area, a 28,125 sq. ft. truck staging expansion, and associated infrastructure, on 33.26 acres MOL, as per the attached plans.

As of writing this report, the applicant has cleared comments. The applicant has agreed to allow the utility department to install additional level sensors on their manholes to ensure accurate data for monitoring. The applicant has received approval for a technical waiver to waive the parking requirement, please see attached.

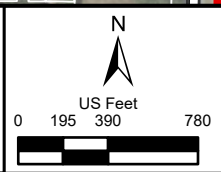
A25-1564 meets the criteria set fourth within the Land Development Regulations, Design District Standards, and is consistent with the goals, objectives, and policies of the City's Comprehensive Plan.



Alex Lammers
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-1564
PLANT EXPANSION, CHARLOTTE PIPE AND FOUNDRY
 PARCEL D29-052

MAP 1B
LOCATION
MAP
MAY 2025

CHARLOTTE PIPE AND FOUNDRY PROPOSED PLANT EXPANSION WILDWOOD, FLORIDA

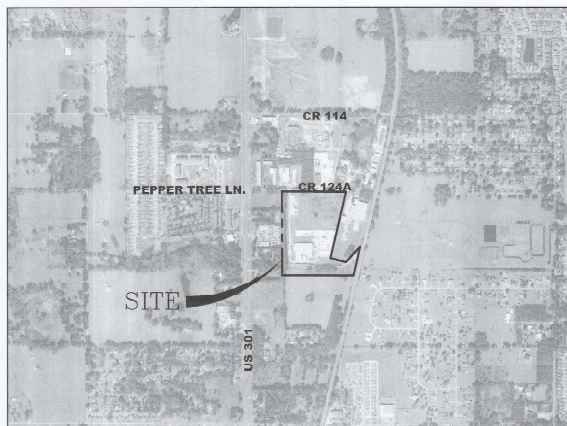
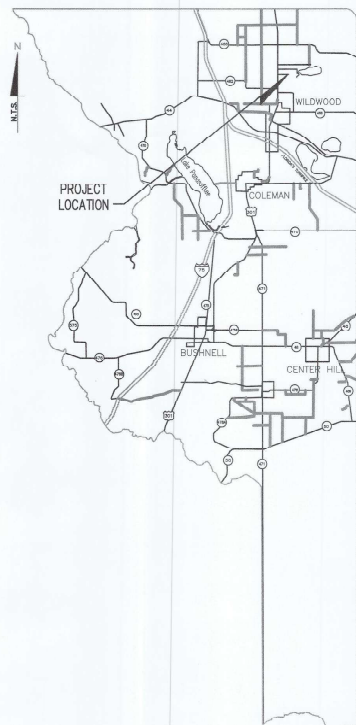
LEGAL DESCRIPTION: FROM TITLE SEARCH FILE NO. 098-4398
GUARDIAN LAND TITLE, INC. (EXHIBIT "A")

THE EAST 1/2 OF THE SW 1/4 OF T11N W14, AND THE EAST 1/4 OF NW 1/4 LYING WEST OF S. G.L. RAILROAD
RIGHT-OF-WAY LYING IN SECTION 26, TOWNSHIP 18, SOUTH RANGE 23 EAST, SUMNER COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING:

FROM THE INTERSECTION OF THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 26,
TOWNSHIP 18 SOUTH RANGE 23 EAST, SUMNER COUNTY, FLORIDA, AND THE WESTERLY LINE OF THE RIGHT
OF WAY OF THE RAILROAD AS SHOWN ON "SEASOARD AIRLINE COMPANY RIGHT OF WAY AND TRACK MAP
V2-FLA, L11, 27" RUN N 13° 10' 30" E 35.52 FEET TO A POINT 35.00 FEET NORTH OF, BY PERPENDICULAR
MEASUREMENT, THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 26, SAID
POINT BEING THE POINT OF BEGINNING, FROM SAID POINT RUN S 88° 48' 32" E 205.25 FEET ALONG A LINE
THAT IS PARALLEL WITH THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION
26 TO A POINT THAT IS 50.00 FEET WESTERLY OF, BY PERPENDICULAR MEASUREMENT, THE CENTERLINE
OF TRACKS LYING WITHIN THE ABOVE DESCRIBED RIGHT OF WAY, THENCE S 10° 30' W 696.62 FEET
PARALLEL WITH SAID CENTERLINE, THENCE ALONG AN ARC WITH THE RADIUS OF 468.34 FEET, A CHORD
BEARING OF 3° 55' 40" W, AND A CHORD DISTANCE OF 232.27 FEET, THENCE N 76° 48' 31" W 324.50 FEET
PERPENDICULAR TO THE AFORESAID CENTERLINE, THENCE N 12° 10' 30" E 1200.00 FEET, PARALLEL
WITH THE AFORESAID CENTERLINE, TO A POINT 35.00 FEET NORTHERLY, BY PERPENDICULAR
MEASUREMENT, THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 26,
THENCE S 88° 48' 32" E 205.25 FEET TO THE POINT OF BEGINNING.

CONTAINING 30.06 ACRES.



VICINITY MAP
PARCEL: D29-052



OWNER

CP&F
4149 CO. ROAD 124A
WILDWOOD, FL 34785
PHONE (352) 748-8100

AUTHORIZED AGENT / APPLICANT

AIRRON YARDY, PLANT MANAGER
CP&F
4149 CO. ROAD 124A
WILDWOOD, FL 34785
PHONE (352) 748-8100

CIVIL ENGINEER

BROOKS ENGINEERING, INC.
225 WEST MAIN STREET,
TAVARES, FLORIDA 32778
PHONE: (352) 343-8667
CONTACT: MICHAEL BROOKS, P.E.

PREPARED FOR:
BARRINGER CONSTRUCTION
4020 OLD PINEVILLE ROAD
CHARLOTTE, N.C. 28217
TELE: 704-337-2881

Brooks Engineering, Inc.

225 West Main Street, Tavares, Florida 32778
P (352) 343-8667 C (352) 418-2308
michael.hb49@yahoo.com
Registry No. 34748

Site Data

The proposed building shall be one story tall, the height of the proposed building to match the existing building, approx. 36.75 feet in height.

At the present time there are 52 employees employed for 2 shifts. It is estimated that Charlotte Pipe and Foundry will be hiring an additional 10 employees for a total of 62 employees employed for 2 shifts.

The intended use for the existing and proposed site expansion is the manufacture of PVC pipe.

Current Zoning M 1

Future Land Use Industrial

Existing Site 30.06 Acres 1,309,413.00 Sq. Ft.

Existing Building in approx. 79,769 Sq. Ft.

Existing Pipe Storage Area (Approx) 306,441 Sq. Ft.

Existing Roadway and Parking Area (Approx) 65,545 Sq. Ft.

Existing Truck Staging Area (Approx) 30,100 Sq. Ft.

Proposed Building Area 54,675 Sq. Ft.

Proposed Pipe Storage Expansion Area 60,000 Sq. Ft.

Proposed Roadway and Parking Expansion Area 4,545 Sq. Ft.

Proposed Truck Staging Expansion Area 28,125 Sq. Ft.

Total Impervious Area 552,284 Sq. Ft.

Percent Impervious Area (59) 41.9 %

888 Existing building 10.9 %

Open Space Proposed 58.1%

Setback (Under M-1 Zoning) Required Provided

Front Setback 35.0 Feet 850' J- foot

Rear Setback 15.0 Feet 450' J- foot

Side Setback 15.0 Feet 300' J- foot

Parking Requirements Industrial Required 1 per 275 sq ft Provided

Existing Building 79,769 Sq Ft 114 spaces 54 spaces

Proposed Building 54,675 Sq Ft 81 spaces 10 spaces

Parking Spaces that was provided when the site was first developed approx. 25 years ago.

Landscaping Area Required 1 per 25,000 sq ft Provided

Existing Building 79,769 Sq Ft 3 spaces 9 spaces

Proposed Building 54,675 Sq Ft 7 spaces 3 spaces

NOTE: The Loading Areas noted do not include the Truck Staging areas as provided and proposed for approx. 82 trucks.

UTILITIES:

WATER: CITY OF WILDWOOD
100 NORTH MAIN STREET
WILDWOOD, FL 34785
PHONE 352-330-1330
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY SERVICE
TO BE PROVIDED

SEWER: CITY OF WILDWOOD
100 NORTH MAIN STREET
WILDWOOD, FL 34785
PHONE 352-330-1330
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

ELECTRICAL: UTILX ENERGY
P.O. BOX 1084
CHARLOTTE, NC 28201
PHONE 877-372-8477
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

TELEPHONE: CENTURY LINK
P.O. BOX 12319
CHARLOTTE, NC 28201
PHONE 800-712-1996
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

INTERNET: A. T. & T.
P.O. BOX 2076
LAKELAND, FL 34031
PHONE 800-321-2000
PROPOSED BUILDING SERVICE TO THE INTO
EXISTING BUILDING, NO NEW UTILITY
SERVICE TO BE PROVIDED

REFUSE PICK UP: WASTE MANAGEMENT
3700 NE 44TH DRIVE
WILDWOOD, FL 34785
PHONE 562-1815/572

NATURAL GAS: NONE

SHEET NUMBER	SHEET TITLE
1	COVER
2	SURVEY
3	NOTES
4	EROSION CONTROL & DEMO PLAN
5	AERIAL OVERALL SITE PLAN
6	SITE PLAN
7	CONCRETE JOINT LAYOUT
8	PAVING GRADING & DRAINAGE PLAN
9	PAVING GRADING & DRAINAGE PLAN
10	UTILITY PLAN
11	FIRE PROTECTION PLAN
12	EROSION CONTROL DETAILS
13	CONSTRUCTION DETAILS
14	WATER DETAILS
15	WATER DETAILS
16	WATER & SEWER DETAILS
17	SEWER DETAILS

Required Fire Water Supply Calculations Per NFPA 8th Edition
This supply requirement is for firefighting use only.
Project = Charlotte Pipe Building expansion, 4149 Cr 124A Wildwood, FL

This is to establish the proper water supply, it is available per NFPA 8th Edition. These calculations determine the required volume of water that is to be available onsite.

Building Contents
Occupancy Hazard Classification - Industrial
Construction Type - Type II
Building addition will create one building of 124,558 Sq. Ft.
Fully fire sprinklered Building reduction will be used
Building Footprint - 124,260
Per table 18.4.5.2.1 requires 5,000 GPM
NFPA Chapter 18 paragraph 18.4.5.3.2 allows a reduction of 75% For Fully Fire Sprinklered Buildings
1000 GPM (min 75% = 1,750 Duration > 2 Hours
This exceeds the 1,000 GPM minimum NFPA Chapter 18 paragraph 18.4.5.3.2
Per Table 18.4.3.3 hydrants < 250' from the building can be credited with 1000 GPM at 20 PSI each.
Existing Fire Test Witnessed by - Ron Vique City of Wildwood and Ron Workman Barringer Const.
3000 ± 40 PSI
Residual = 32 PSI
Flowing = 1000 GPM
Friction Loss = 9.89 ± 0.0224
There are two fire hydrants on the 12" water main on opposite corners of the building.
These two hydrants meet the requirements of NFPA Chapter 18

Always call 811 two full business days before you dig



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BARRINGER CONSTRUCTION
4020 OLD PINEVILLE ROAD
CHARLOTTE, N.C. 28217
TEL: 704-337-2881

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
COVER
WILDWOOD, FLORIDA

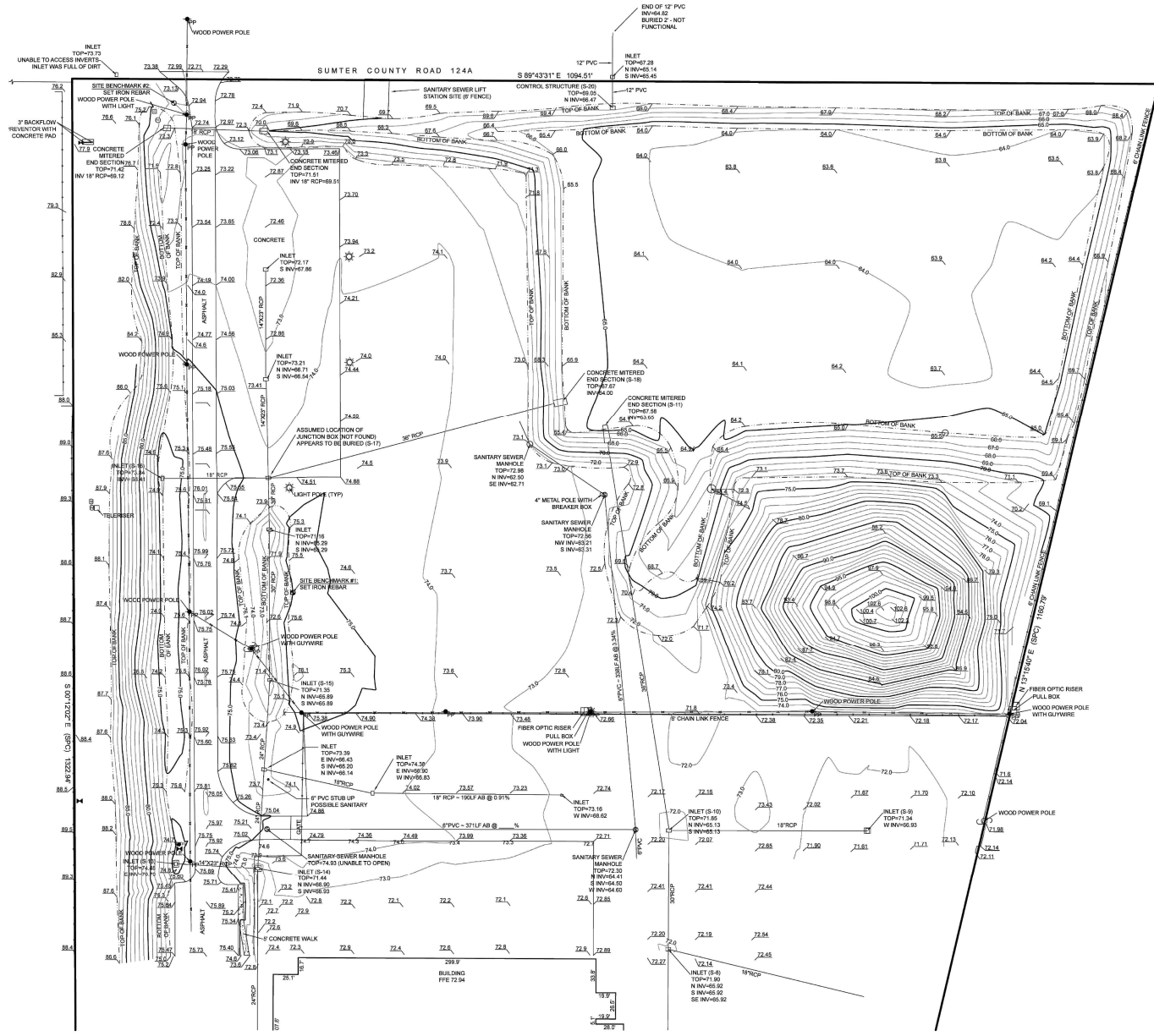


Drawn/Map	REVISION:	DATE:
Checked: MBZ	SUBMITTAL #3	07/10/25
Date: 25/08/25		
Scale: AS SHOWN		
Job No. # 24-0		
File No. 82-24-0		

Sheet: 1 of 17

MAP SHOWING TOPOGRAPHIC SURVEY OF

A PORTION OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 712, PAGE 807
 A PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMNER COUNTY, FLORIDA, AS DESCRIBED IN OFFICIAL RECORDS BOOK 712, PAGE 807 OF THE PUBLIC RECORDS OF SUMNER COUNTY, FLORIDA.



MEASUREMENT INFORMATION:
 NATIONAL GEODETIC SURVEY (NAD83) PID NO. CN 9190 (FULL DESCRIPTION CAN BE FOUND ONLINE AT <https://www.ngs.noaa.gov/heights/>). FOUND BORN IN CONCRETE AS DESCRIBED, STAMPED "170 (2011) NAVD83 ORTO HEIGHT ELEVATION + 95.12. HOWEVER, PRIOR WORK ON THE SUBJECT PARCELS SHOWN HEREON IS IN NAVD 1983 DATUM. ACCORDING TO THE "NAD 83 to NAVD 1983 Conversion and Transformation Tool (NACT)", FOUND ONLINE AT <https://www.ngs.noaa.gov/NACT/>. THE CONVERSION AT THIS LOCATION IS +0.84 FEET."

BM 1753 (2011) - ELEVATION 95.99 NAVD2011 DATUM USED FOR THIS PROJECT. MEASURED STATE PLANE COORDINATE = N 1605989.03, E 644397.99

SITE BENCHMARK #1:
 SET IRON REBAR AND CAP STAMPED LB 8154, ELEVATION 75.60 NAVD2011 DATUM, N 1688777.14, E 645172.21

SITE BENCHMARK #2:
 SET IRON REBAR PAD CAP STAMPED LB 8154, ELEVATION 73.68 NAVD2011 DATUM, N 1690705.43, E 645003.33

- NOTES:**
- BOUNDARY LINE INFORMATION SHOWN HEREON WAS TAKEN FROM ENGINEERING CAD FILE AND DRAWINGS FOR CHARLOTTE PIPE - INDUSTRIAL PLANT SITE PLAN SHEET C3 AND C3 DATED 07-1998. LAST REVISED 06-2000, AND IS FOR INFORMATION ONLY. THE BOUNDARY LINES SHOWN HEREON ARE A GRAPHIC DESCRIPTION ONLY REPRESENTING AN APPROXIMATION OF THE TRUE BOUNDARY LINES. THIS IS NOT A BOUNDARY SURVEY.
 - THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED SURFACE INDICATIONS ONLY AND MAY OR MAY NOT BE IN THE POSITION SHOWN. THE UTILITIES SHOWN HEREON MAY NOT EXIST AT ALL. THERE MAY BE ADDITIONAL SUBSURFACE ITEMS THAT WERE NOT OBSERVED OR READILY APPARENT AT THE SURFACE OF THE GROUND AND THEREFORE DO NOT APPEAR ON THIS SURVEY DRAWING. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE EXISTENCE OF OR THE LOCATION OF THE UTILITIES SHOWN ON THIS SURVEY DRAWING.

LEGEND:

- = BENCHMARK
- = OVERHEAD ELECTRIC
- X— = FENCE
- 24.8 = SOFT ELEVATION
- 74.88 = HARD ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- ☉ = LIGHT POLE
- ⊙ = WOOD POWER POLE
- ⊙ = WATER METER
- ⊙ = FIRE HYDRANT
- ⊙ = WATER VALVE
- ⊙ = COMMUNICATION BOX
- ⊙ = BURIED FIBER OPTIC CABLE

0 50 100

THIS DRAWING NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

<p>STANDARD NOTES: BEARING STRUCTURES BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE), BEARING OF 88°46'22" E ALONG THE MONUMENTED SOUTHERLY LINE OF THE OVERALL SUBJECT PARCEL.</p> <p>BY GRAPHIC: PLOTTING ONLY. THE CAPTIONED LANDS APPEAR TO BE WITHIN PL 000 7346 "7" AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAP DATED 8-27-2013 FOR THE CITY OF WILLOWOOD, FL. COMMUNITY NO. 120209, PANEL NO. 0060.</p>			<p>REGISTERED DIGITAL SIGNATURE</p> <p>Harold W Moore</p>	<p>CERTIFICATION: I HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR IN THE STATE OF FLORIDA, THAT THE INFORMATION SHOWN HEREON WAS COMPILED UNDER MY RESPONSIBLE CHARGE, AND, IN MY OPINION, AND TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE INFORMATION SHOWN HEREON IS IN COMPLIANCE WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 64-11.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007, FLORIDA STATUTES.</p>	<p>PREPARED FOR AND CERTIFIED TO:</p> <p>H & B CONSULTING ENGINEERS, INC.</p>	<p>P SQUARED SURVEY LLC SURVEYING BUSINESS NUMBER 8154 3030 DEE STREET, APOPKA, FLORIDA 32703 (407) 412-6946</p> <p>CONSTRUCTION LAYOUT - AS BUILT SURVEYING AND MAPPING - GPS SURVEYS</p>	<p>JOB NO. 311 FB - PG. NS 19, PG. 25-26 DC-SELE DRAWING: CHARLOTTE PIPE SUMTER DWS</p>
<p>NUMBER</p>	<p>DATE</p>	<p>BY</p>	<p>REVISION DESCRIPTION</p>	<p>HAROLD W MOORE, FLORIDA LAND SURVEYOR NO. 4253</p>	<p>DATE OF FIELD SURVEY: 12-2025</p>		

P:\Projects\Roads\314-18 Charlotte Pipe\Plan\8504-10 Charlotte Pipe\1034.dwg, 5/8/2025, 4/7/2025 10:16:38 AM, rdms: 0805 to PDR.pct, ARCH 8/8/2025 09:24:40 hsh1.1.1

CONSTRUCTION NOTES:

- ALL TRAFFIC CONTROL SIGNALS, OR DEVICES MUST COMPLY WITH THE FLORIDA STATE STATUTES REGARDING THE INSTALLATION.
- ALL TRAFFIC CONTROL SIGNALS, OR DEVICES MUST CONFORM TO THE MANUAL AND SPECIFICATIONS PUBLISHED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, TO INCLUDE BUT NOT LIMITED TO SIGNS SIZE AND HEIGHT.
- THE PROPOSED FDOT TYPE 'C' DRAINAGE STRUCTURES, W/ STEEL GRATES SHALL MEET THE LATEST EDITION OF THE FDOT STANDARDS 2002-25 INDEX 425-032.
- EXISTING AND PROPOSED BUILDING SETBACKS FROM THE BOUNDARY ARE:
 - FROM WEST PROPERTY LINE 200'+/-
 - FROM NORTH PROPERTY LINE 650'+/-
 - FROM SOUTH PROPERTY LINE 450'+/-
 - FROM EAST PROPERTY LINE 250'+/-
 - UNDER M-1 ZONING THE MINIMUM FRONT SETBACK IS 25'. REAR SETBACK IS 10', SIDE SETBACK IS 10'
- ALL CONSTRUCTION MATERIALS AND INSTALLATION OF PIPE SHALL FOLLOW THE CITY OF WILMWOOD STANDARD CONSTRUCTION SPECIFICATIONS FOR WATER AND SEWER.
- THE CONTRACTOR NEEDS TO SCHEDULE A PRE-CONSTRUCTION MEETING 2 WEEKS IN ADVANCE OF THE PROJECT COMMENCING WORK.
- THE INTENDED USE FOR THE PROPOSED SITE WORK/PLANT EXPANSION IS FOR THE MANUFACTURE OF PVC PIPE.
- THE PROPOSED BUILDING SHALL BE ONE STORY TALL, THE HEIGHT OF PROPOSED BUILDING TO MATCH EXISTING BUILDING, APPROX. 36.75 FEET.
- DIRECTIONAL BORING IS REQUIRED FOR DEVELOPMENT AND INFRASTRUCTURE PLANNED WITHIN ALL CRITICAL ROOT ZONES (CRZS) OF TREES.
- ALL CRITICAL ROOT ZONES SHALL HAVE ROOT PRUNING PRIOR TO PERMANENT IRRIGATION INSTALLATION.
- ALL DEVELOPMENT WITHIN FLOOD PRONE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF SWFWMD AND THE CRITERIA IN THE FLOOD HAZARD REGULATIONS SECTION OF CITY OF WILMWOOD CODE.
- TEMPORARY SEEDING AND MULCHING SHALL FOLLOW IMMEDIATELY FOR AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 CALENDAR DAYS OR LONGER.
- ALL EROSION PRACTICES SHALL MEET THE REQUIREMENTS OF THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
- TREE PROTECTION IN CONFORMANCE WITH ANSI A300, ALL 10 PARTS, AND THE ACCOMPANYING BEST MANAGEMENT PRACTICES (BMPs) FOR EACH OF THE 10 STANDARDS.
- AT THE PRESENT TIME THERE ARE 52 EMPLOYEES EMPLOYED FOR 2 SHIFTS. IT IS ESTIMATED THAT CHARLOTTE PIPE WILL BE HIRING AN ADDITIONAL 10 EMPLOYEES FOR A TOTAL OF 62 EMPLOYEES EMPLOYED FOR 2 SHIFTS.

NOTE: THE FOLLOWING ITEMS FOR THE PROJECT SHALL BE NOTED IN THE ORDER OF CONSTRUCTION.

- IT SHALL BE NOTED THAT AT NO TIME SHALL THE EXISTING PIPE STORAGE AREA AND THE TRUCK STAGING AREA BE DISTURBED. THESE AREAS SHALL REMAIN OPEN AND OPERATIONAL AT ALL TIMES.
- AS PER REQUIREMENTS FROM CHARLOTTE PIPE ABSOLUTELY NO VEHICLE TRAFFIC SHALL BE ALLOWED ON THE NEW CONCRETE SURFACES FOR A MINIMUM OF 7 DAYS.
- ALL SEWER LINE CONSTRUCTION SHALL BE DONE AND APPROVED FOR USE PRIOR TO THE PLACEMENT OF ANY OF THE NEW CONCRETE SURFACES.
- ALL EARTHWORK INCLUDING THE REMOVAL OF THE EXISTING UNSUITABLE MATERIAL STOCKPILE AND THE CONSTRUCTION OF THE EXPANSION OF THE EXISTING WRA SHALL BE ACCOMPLISHED PRIOR TO THE PLACEMENT OF ANY OF THE PROPOSED CONCRETE SURFACES. WE DO NOT WANT TO HAVE ANY HAIL ROUTES CROSSING OVER THE NEWLY PLACED CONCRETE.
- THE NEW SEWER LINE BETWEEN THE EXISTING MANHOLE AND THE NEW MANHOLE S-4 SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF THE NEW DRIVEWAY.
- UPON THE CONSTRUCTION OF THE NEW SEWER LINE AS NOTED ABOVE THE SOUTH SIDE OF THE EXISTING DRIVEWAY SHALL NOT BE DISTURBED AND SHALL REMAIN OPEN FOR TRAFFIC INTO THE EXISTING PIPE STORAGE AREA.
- ALL SEWER LINE CONSTRUCTION SHALL BE DONE AND APPROVED/CLEARED FOR USE PRIOR TO THE PLACEMENT OF ANY OF THE NEW CONCRETE SURFACES.
- THE NEW DRIVEWAY SHALL BE CONSTRUCTED AND THE REQUIRED WAITING PERIOD OF 7 DAYS MINIMUM SHALL BE NOTIFIED PRIOR TO OPENING THIS DRIVEWAY TO TRAFFIC.
- AFTER THE EARTHWORK HAS BEEN COMPLETED THE WORK ON THE PLACEMENT OF THE PIPE STORAGE AREA CAN BE ACCOMPLISHED. WORK IN THIS AREA SHALL BE DONE GOING FROM EAST TO WEST. THIS WORK SHALL INCLUDE THE RAISING AND PLACEMENT OF ANY INLETS AND DRAINAGE PIPE.
- COORDINATION SHALL BE DONE BETWEEN THE CONTRACTOR, CHARLOTTE PIPE AND DUKE ENERGY FOR THE REMOVAL OF THE EXISTING WITHIN WORK PIPES AND THE EXISTING FIBER OPTIC LINE THRU THIS AREA.
- AFTER THE NEW DRIVEWAY HAS BEEN PLACED THE WORK CAN BE DONE ON THE REMOVAL OF THE EXISTING CONCRETE SURFACES FOR THE WATER MAIN RELOCATION AND THE NEW BUILDING CONSTRUCTION.
- AFTER THE WATER MAIN HAS BEEN CLEARED FOR USE BY THE EXISTING WATER MAIN CAN BE REMOVED.
- NEW MANHOLES S-1 AND S-2 CAN BE INSTALLED AND THE EXISTING SEWER MAIN BETWEEN THEM CAN BE "T.V.E.D" FOR ITS CONDITION. EXISTING MANHOLE 2 CAN BE REMOVED AT THIS TIME.
- AFTER THE NEW SEWER LINE HAS BEEN CLEARED FOR USE WITH FDEP THE EXISTING SEWER LINE CAN BE FILLED UTILIZING "FLOWABLE FILL".
- AFTER THE WORK ON THE PIPE STORAGE AREA HAS BEEN COMPLETED THE WORK ON THE TRUCK STAGING AREA SHALL BE DONE.
- AFTER THE BUILDING CONSTRUCTION HAS BEEN COMPLETED THE CONCRETE OVER THE TOP OF THE WATER MAIN ADJACENT TO THE NEW BUILDING CAN BE REPLACED.
- IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE EXISTING SITE IS TO REMAIN SECURE AT ALL TIMES.
- ANY TEMPORARY FENCING SHALL BE SUPPLIED AND MAINTAINED TO ENSURE THAT THE SITE REMAINS SECURE.
- ALL NEW FENCING TO BE INSTALLED AFTER THE COMPLETION OF THE CONSTRUCTION SHALL MATCH THE EXISTING FENCING.
- THE NEW GATE FOR THE ENTRANCE DRIVE SHALL BE INSTALLED AND COORDINATED WITH ON-SITE CHARLOTTE PIPE STAFF. THE CONTROLS FOR THE GATE SHALL BE INSTALLED BY THIRD PARTY COORDINATED BY ON-SITE CHARLOTTE PIPE STAFF.
- THERE SHALL BE NO TRAFFIC ALLOWED ON THE NEWLY PLACED CONCRETE SURFACES FOR A MINIMUM OF 7 DAYS AFTER PLACEMENT AS PER REQUIREMENTS FROM "CHARLOTTE PIPE, NORTH CAROLINA CORPORATE MANAGEMENT".
- ALL SITE WORK SHALL NOTE AND FOLLOW RECOMMENDATIONS AS PER THE ON-SITE SOILS REPORT BY CENTRAL TESTING LABORATORY PROJECT NUMBER # 2484136.200, DATED 12-17-24.

Brooks Engineering, Inc.
 225 West Main Street, Tallahassee, Florida 32378
 P (904) 344-8867 C (904) 446-2106

PROPOSED CONSTRUCTION
 2025 JUL 10 10:58 AM
 CHARLOTTE, N.C. 28217
 TELE: 704-337-2551

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 NOTES
 WILMWOOD, FLORIDA

Michael Z Brooks
 7/27/25

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MICHAEL Z BROOKS PE FL REG NO 3884

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Sheet: 3 of 17



LEGEND

— PROPERTY LINE

— FENCE TYPE III SILT FENCE

DEMOLITION NOTES
ALL EXISTING IMPROVEMENTS SHOWN IN DARK ARE TO BE REMOVED.

- KEY NOTES:**
- 1) INSTALL 867 L.F. OF SILT FENCE BARRIER.
 - 2) INSTALL 442 L.F. OF SILT FENCE BARRIER.
 - 3) INSTALL 123 L.F. OF SILT FENCE BARRIER.
 - 4) INSTALL 588 L.F. OF SILT FENCE BARRIER.
 - 5) INSTALL 1422 L.F. OF SILT FENCE BARRIER.
 - 6) PROTECT EXISTING INLET WITH SEDIMENT CONTAINMENT SYSTEM MAT.
 - 7) SAW CUT EXISTING CONCREFT AND REMOVE AS SHOWN.
 - 8) EXISTING 10" WATERLINE TO BE REMOVED.
 - 9) EXISTING SANITARY SEWER MAIN & SERVICE LATERAL TO BE REMOVED. REFER TO SHEET 10 "UTILITY PLAN".
 - 10) EXISTING LIGHT POLE TO BE RELOCATED.
 - 11) COORDINATION SHALL BE DONE BETWEEN THE CONTRACTOR, CHARLOTTE PIPE AND DUKE ENERGY FOR THE REMOVAL AND RELOCATION / REPLACEMENT OF THE EXISTING WOODEN POWER POLES AND THE EXISTING "FIBER OPTIC LINE" THRU THIS AREA.
 - 12) APPROXIMATE LOCATION OF DESIGNATED CONCRETE WASHOUT AREA.

- NOTES:**
1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
 2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER SLOPE AREA HAS BEEN STABILIZED BY SO2, OR COMPACTED AS DETERMINED BY THE OWNER.
 3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
 4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPANDED IN LIEU OF PERMANENT MEASURES.
 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
 7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
 9. ALL SWPPP METHODS/DETAILS SHALL MEET THE MOST RECENT DDCM MANAGEMENT PRACTICES.

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6020 OLD DUNWELLY ROAD
TALLAHASSEE, FL 32311
TEL: 784-437-2881

**CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
EROSION CONTROL
& DEMC PLAN
MILWAUKEE, FLORIDA**

Michael Z Brookes PE
3 Sept 25

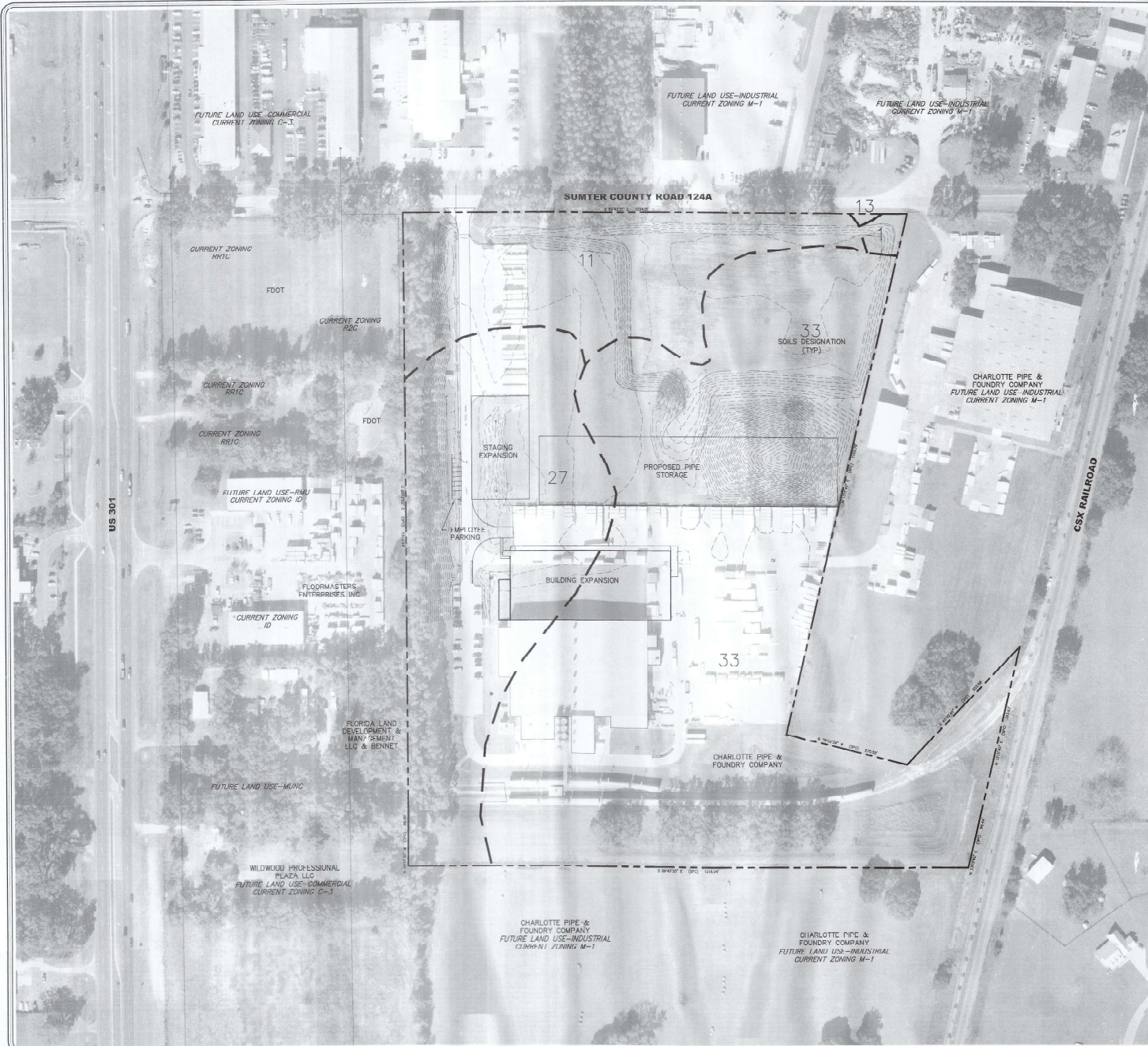
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MICHAEL Z BROOKES PE FL REG. NO. 38814

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Sheet 4 of 17

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- NOTES:
- BOUNDARY DIMENSIONS AS PER ORIGINAL BOUNDARY SURVEY, HUNTS SURVEYING AND MAPPING, JANUARY 1996.
 - AERIAL PHOTO FROM SUMTER COUNTY GIS.

LEGEND:

SOIL TYPE	MAP SYMBOL	HYDROLOGIC SOIL GROUP	AREA
ARREDONDO FINE SAND, 0% - 5% SLOPES	1	A	0.2
LAKE FINE SAND, 0% - 5% SLOPES	8	A	1.7
MILLHOPPER SAND, 0% - 5% SLOPES	11	A	5.0
JAYAVEL FINE SAND, 0% - 5% SLOPES	13	A	0.4
SAWYERVILLE FINE SANDS BOLDERY SUBSURFACE, 0% - 5% SLOPES	27	C/D	18.3
SPARR FINE SAND, BOULDERY SUBSURFACE, 0% - 5% SLOPES	33	A/D	33.3

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BUSINESS CONSTRUCTION
 4020 OLD MANATEE ROAD
 CHARLOTTE, N.C. 28217
 TEL: 704-534-2581

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 AERIAL OVERALL SITE PLAN
 WILDWOOD, FLORIDA

Michael J. Brooks
 2/20/25

This form has been digitally signed & sealed by Michael J. Brooks, PE on the date indicated to the right. Printed copies of this document are not considered signed and no electronic copies may be verified on any electronic copies.

MICHAEL J. BROOKS, PE FL REG. NO. 3884

REVISION	DATE
Checkered: MJB	05/19/25
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Alt Key #	
File No. B01-24-10	

DATE: 07/10/25
 SUBMITTAL # 3

Sheet: 5 of 17

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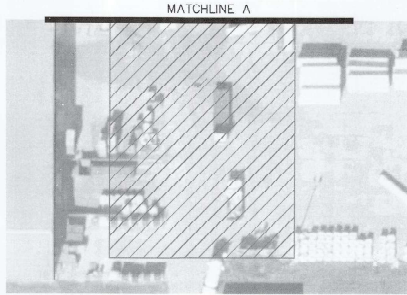
LEGEND

- PROJECT BOUNDARY
- - - PROPOSED ROAD
- BUILDING SETBACK/EASEMENT LINE
- WALL
- [Pattern] CONCRETE PAVEMENT
- [Pattern] NEW BUILDING
- [Pattern] NEW PAVEMENT
- [Pattern] TRUCK LOADING ZONE APPROX. 100'x300'

KEY NOTES:

- 1) CONSTRUCT 6" THICK CONCRETE. SEE SHEET 7 "CONCRETE JOINT LAYOUT" FOR DETAIL.
- 2) CONSTRUCT ASPHALT EMPLOYEE PARKING.
 - 1" TYPE S-3 ASPHALTIC CONCRETE
 - 6" LIMEROCK BASE, LBR 100 (PRIMED)
 - 12" TYPE B STABILIZED SUB-BASE, LBR 40
- 3) REPLACE WITH 6" THICK CONCRETE.
- 4) 4" WIDE WHITE STRIPE (TYP)

NOTE:
LOADING ZONE IS PRIVATE WITH NO PUBLIC ACCESS.



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BARRINGER CONSTRUCTION
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 SUITE 100, FT. LAUDERDALE, FL 33309
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CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 SITE PLAN
 WILDWOOD, FLORIDA

Michael J. Brooks
 3 Sept 2024

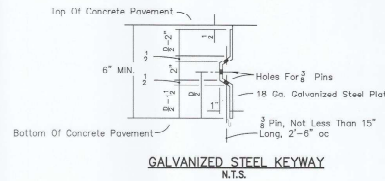
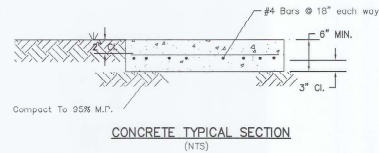
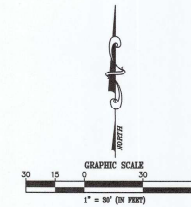
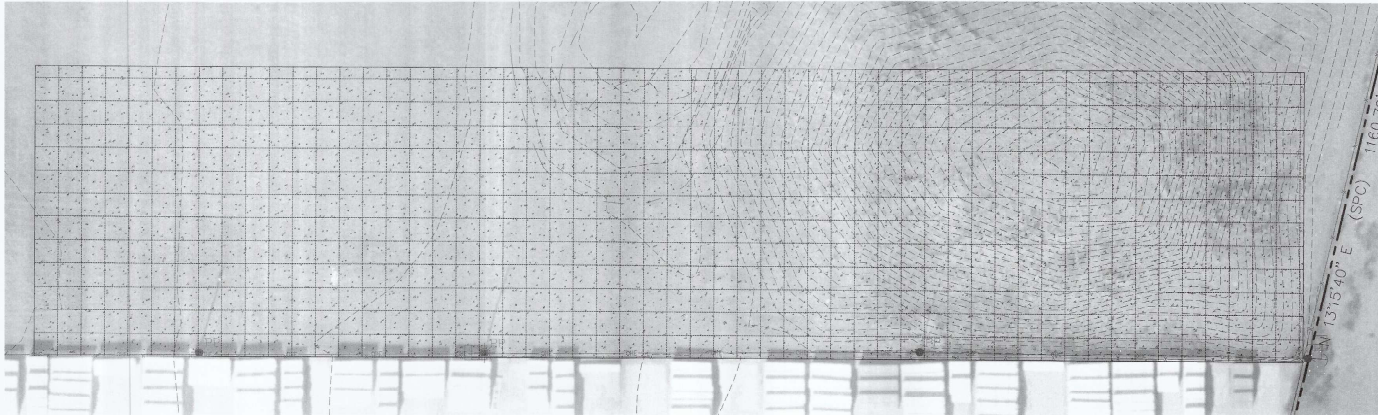
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MICHAEL J. BROOKS, P.E. FL. REG. NO. 10847

PROJECT #	SECTION	DATE
CONTRACT #	SUBMITAL #	07/10/24
DATE 09/19/24		
SCALE: AS SHOWN		
TITLE: SEE 24-C		
FILE NO: 161-24-C		

Sheet: 6 of 17

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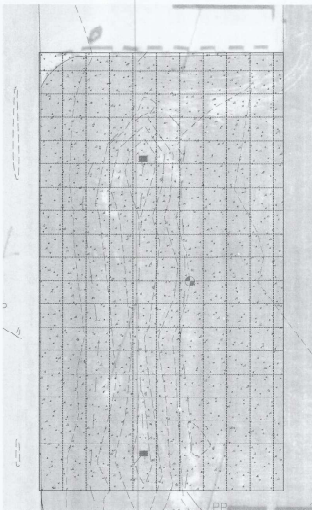


NOTE: ALL EAST-WEST JOINTS ARE KEYS JOINTS. ALL NORTH-SOUTH JOINTS ARE 1/8" SAW-CUT JOINTS. SAW-CUTS SHALL BE MADE 6 HRS. AFTER PAVING. USE CURING COMPOUND AS PER FDOT SPECIFICATIONS. NO TRAFFIC UNTIL ONE WEEK, 7 DAYS. AFTER PAVING.

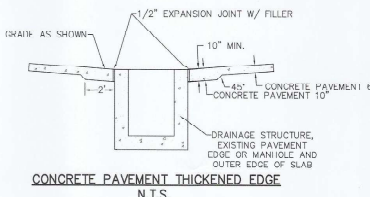
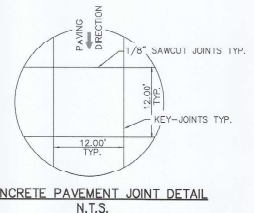
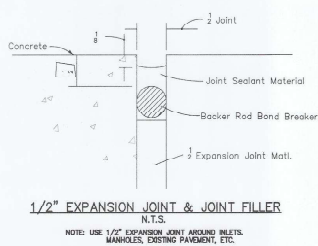
BACKER ROD BOND BREAKER (CONCRETE-CONCRETE JOINTS)				
JOINT DIMENSIONS (INCHES)				
JOINT WIDTH	SEALANT BEAD THICKNESS	BACKER ROD DIAMETER	MINIMUM JOINT DEPTH	BACKER ROD PLACEMENT DEPTH
1/4"	1/4"	3/16"	1"	1/2"
3/8"	1/4"	3/16"	1 1/4"	1/2"
1/2"	1/4"	3/16"	1 1/2"	1/2"
5/8"	5/16"	1/4"	1 1/2"	1/2"
3/4"	3/8"	1"	1 3/4"	1/2"
1"	7/16"	1 1/8"	1 3/4"	1/2"
1 1/4"	1"	1 1/2"	2"	1/2"
> 1"	1 1/2"	1 1/2"	2"	1/2"

Unless otherwise indicated on the plans the joint width for new construction will be 1/4" for construction joints, for all other joints.

For rehabilitation projects the joint width will be shown on the plans or established by the Engineer based on field conditions.



- Steel Foundation Structural Notes**
- The Soil Beneath The Footings Shall Be Compacted To A Minimum Of 95% Of Modified Proctor Such That The Soil Compressive Strength Without Settlement Shall Be 1500 PSF Or Greater.
 - Concrete Shall Be FDOT Class II(c) Having Minimum 28-Day Compressive Strength Of 4,000 PSI. Concrete To Be Additionally Reinforced With A Fiber Mesh Additive
 - Reinforcing Steel Shall Be ASTM A615 Grade 60.
 - Contractor To Provide Compaction Test Results Under Concrete.
 - Refer to CTL Soils Report Dated 12/17/2024 for additional information.



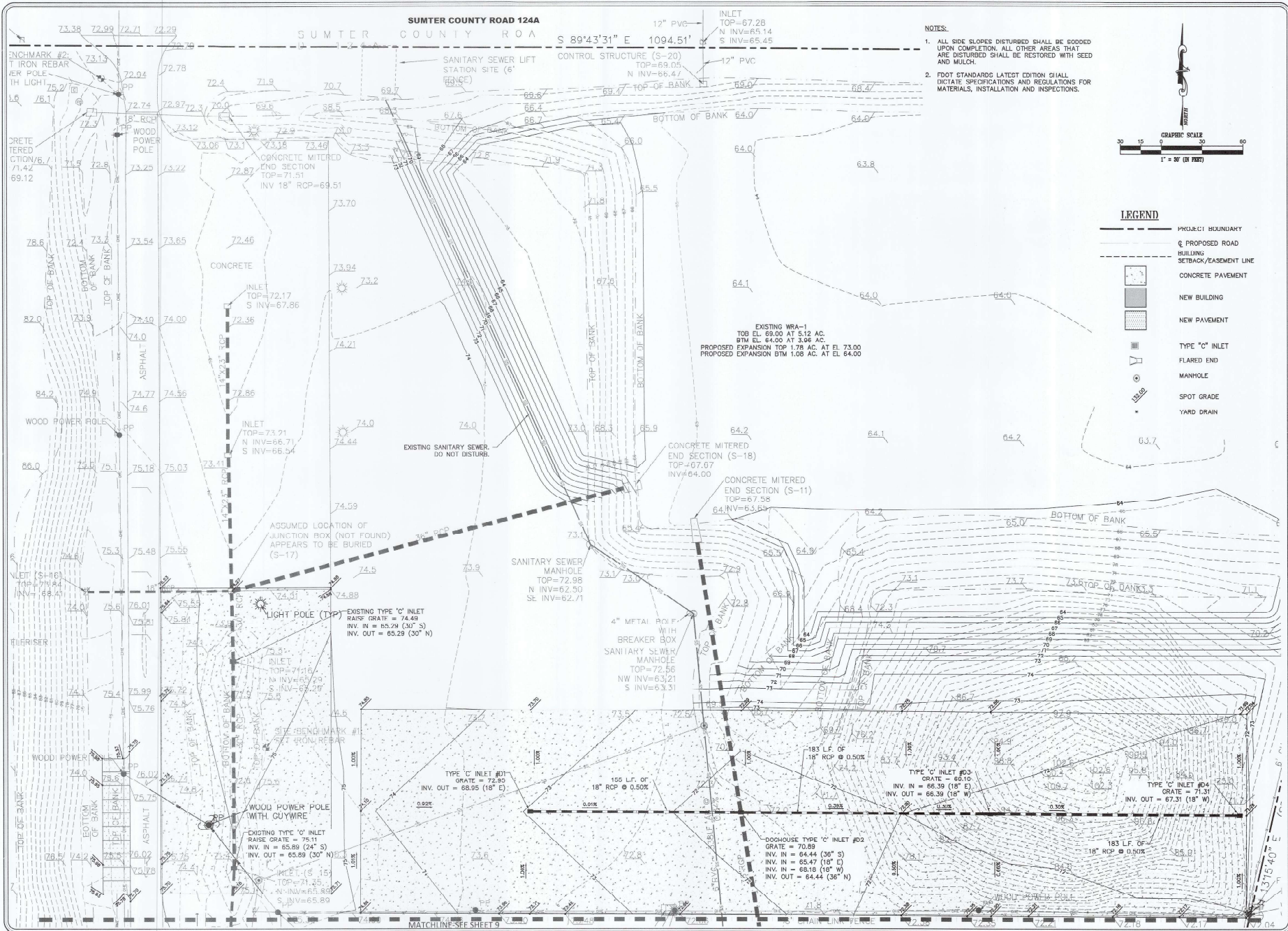
Brooks Engineering, Inc.
225 West Main Street, Tampa, Florida 33778
P: (813) 545-8667 C: (813) 419-2309

BARRINGER CONSTRUCTION GROUP, INC.
225 West Main Street, Tampa, Florida 33778
P: (813) 545-8667 C: (813) 419-2309

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
CONCRETE JOINT LAYOUT
WILDWOOD, FLORIDA

Michael J. Brooks
P.E.
Professional Engineer
FL REG. NO. 38814

Drawn: RAP
Checked: MZB
Date: 06/16/25
Scale: AS SHOWN
Alt. Key #
Rev. No.: 00 24-10
DATE: 07/10/25
SUBMITTAL #3
Sheet: 7 of 17



- NOTES:
1. ALL SIDE SLOPES DISTURBED SHALL BE SLODED UPON COMPLETION. ALL OTHER AREAS THAT ARE DISTURBED SHALL BE RESTORED WITH SEED AND MULCH.
 2. FOOT STANDARDS LATEST EDITION SHALL DICTATE SPECIFICATIONS AND REGULATIONS FOR MATERIALS, INSTALLATION AND INSPECTIONS.

LEGEND

- PROJECT BOUNDARY
- PROPOSED ROAD
- SETBACK/EASEMENT LINE
- CONCRETE PAVEMENT
- NEW BUILDING
- NEW PAVEMENT
- TYPE "C" INLET
- FLARED END
- MANHOLE
- SPOT GRADE
- YARD DRAIN

Brooks Engineering, Inc.
 222 West Main Street, Tallahassee, Florida 32301
 TEL: (904) 344-8822 FAX: (904) 344-8823

BARRINGER CONSTRUCTION
 4020 OLD PINEVILLE ROAD
 JACKSONVILLE, FLORIDA 32217
 TEL: (904) 333-3880

CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 AND PAVING GRADING &
 DRAINAGE PLAN
 WILDWOOD, FLORIDA

Michael H. Havel
 3/24/2017

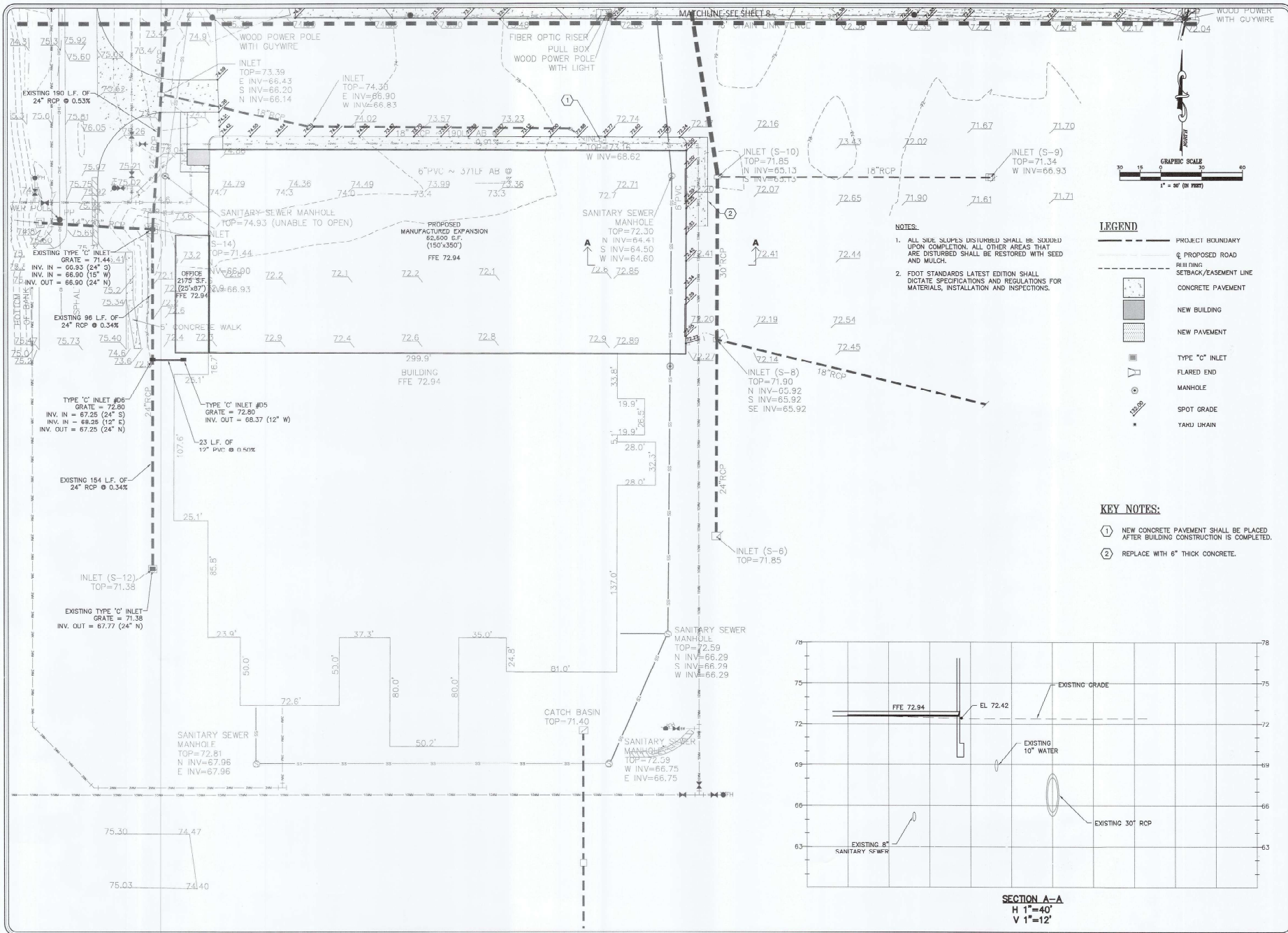
This plan has been digitally signed and sealed by Michael H. Havel, P.E. on the date indicated in the seal. Printed copies of this sealed and signed drawing must be verified on the electronic copies.

MICHIGAN 2 PROFESSIONAL ENGINEER LICENSE NO. 30894 DATE:

Drawn: JAS	DATE:
Checked: JAS	SUBMIT DATE: 07/20/22
Date: 7/18/22	
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Plot Date: 7/18/22	
Plot Time: 08:24:16	
Plot File: 08_24-16	

Sheet: 8 of 17

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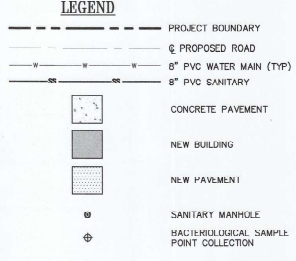
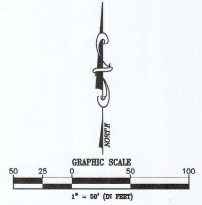
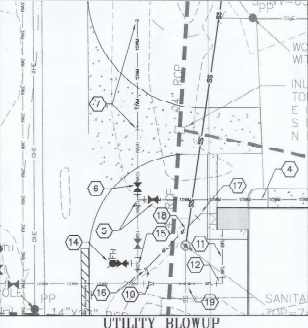
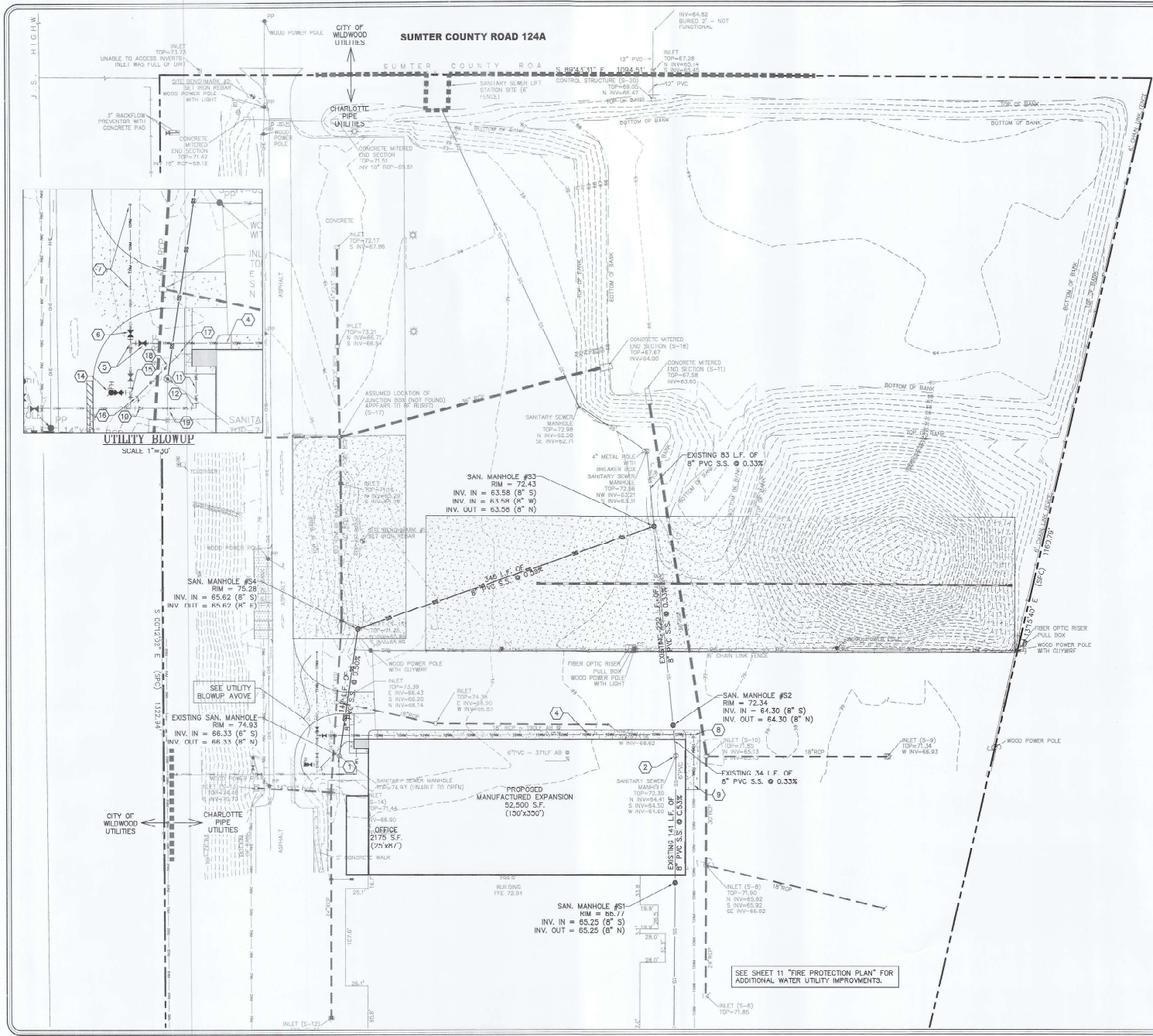
Books Engineering Inc.
225 West Mohr Street, Ft. Lauderdale, Florida 33318
P (352) 343-8867 C (352) 416-2306

RANSBERG CONSULTING
4029 OLD FINEVALE ROAD
CHARLOTTE, N.C. 28217
TEL: 704-537-7558

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
PAVING GRADING &
DRAINAGE PLAN
WILDWOOD, FLORIDA

Michael S. Brooks
P.E.
This form has been digitally signed & sealed by Michael S. Brooks, P.E. on 07/10/25. The document is the only version signed by the author. Any other version of this document is not valid. The signature is not visible on any electronic copies.

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Date: 06/19/25		
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Alt. Key #		
Proj. No. 24-0		
Sheet: 9 of 17		



- KEY NOTES:**
- 1 RECONSTRUCT THROAT OF EXISTING MANHOLE TO FLOW NORTH. REMOVE EXISTING 8" SERVICE TO THE NORTH & CONSTRUCT NEW 8" LINE FLOWING NORTH. CAP SEWER MAIN TO THE EAST.
 - 2 REMOVE EXISTING MANHOLE, CAP LINE TO THE WEST. FILL SEWER MAIN TO WEST WITH FLOWABLE CONCRETE. IF SEWER MAIN IS ENCOUNTERED DURING BUILDING SLAB CONSTRUCTION, THEN SEWER MAIN SHALL BE REMOVED, REPAIR & RE-PI A/C. 12" WATER MAIN WHERE MANHOLE IS BEING REMOVED.
 - 3 TERMINATE EXISTING 10" WATERMAIN WITH M.J.D.I. 10" CAP.
 - 4 CONSTRUCT 10" PVC C-900 WATER MAIN.
 - 5 WET TAP EXISTING 10" PVC WATER MAIN WITH 10"x10" TAPPING SLEEVE & 10" VALVE.
 - 6 INSTALL 10" M.J.D.I. GATE VALVE & BOX.
 - 7 REMOVE EXISTING CAP & EXTEND 10" PVC C-900 WATER MAIN 56 L.F. INSTALL M.J.D.I. CAP.
 - 8 INSTALL 10" M.J.D.I. 90° BEND.
 - 9 TIE INTO EXISTING 10" PVC WATER MAIN.
 - 10 INSTALL 10"x8" M.J.D.I. REDUCER (POC)
 - 11 CONSTRUCT 8" DR-14 FIRE LINE.
 - 12 INSTALL 8" M.J.D.I. 90° BEND.
 - 13 -
 - 14 INSTALL FIRE HYDRANT ASSEMBLY
 - 15 WET TAP EXISTING 10" PVC WATER MAIN WITH 10"x8" TAPPING SLEEVE & 8" VALVE.
 - 16 INSTALL FIRE DEPARTMENT CONNECTION (FDC) WITH INVENVUS FP-35 FOR FREEZE PROTECTION
 - 17 INSTALL 4" M.J.D.I. 45° BEND.
 - 18 CONSTRUCT 4" DR-14 FIRE LINE.
 - 19 INSTALL FIRE LINE BACKFLOW PREVENTER DEVICE WITH INVENVUS FP-35 FOR FREEZE PROTECTION

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BARNWELL CONSTRUCTION
 4402 OLD PINEHOLE ROAD
 TALLAHASSEE, FL 32304
 TEL: 904-332-2581

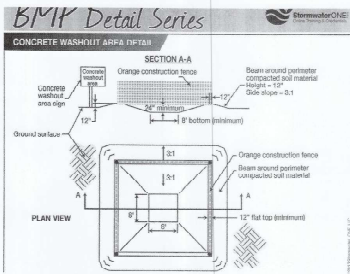
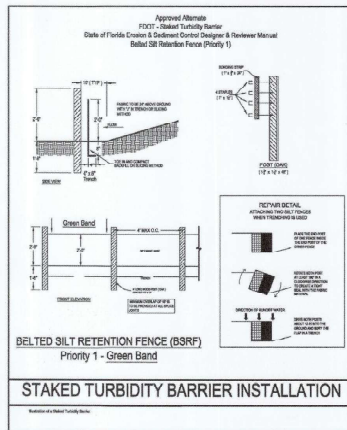
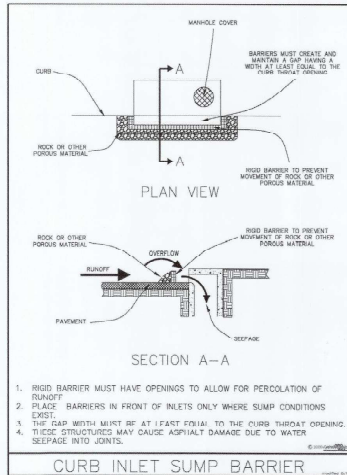
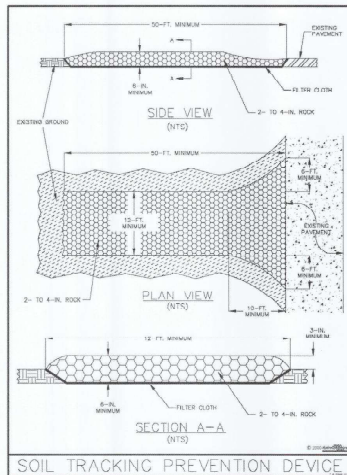
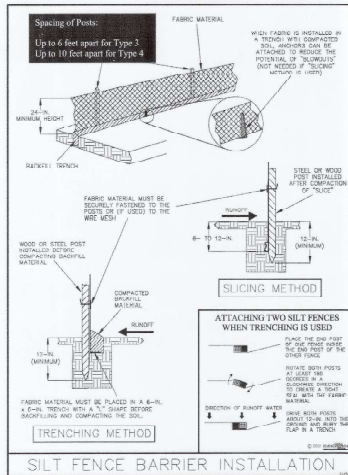
**CHARLOTTE PIPE AND FOUNDRY
 PROPOSED PLANT EXPANSION
 UTILITY PLAN
 MLDWOD, FLORIDA**

Michael J. Brooks
 2-5-2017

Drawn: RUP	REVISIONS:	DATE:
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Designed: JWB	2	08/25/25
Scale: AS SHOWN		
Author: JWB		
Proj. No: 2025-10		

Sheet 10 of 17

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ALL SWPPP METHODS/DETAILS SHALL MEET THE MOST RECENT FDP BEST MANAGEMENT PRACTICES.

STATE OF FLORIDA F&S DESIGNER & REVIEWER MANUAL - LATEST EDITION: JULY 2013

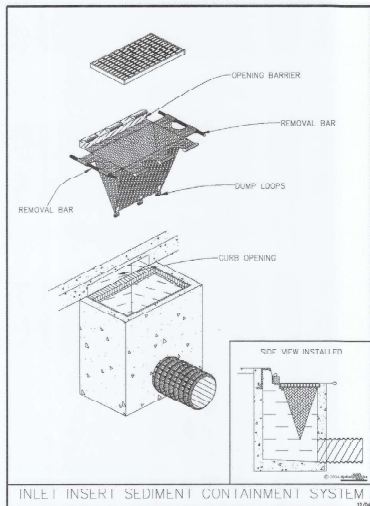
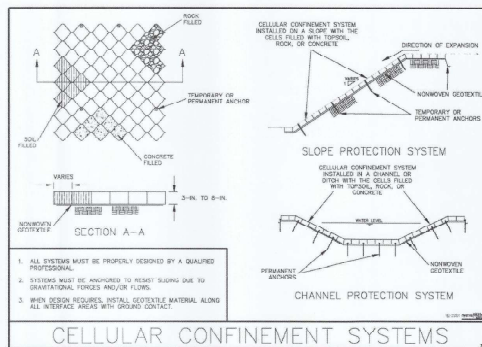


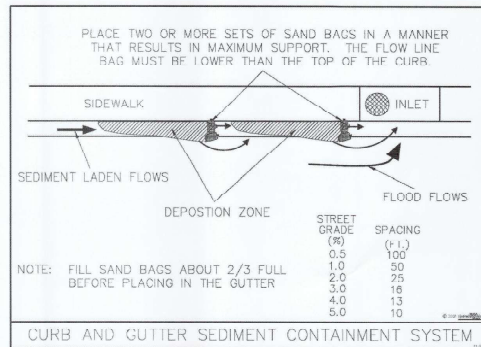
Figure V-18: Illustration of an Inlet Insert Sediment Containment System

Revisions to graphic by: [illegible]

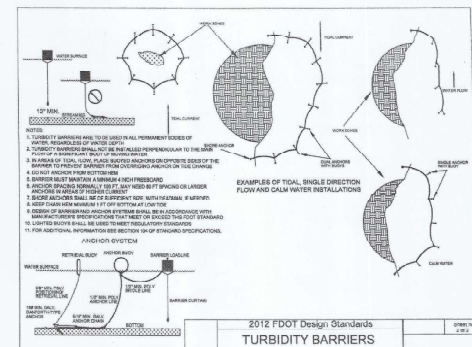
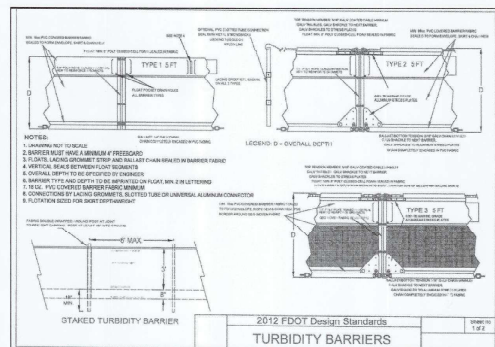
V-42



CELLULAR CONFINEMENT SYSTEMS



CURB AND GUTTER SEDIMENT CONTAINMENT SYSTEM



2012 FDOT Design Standards TURBIDITY BARRIERS

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225 West Main Street, Tallahassee, Florida 32378
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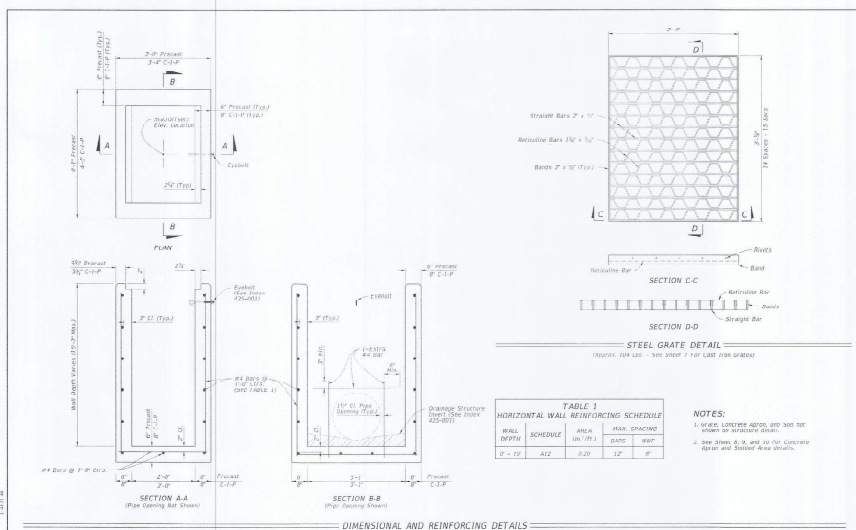
BARRIER CONSTRUCTION
CHARLOTTE, N.C. 28217
TEL: 704-337-2881

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
EROSION CONTROL DETAILS
WILDWOOD, FLORIDA

Michael Z. Brooks
This Plan has been digitally signed & sealed by Michael Z. Brooks PE, Inc. See the signature in the seal. Filled copies of this document will not be considered for review on any construction system.

MICHAEL Z. BROOKS PE FL REG. NO. 38816

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P/N No. 09-242-10
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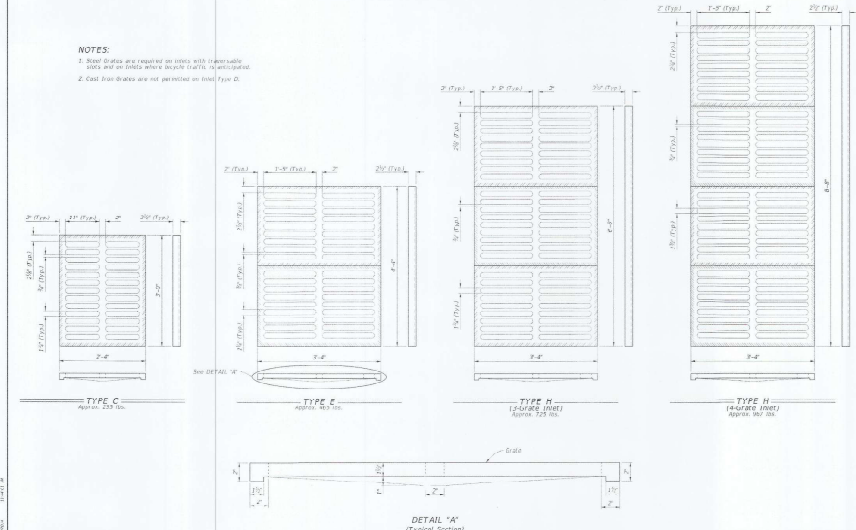
**TABLE 1
HORIZONTAL WALL REINFORCING SCHEDULE**

WALL DEPTH	SCHEDULE	AREA (sq. ft.)	WALL THICKNESS	WALL HEIGHT
0 - 12"	A12	0.20	12"	8"

NOTES:
 1. GRADE DIFFERENCE across area 300 feet shown on structure drawing.
 2. See notes 6, 7, and 10 for Concrete Apron and Subsoil Area details.

TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS

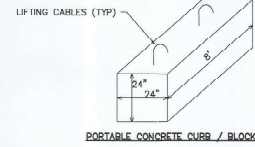
LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2025-26	DITCH BOTTOM INLET TYPES C, D, E, AND H	INDEX: 425-052	SHEET: 2 of 14
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NOTES:
 1. 3000 PSI steel and required on inlet with 1/2" diameter slots and on inlet where vehicle traffic is anticipated.
 2. Cast Iron Grates are not permitted on inlet Type D.

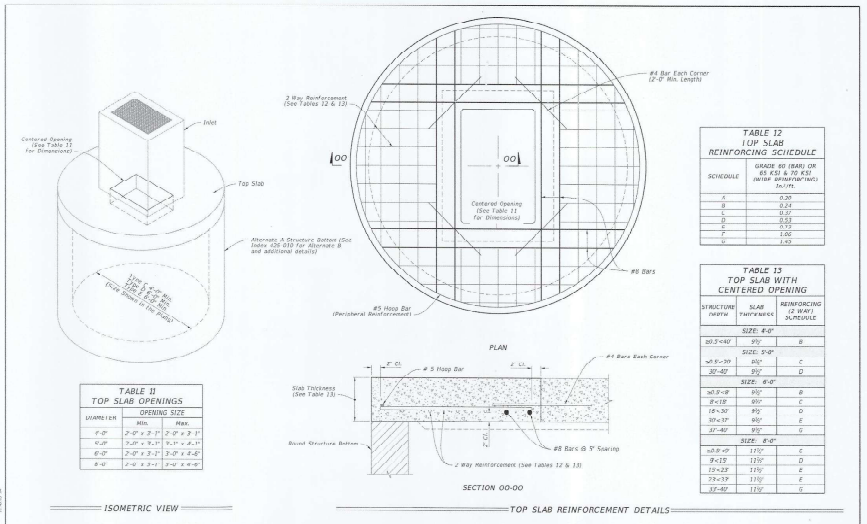
CAST IRON GRATE DETAILS

LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2025-26	DITCH BOTTOM INLET TYPES C, D, E, AND H	INDEX: 425-052	SHEET: 7 of 14
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PORTABLE CONCRETE CURB / BLOCK

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DO THE FOLLOWING ITEMS AS A PART OF THE OVERALL PROJECT:
1. MAINTENANCE OF TRAFFIC WILL BE REQUIRED FOR THE ENTIRE LENGTH OF THE PROJECT. THE PROJECT MAY BE BROKEN DOWN IN VARIOUS SECTIONS AS REQUIRED BY THE CONTRACTOR FOR THE WORK TO BE COMPLETED.
 2. EXISTING ADJACENT ROADWAY SHALL NOT BE DISTURBED OR BLOCKED AT ANY TIME.
 3. CONTRACTOR SHALL COORDINATE ALL WORK WITH "CHARLOTTE PIPE".
 4. PROJECT CONSISTS OF CONSTRUCTION OF A NEW CONCRETE STAGING / PARKING AREA. EXISTING SOILS SHALL BE REMOVED AND RE-CONSTRUCTED AS PER THE SOILS REPORT BY CENTRAL TESTING, NO. 2404130.200 WHICH BY REFERENCE IS DEEMED A PART OF THE CONSTRUCTION PLANS FOR THIS PROJECT, TO THE LIMITS AS HIGHLIGHTED ON THE PLAN SHEETS.
 5. THERMOPLASTIC STRIPING SHALL BE PLACED AS A PART OF THIS PROJECT FOR THE NEW STAGING / PARKING AREA.
 6. AS PART OF THE MOBILIZATION FOR THE PROJECT A VIDEO SHALL BE DONE BY THE CONTRACTOR TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF THE CONSTRUCTION. A COPY OF THE VIDEO SHALL BE PRESENTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 7. DRIVEWAYS SHALL BE TIED INTO THE NEW PAVEMENT.
 8. THE CONTRACTOR SHALL MAINTAIN ANY AND ALL ITEMS NECESSARY FOR THE PROTECTION OF THE EXISTING DRAINAGE SYSTEM. THESE ITEMS SHALL BE CONSIDERED A PART OF THE MOT FOR THIS PROJECT.
 9. ANY AND ALL MANHOLES AND VALVE BOXES THAT ARE LOCATED WITHIN THE PAVED AREAS SHALL BE PROTECTED AND ADJUSTED TO GRADE AS NECESSARY AS A PART OF THIS OVERALL PROJECT.
 10. ALL CONCRETE EDGES SHALL BE THICKENED AS PER THE DETAILS ON THESE PLANS.
 11. CURING COMPOUND SHALL BE UTILIZED ON FINISHED CONCRETE AS PER MANUFACTURER'S RECOMMENDATIONS.
 12. PORTABLE CONCRETE CURB BLOCKS SHALL BE PLACED ON ALL THREE SIDES OF THE PROPOSED CONCRETE PARKING AREA. BLOCKS SHALL BE PLACED AROUND THE PERIMETER AT 12' ON CENTER, 4' SPACING BETWEEN EACH BLOCK, AND PLACED 12" IN FROM THE EDGE OF THE CONCRETE. 43 BLOCKS WILL BE REQUIRED. SEE BLOCK DETAIL THIS SHEET.
 13. GRADE SLOPE AWAY FROM CONCRETE EDGE A 5:1 MIN.
 14. SO ALL DISTURBED AREAS A MINIMUM OF 20' FROM ANY EDGE OF PAVEMENT.



**TABLE 12
TOP SLAB REINFORCING SCHEDULE**

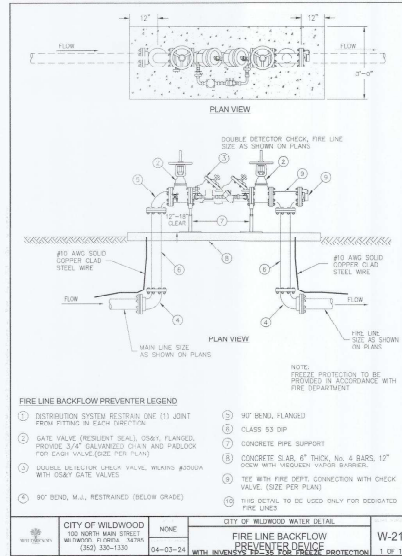
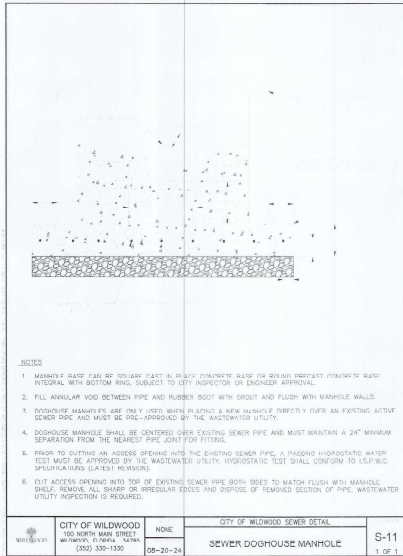
SCHEDULE	GRADE 60 BARS OR EQUIV. #5 @ 12" O.C. (SEE REINFORCING DETAILS FOR DIMENSIONS)
A	3-08
B	2-08
C	2-08
D	2-08
E	2-08
F	1-08

**TABLE 13
TOP SLAB WITH CENTERED OPENING REINFORCING SCHEDULE**

STRUCTURE WIDTH	SLAB THICKNESS (2 BAY) SLAB DEPTH	REINFORCING SCHEDULE
10'-0" - 14'-0"	18"	B
14'-0" - 18'-0"	18"	C
18'-0" - 22'-0"	18"	D
22'-0" - 26'-0"	18"	E
26'-0" - 30'-0"	18"	F
30'-0" - 34'-0"	18"	F
34'-0" - 38'-0"	18"	F
38'-0" - 42'-0"	18"	F
42'-0" - 46'-0"	18"	F
46'-0" - 50'-0"	18"	F
50'-0" - 54'-0"	18"	F
54'-0" - 58'-0"	18"	F
58'-0" - 62'-0"	18"	F
62'-0" - 66'-0"	18"	F
66'-0" - 70'-0"	18"	F
70'-0" - 74'-0"	18"	F
74'-0" - 78'-0"	18"	F
78'-0" - 82'-0"	18"	F
82'-0" - 86'-0"	18"	F
86'-0" - 90'-0"	18"	F
90'-0" - 94'-0"	18"	F
94'-0" - 98'-0"	18"	F
98'-0" - 102'-0"	18"	F
102'-0" - 106'-0"	18"	F
106'-0" - 110'-0"	18"	F
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162'-0" - 166'-0"	18"	F
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450'-0" - 454'-0"	18"	F
454'-0" - 458'-0"	18"	F
458'-0" - 462'-0"	18"	F
462'-0" - 466'-0"	18"	F
466'-0" - 470'-0"	18"	F
470'-0" - 474'-0"	18"	F
474'-0" - 478'-0"	18"	F
478'-0" - 482'-0"	18"	F
482'-0" - 486'-0"	18"	F
486'-0" - 490'-0"	18"	F
490'-0" - 494'-0"	18"	F
494'-0" - 498'-0"	18"	F
498'-0" - 502'-0"	18"	F
502'-0" - 506'-0"	18"	F
506'-0" - 510'-0"	18"	F
510'-0" - 514'-0"	18"	F
514'-0" - 518'-0"	18"	F
518'-0" - 522'-0"	18"	F
522'-0" - 526'-0"	18"	F
526'-0" - 530'-0"	18"	F
530'-0" - 534'-0"	18"	F
534'-0" - 538'-0"	18"	F
538'-0" - 542'-0"	18"	F
542'-0" - 546'-0"	18"	F
546'-0" - 550'-0"	18"	F
550'-0" - 554'-0"	18"	F
554'-0" - 558'-0"	18"	F
558'-0" - 562'-0"	18"	F
562'-0" - 566'-0"	18"	F
566'-0" - 570'-0"	18"	F
570'-0" - 574'-0"	18"	F
574'-0" - 578'-0"	18"	F
578'-0" - 582'-0"	18"	F
582'-0" - 586'-0"	18"	F
586'-0" - 590'-0"	18"	F
590'-0" - 594'-0"	18"	F
594'-0" - 598'-0"	18"	F
598'-0" - 602'-0"	18"	F
602'-0" - 606'-0"	18"	F
606'-0" - 610'-0"	18"	F
610'-0" - 614'-0"	18"	F
614'-0" - 618'-0"	18"	F
618'-0" - 622'-0"	18"	F
622'-0" - 626'-0"	18"	F
626'-0" - 630'-0"	18"	F
630'-0" - 634'-0"	18"	F
634'-0" - 638'-0"	18"	F
638'-0" - 642'-0"	18"	F
642'-0" - 646'-0"	18"	F
646'-0" - 650'-0"	18"	F
650'-0" - 654'-0"	18"	F
654'-0" - 658'-0"	18"	F
658'-0" - 662'-0"	18"	F
662'-0" - 666'-0"	18"	F
666'-0" - 670'-0"	18"	F
670'-0" - 674'-0"	18"	F
674'-0" - 678'-0"	18"	F
678'-0" - 682'-0"	18"	F
682'-0" - 686'-0"	18"	F
686'-0" - 690'-0"	18"	F
690'-0" - 694'-0"	18"	F
694'-0" - 698'-0"	18"	F
698'-0" - 702'-0"	18"	F
702'-0" - 706'-0"	18"	F
706'-0" - 710'-0"	18"	F
710'-0" - 714'-0"	18"	F
714'-0" - 718'-0"	18"	F
718'-0" - 722'-0"	18"	F
722'-0" - 726'-0"	18"	F
726'-0" - 730'-0"	18"	F
730'-0" - 734'-0"	18"	F
734'-0" - 738'-0"	18"	F
738'-0" - 742'-0"	18"	F
742'-0" - 746'-0"	18"	F
746'-0" - 750'-0"	18"	F
750'-0" - 754'-0"	18"	F
754'-0" - 758'-0"	18"	F
758'-0" - 762'-0"	18"	F
762'-0" - 766'-0"	18"	F
766'-0" - 770'-0"	18"	F
770'-0" - 774'-0"	18"	F
774'-0" - 778'-0"	18"	F
778'-0" - 782'-0"	18"	F
782'-0" - 786'-0"	18"	F
786'-0" - 790'-0"	18"	F
790'-0" - 794'-0"	18"	F
794'-0" - 798'-0"	18"	F
798'-0" - 802'-0"	18"	F
802'-0" - 806'-0"	18"	F
806'-0" - 810'-0"	18"	F
810'-0" - 814'-0"	18"	F
814'-0" - 818'-0"	18"	F
818'-0" - 822'-0"	18"	F
822'-0" - 826'-0"	18"	F
826'-0" - 830'-0"	18"	F
830'-0" - 834'-0"	18"	F
834'-0" - 838'-0"	18"	F
838'-0" - 842'-0"	18"	F
842'-0" - 846'-0"	18"	F
846'-0" - 850'-0"	18"	F
850'-0" - 854'-0"	18"	F
854'-0" - 858'-0"	18"	F
858'-0" - 862'-0"	18"	F
862'-0" - 866'-0"	18"	F
866'-0" - 870'-0"	18"	F
870'-0" - 874'-0"	18"	F
874'-0" - 878'-0"	18"	F
878'-0" - 882'-0"	18"	F
882'-0" - 886'-0"	18"	F
886'-0" - 890'-0"	18"	F
890'-0" - 894'-0"	18"	F
894'-0" - 898'-0"	18"	F
898'-0" - 902'-0"	18"	F
902'-0" - 906'-0"	18"	F
906'-0" - 910'-0"	18"	F
910'-0" - 914'-0"	18"	F
914'-0" - 918'-0"	18"	F
918'-0" - 922'-0"	18"	F
922'-0" - 926'-0"	18"	F
926'-0" - 930'-0"	18"	F
930'-0" - 934'-0"	18"	F
934'-0" - 938'-0"	18"	F
938'-0" - 942'-0"	18"	F
942'-0" - 946'-0"	18"	F
946'-0" - 950'-0"	18"	F
950'-0" - 954'-0"	18"	F
954'-0" - 958'-0"	18"	F
958'-0" - 962'-0"	18"	F
962'-0" - 966'-0"	18"	F
966'-0" - 970'-0"	18"	F
970'-0" - 974'-0"	18"	F
974'-0" - 978'-0"	18"	F
978'-0" - 982'-0"	18"	F
982'-0" - 986'-0"	18"	F
986'-0" - 990'-0"	18"	F
990'-0" - 994'-0"	18"	F
994'-0" - 998'-0"	18"	F
998'-0" - 1002'-0"	18"	F

**TABLE 11
TOP SLAB OPENINGS**

DIAMETER	WALL THICKNESS	OPENING SIZE
1'-0"	18"	2'-0" x 2'-0"
1'-6"	18"	2'-0" x 2'-0"
2'-0"	18"	2'-0" x 2'-0"
2'-		



NOTE:
BOTH THE FIRE LINE BACKFLOW PREVENTER AND THE FIRE DEPARTMENT CONNECTION SHALL UTILIZE AND HAVE INSTALLED A INVENSY'S FP-35 FOR FREEZE PROTECTION VALVE. (AS NOTED BELOW).

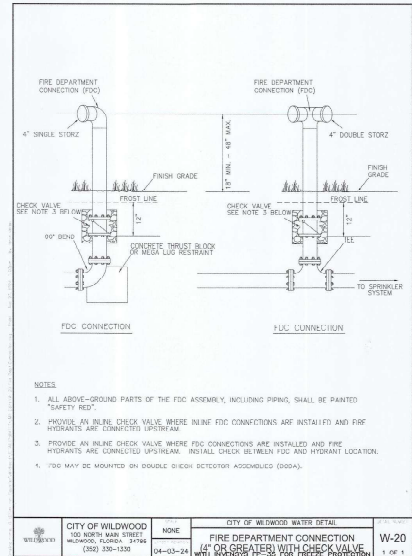
FP-35 and FP-45 Dole Freeze Protection Valve
Protect Solar Collectors and Prevent Piping from Freezing



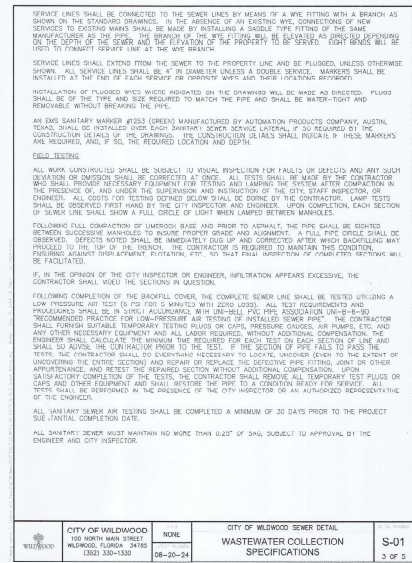
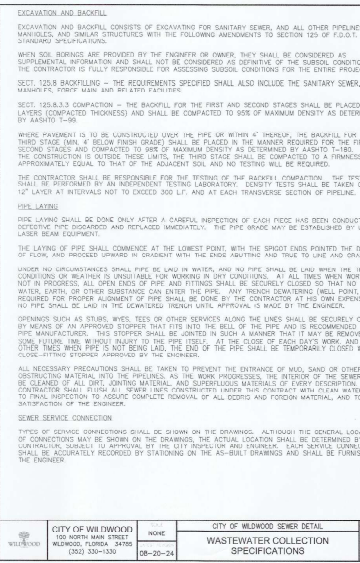
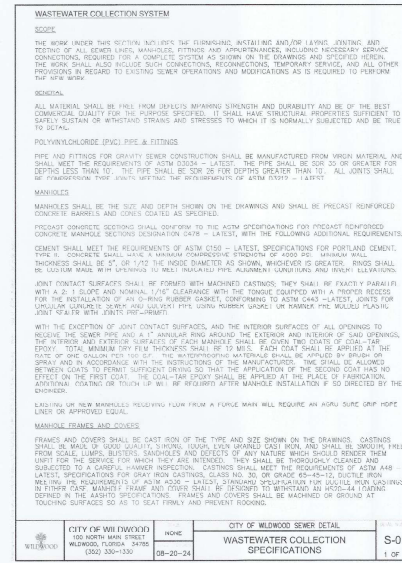
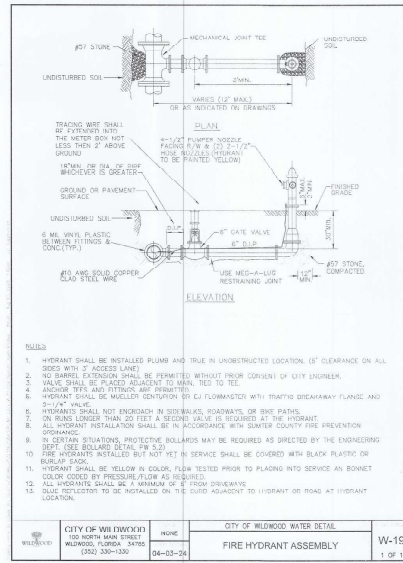
The InvenSY FP-35 and FP-45 Freeze Protection Valves utilize a reliable self-contained Dole Pressure Element which operates to maintain a constant pressure without any electrical power or sensors. Typically in solar applications, the solar collector or photovoltaic thermal device discharges the fluid during periods of high solar radiation. When the solar collector reaches the 85°F or FP-45, the valve port closes and water discharge stops.

This cycle will repeat as often as necessary to help prevent freezing. The amount of water element pressure needed varies by ambient air temperature, make up water temperature, the amount of the heat gain and the transfer and rate of collection. The system is functioning properly when water is being discharged from the solar water panel. During operation, for water to be discharged at the time of operation system water pressure must be maintained.

- Design Features**
- Easy installation on existing system
 - Up to 75 maximum operating pressure
 - Corrosion resistant
 - Low and/or high back pressure
 - 1/2 inch and 3/4 inch sizes
 - Anti-siphon and diverting discharge port
 - Discharge port for 1/2" plastic pipe or 1" to 2" pipe
 - 1/2" brass main pipe for cast iron port for positive seal
 - Other material design
 - Manual start to open temperature of FP-35 and FP-45
 - Completely maintenance free operation
 - Ideal for backflow prevention
- Limited Warranty**
- Dole-Integrity Energy Control Products are warranted to be free from defects in material and workmanship for a period of 12 months from the date of installation when properly installed and used in accordance with the manufacturer's instructions.
- Integrity's obligation is limited to the repair or exchange of defective parts and does not include reimbursement for any removal or installation expenses.
- By using a claim under the warranty above under the Dole-Integrity FP-35 or FP-45 Valve, the user agrees to accept the terms and conditions of the Warranty and Specificity System Division of Integrity Energy Control, Inc. The warranty is in full of all warranties expressed or implied, including but not limited to, merchantability and fitness for a particular purpose.



ALL PIPE SHALL BE MANUFACTURED BY "CHARLOTTE PIPE AND FOUNDRY COMPANY" CHARLOTTE, N.C.



ALL PIPE SHALL BE MANUFACTURED BY "CHARLOTTE PIPE AND FOUNDRY COMPANY" CHARLOTTE, N.C.

Boots Engineering, Inc.
226 West Main Street
Tomball, Texas 77375
C (352) 342-8667 F (352) 478-2328

BARRACER CONSTRUCTION
4020 OLD PINNACLE ROAD
TOMBALL, TEXAS 77375
TEL: 704-707-2891

CHARLOTTE PIPE AND FOUNDRY
PROPOSED PLANT EXPANSION
WATER & SEWER DETAILS
WILDWOOD, FLORIDA



REVISIONS:

DATE	DESCRIPTION
07/17/25 <td>SUBMITTAL #3</td>	SUBMITTAL #3
08/18/25 <td>Check</td>	Check
AS SHOWN	Scale
AS SHOWN	Alt. Key
24-C	File No.

Sheet: 16 of 17



Project Review Committee Technical Standards Waiver Request

Project Name CP&F FL Expansion Project

Project # 25-1564

1. Briefly describe your waiver request.

Our request is to not have to add parking spots based on the added square footage due to the low employee count the company operates with.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

City of Wildwood, Land Development Regulations, Section 6.6, Parking and loading Areas

3. Please provide the justification for your waiver request.

Of the 54,675 SF of added space 95% of it is strictly for production, with overall only (2) offices being added. The customer has also provided a letter stating only 10 new employees will be hired as part of this expansion. Additionally, they have noted overall employee headcount and have enough parking spots to handle shift change.

Name (Print) Josh Ramsey

Date 7/30/25

Signature Josh Ramsey
Digitally signed by Josh Ramsey
DN: C=US, E=josh.ramsey@barringerconstruction.com,
O=Barringer Construction, CN=Josh Ramsey
Date: 2025.07.31 11:20:48-04'00'

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: A25-3224 - SE - Christian Brothers Auto

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number A25-3224- SE -Christian Brothers Auto (Wildwood Oaks Dev.)

Owner/Applicant Wildwood Oaks LLC & Inspira Financial Trust

Acreage 4.681 +/-

Property Location The subject property is generally located approximately 0.33 miles west of the Powell Rd and C 466A intersection, with access along C 466A/Cleveland Ave.

Parcel G05-183

Date September 29, 2025

The applicant is seeking Special Exception approval from the City of Wildwood Planning and Zoning Board/Special Magistrate for an automotive repair shop on the parcel listed above, zoned CMU. The proposed 5,372 SF automotive repair shop will range from services such as, but not limited to, engine repair, transmission services, tune ups, battery replacement, and tire rotating, balancing, or replacing. These services are conducted within enclosed service bays. The automotive repair shop is proposed within the northwest section of the property.

The City’s LDRs, Chapter 3, Table 3-6 allows “service and repair shops for automobiles, small engines, and other similar uses” as a special exception use in the CMU zoning district.

Analysis/Justification: The Planning and Zoning Board/Special Magistrate shall consider the following requirements and criteria as stated within the LDR 3.9 Section C:

- 1) The proposed use must comply with the Comprehensive Plan;

The Central Mixed Use (CMU) land use is intended to accommodate a mix of residential and non-residential uses with a maximum intensity of 0.75 FAR and a maximum ISR of 80% pursuant to FLU Policy 1.1.1.b. This policy also allows properties less than 10 acres to develop as a single use. The proposed automotive repair shop complies with this policy and will serve the community.

2) Size location or number of special exception uses in the area shall be limited so as to maintain the overall character of the district as intended by this Code;

The current CMU zoning is compatible with the surrounding area. There is a Special Exception 0.36 miles west of the subject property, Melissa's Place, an adult day care center. The next closest special exception is approximately 0.5 miles to the east, Action Gator Tire.

3) Justification has been presented as to why the special exception should be granted;

The proposed development will be within a fully enclosed building with no services to be provided outside, besides temporary parking. Services to be conducted will include, but not limited to, engine repair, transmission services, tune-ups, battery replacement and tire replacement and balancing. These services will not interfere with surrounding properties and will serve the community. The applicant/owner will provide the City of Wildwood with a utility easement along the western buffer. Any additional buffers required by the City will be determined during the site plan review process as specified in LDR3.9(E)(22).

4) The uses of other property in the neighborhood for purposes already established will not be substantially impaired or diminished;

The proposed special exception will not impair or diminish the use of neighboring properties. A special exception approval on the subject property will not interfere with the surrounding property owners' use of their own property in accordance with the zoning district. City staff has received numerous complaints regarding dirt and debris from the construction site. Additionally, neighbors have concerns that the service shop may not keep all materials and work inside an enclosed building.

5) Consideration has been given to surrounding property values;

The subject property is currently vacant land in the CMU zoning district. The project will have to follow any landscape buffer requirements as stated within the Design District Standards (DDS) Chapter 1. Any additional buffering will be discussed at the site plan stage. The applicant/owner is providing a utility easement for a reuse line along the western side of the parcel which would be a benefit to the surrounding properties. Please see attached public notice response.

(D) 1) Special exceptions may run with the property and the ownership of a special exception use may be transferred to another party.

The special exception should run with the property and may be transferred to another party.

Based on the requirements of the Land Development Regulations along with supporting data and justification provided by the applicant, staff recommends approval of the special exception. If approved, the special exception use shall begin to serve the purpose for which it was granted within one (1) year of the date of approval. A special exception use that does not begin to serve the purpose for which it was granted permission within one (1) year of being granted shall not be commenced without a new public hearing in accordance with requirements of this Chapter.

This office has duly noticed this meeting as prescribed by City of Wildwood Code for Public Notices have been posted on the property. A notice of this meeting was published in a newspaper of general circulation (Daily Sun) on September 26, 2025.



McKenna Page
Planner I, Development Services



SPECIAL EXCEPTION NARRATIVE PER LDR 3.9(B)(2)

a) Explanation of the propose use of the property.

The subject site is located south of Cleveland Avenue (CR 466A) which is an east-west urban four-land divided arterial and approximately ¼ mile west of Powell Road. The proposed special exception use is for automotive repair which may range from services such as, but not limited to, engine repair, transmission services, tune ups, to battery replacement and tire replacement and balancing. These services are conducted within enclosed service bays. The proposed special exception use on the subject property will not interfere with the surrounding property owners use of their property in accordance with the zoning district.

b) Explanation of proposed structures and their location.

The conceptual site plan identifies a proposed 5,372 SF automotive repair structure located within the northwest section of the property. Appropriate parking, landscape buffers and stormwater management will be provided pursuant to the Land Development Regulations and Design District Standards.

c) Provision for ingress and egress.

In keeping with access management standards, a shared driveway access is proposed from Cleveland Avenue (CR 466A) which provides access to the subject site and adjacent church. The internal access road would provide two ways of ingress and egress to the subject site, existing church and future development, proposed stormwater management facilities located to the south.

d) Provision for off-street parking and loading areas.

The conceptual site plan provides for off-street parking and loading areas. Detailed provisions for parking and loading areas will be addressed during the site plan review process.

e) Provision for refuse and service areas.

The conceptual site plan provides for refuse (dumpster and enclosure) located on the south side of the building away from public view.

f) Provision for utilities.

The proposed development will connect to the existing City of Wildwood water and wastewater.

g) Provision of screening and buffering of dissimilar uses.

Appropriate buffering and screening will be provided as required by the Land Development Regulations. Should additional buffers be required, it will be addressed during the site plan review process.

h) Provisions for signs and exterior lighting.

Signage and lighting will be provided as required by the Land Development Regulations and will be further addressed during the site plan review process.

i) Provisions for required yards and green space.

Appropriate buffers, setbacks and open space will be provided to meet the Land Development Regulations.

j) Provision for compatibility with adjacent properties.

The subject property is currently vacant land in the proposed CMU zoning district. The proposed special exception use on the subject property will not interfere with the surrounding property owners use of their property in accordance with the zoning district.

k) Provision for meeting any special requirements.

Per LDR 3.9(E)(22), a special exception use may be granted under the following conditions:

- a) The use and all associated activities must be in completely enclosed buildings, excluding the short-term parking of vehicles prior to repair and after repairs before customer pick up.
- b) Additional buffering and screening may be required.

The conceptual site plan identifies the proposed automotive repair facility which indicates that all repairs will be conducted within enclosed service bays which complies with this special requirement. No additional buffering or screening is proposed at this time; however, should additional buffers or screening be required, it will be addressed during the site plan review process.

SPECIAL EXCEPTION NARRATIVE PER LDR 3.9(C)

1) The proposed use must comply with the Comprehensive Plan;

The Central Mixed Use (CMU) land use is intended to accommodate a mix of residential and nonresidential uses with a maximum intensity of 0.75 FAR outside of the CRA and a maximum ISR is 80% pursuant to FLU Policy 1.1.1(b). This policy also notes that properties less than 10 acres in size may develop as a single use. The proposed automotive repair facility complies with this policy and will serve the nearby residential uses.

2) The overall character of the neighboring properties must be maintained;

The proposed automotive repair facility is compatible with the current city zoning in the general area which consists of CMU, C-1, INS, and R-5. The proposed special exception use will not interfere with the surrounding property owners use of their property in accordance with the zoning district.

3) Justification has been presented as to why the special exception should be granted;

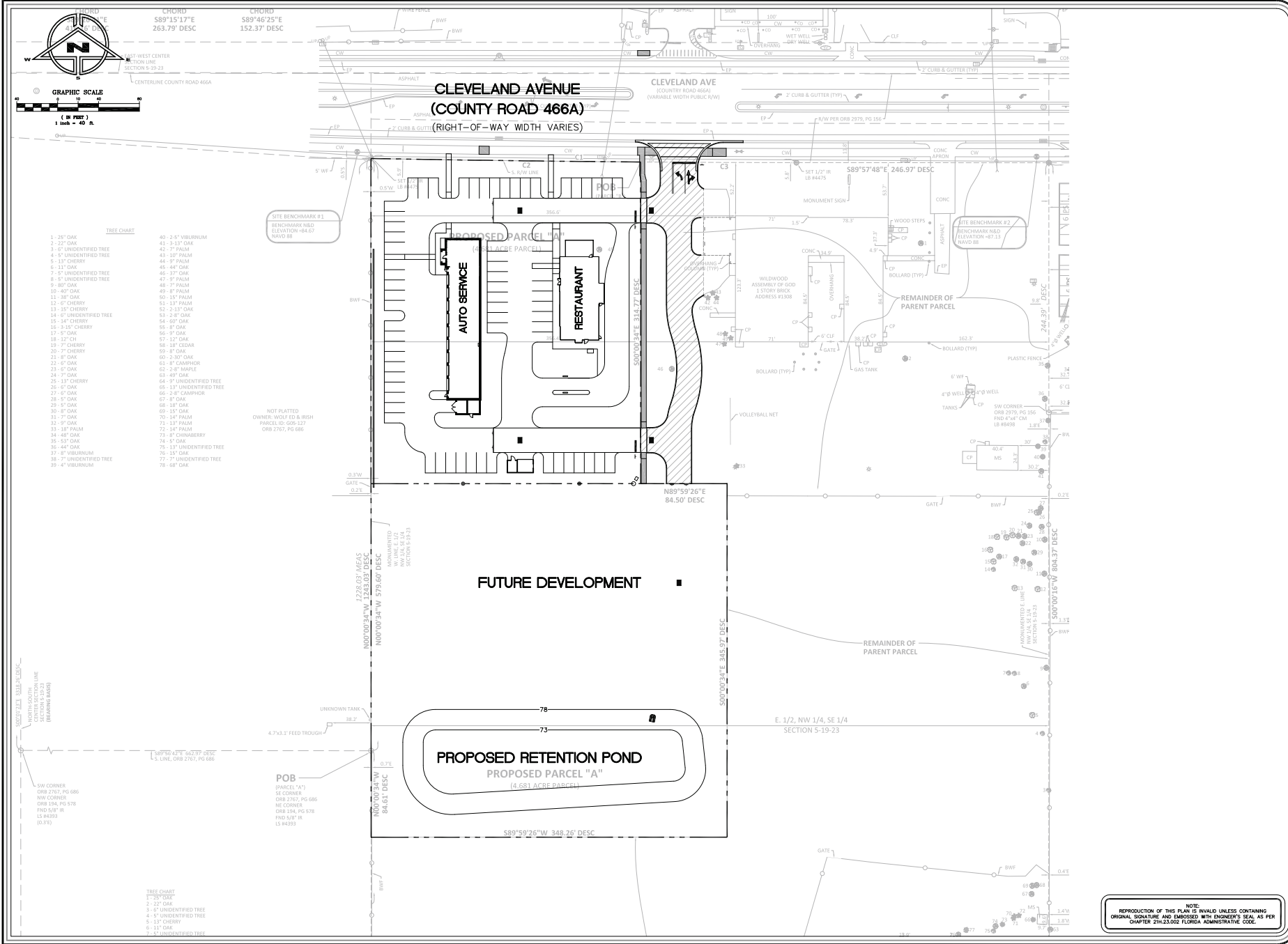
Justification has been provided as outlined above per LDR Section 3.9(B)(2).

4) The uses of other property in the neighborhood for purposes already established will not be substantially impaired or diminished; and

The adjacent property to the west is zoned CMU and is currently undeveloped and the adjacent property to the east is developed as a church and is zoned INS. Further east along Cleveland Ave. the properties are developed as commercial, medical offices and financial offices and are zoned CMU and C-1. North of the site, across Cleveland Ave. properties are developed as residential and commercial uses and are zoned R-5 and CMU. The proposed automotive repair facility is intended to be compatible with the uses of adjacent properties and meets the standards for the special exception use as outlined in the LDC. Appropriate buffers and screening will be provided per the City of Wildwood LDRs.

5) Consideration has been given to surrounding property values.

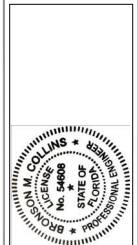
The proposed automotive repair facility will not negatively affect the surrounding property values.



REV/DATE	BY

**CONCEPTUAL SITE PLAN
FOR
WILDOOD OAKS MASTERPLAN**

WILDOOD, FLORIDA
CLEVELAND AVENUE



THIS PLAN AND ALL ATTACHED SHEETS ARE THE PROPERTY OF BRANDON M. COLLINS, P.E. ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN OR ANY ATTACHED SHEETS WITHOUT THE WRITTEN CONSENT OF BRANDON M. COLLINS, P.E. IS STRICTLY PROHIBITED.




BRANDON M. COLLINS, P.E.
DATE OF EXPIRATION: 02/20/2024
LICENSE NO. 54896
STATE OF FLORIDA
PROFESSIONAL ENGINEER



DESIGN BY	M.C.
CHECKED BY	M.C.
DATE	3-29-24
SCALE	1" = 40'
SHEET NO.	222-040
PROJECT NO.	C-1 OF 2

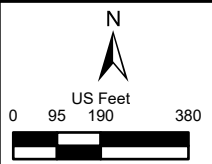
NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H-23.002 FLORIDA ADMINISTRATIVE CODE.



-  Subject Property
-  City of Wildwood
-  Sumter County



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-3224
CHRISTIAN BROTHERS AUTO
 PARCEL G05-183

MAP 1B
LOCATION
MAP
AUG 2025



City of Wildwood, Florida
PUBLIC NOTICE
Development Services Department
www.wildwood-fl.gov

August 29, 2025

RECEIVED

WOLF DWIGHT II & IRISH
PO BOX 93
WILDWOOD, FL 34785

SEP 16 2025

Your Parcel Number(s): **G05-128**

City Of Wildwood
Development Services Dept

NOTICE OF PUBLIC HEARING

TO: Property owners adjoining a property which is being considered for Special Exception approval for an automotive repair shop which may range from services such as, but not limited to, engine repair, transmission services, tune ups, to battery replacement and tire replacement and balancing, on a parcel zoned CMU Central Mixed Use. All aspects of the project will be in accordance with subsection 3.9 (E) (3) of the Land Development Regulations.

OWNER: WILDWOOD OAKS LLC 72.74% & INS
APPLICANT: WILDWOOD OAKS LLC 72.74% & INS
CASE NUMBERS: A25-3224
PARCEL NUMBERS: G05-183

The property is generally located on the south side of C 466A approximately 0.32 miles west of the intersection of C 466A and Powell Road.

A public hearing before the City of Wildwood Planning & Zoning Board/Special Magistrate will be held in the City Hall Commission Chamber, 100 North Main Street, Wildwood, FL on Tuesday, October 7, 2025, at 2:00 PM. The decision of the Planning and Zoning Board/Special Magistrate will be binding in this matter.

Written comments submitted will be heard. Hearings may be continued from time to time as found necessary. Please return this form to: City of Wildwood, Development Services Department, 100 N. Main Street, Wildwood, FL 34785. Questions should be directed to the Development Services Department at (352) 330-1334.

APPEAL: NECESSITY OF RECORD. In order to appeal the Commission's decision in this matter, a verbatim record of the proceedings is required. The City Commission and the City of Wildwood assume no responsibility for furnishing said record.

I support this request.

I do not object to this request.

I do not support this request for the following reason(s) *developer has not cleaned up damage to my adjoining property. Need to see a design to assure compatibility to surrounding development. All work, stored vehicles, enclosed in a building?*
➤ *Responses must be received no less than five calendar days prior to the meeting date(s) above for consideration.*