



PLANNING & ZONING BOARD - CITY OF WILDWOOD
Special Magistrate – Lindsay C.T. Holt

Agenda
Regular Meeting
April 7, 2026 2:15 PM
City Hall Commission Chamber
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. CALL TO ORDER: Planning & Zoning Board

II. APPROVAL OF SUMMARY MINUTES

1. **Planning & Zoning Regular Meeting March 03.2026, at 2:15 PM.**

III. OLD BUSINESS

IV. NEW BUSINESS

1. **25-4602-RZ-Small RV Wildwood**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

The applicant is seeking a favorable recommendation from the City of

Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from IN to MHP (City of Wildwood) for parcel D32-173 on 10 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment 25-4603. **Staff recommends denial.**

2. **26-1205 - RZ - 72 Seminole Path**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

Parcel G22A0009

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (County) to MHP (City) for the parcel listed above on 0.16 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment 26-1204 – SSCPA (O2026-12). **Staff recommends approval.**

3. **25-0361 - PLAT - Wildwood Oaks Final Plat**

Parcels G05-125 and G05-183

The applicant is seeking a favorable recommendation from the Special Magistrate for the Wildwood Oaks Final Plat, consisting of 5 lots and 1 tract on 16.621 acres, MOL. **The Project Review Committee recommends approval.**

4. **25-2484 - SP - Christian Brothers Automotive at Wildwood Oaks**

Parcel G05-183

The applicant is seeking a favorable recommendation from the Special Magistrate for the construction of a five-thousand and twenty-four (5,024) square foot Christian Brothers Automotive store, with thirty (30) parking spaces, a loading zone, and appropriate landscaping on 0.850 acres of land MOL, as per the attached plans. **The Project Review Committee recommends approval.**

V. ADJOURNMENT

APPEAL: NECESSITY OF RECORD. In order to appeal the Board/Special Magistrate's decision of this matter, a verbatim record of the proceedings is required. The Board/Special Magistrate assumes no responsibility for furnishing said record.

April 7, 2026 2:15 PM

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Planning & Zoning Regular Meeting March 03.2026, at 2:15 PM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PLANNING & ZONING BOARD
 CITY OF WILDWOOD, FLORIDA
 REGULAR MEETING
 March 3, 2026 2:15 PM
 CITY HALL COMMISSION CHAMBER

(meeting taped)

I. CALL TO ORDER: Planning & Zoning Board

Attendee Name	Title	Status
Lindsay C.T. Holt	Special Magistrate	Present
Wendy Then	Assistant Development Services Director	Present
Amanda Bondi	Planning Manager	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present
Jessica Barnes	City Clerk	Present
Aaron Kinder	Captain	Present

Special Magistrate Holt brought the meeting to order at 2:07 p.m. and explained the quasi-judicial process of the meeting. She then proceeded with the swearing-in of city staff and audience members.

II. APPROVAL OF SUMMARY MINUTES

1. Planning & Zoning Board Regular Meeting February 03, 2026, at 2:15 PM.

Special Magistrate Holt saw no revisions necessary and approved the summary minutes for the February 3, 2026 meeting.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

III. OLD BUSINESS

None.

IV. NEW BUSINESS

1. 25-5011 - RZ - 7050 CR 213

Special Magistrate Holt read aloud the title of 25-5011 - RZ - 7050 CR 213. Planner Page presented Ordinance O2026-7, a zoning map amendment to change the zoning district from R2C in Sumter County to R-2 in the City. She stated the request was accompanied by a concurrent small scale comprehensive plan amendment, project number 25-5012 and Ordinance O2026-6. There were no representatives present, nor were there any public comments. Special Magistrate

Holt made a recommendation of favorable approval of Ordinance O2026-7 to be forwarded to the City Commission for final determination.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

2. SP 2410-004 Exalt Health Rehab Hospital Offsite Force Main Extension

Special Magistrate Holt read aloud the title of SP 2410-004 Exalt Health Rehab Hospital offsite force main extension. Assistant Development Services Director Then presented the request for the construction of an off-site sanitary sewer force main to connect with the approved Exalt Health site with the City's sanitary system. She stated the scope of work consisted of an 877 linear-foot, 6-inch force main running approximately 0.17 miles within the C-44A right-of-way, and approximately 4,124 linear feet of an 8-inch force main running along portions of Fifth Avenue, Fourth Avenue, Johnson Street, Third Avenue, Switcher Street and a directional drill operation under US Hwy 301 to connect to the City's system, per the attached plans. Then noted the surety for performance cost summary had been reviewed by the city attorney, but the applicant still had not provided the performance bond. She stated there were two outstanding comments with the City Attorney and once the performance bond was in hand and the last comment was addressed, the site plan could advance to the City Commission. Then stated the applicant's representative was present, and the application should not move forward until satisfaction from the city attorney was determined. Special Magistrate Holt clarified if staff was requesting a continuance, to which Then declined.

The applicant's representative, Rob Batsel, provided history on the project, as well as an update on the applicant's response to the city attorney's comments. Special Magistrate Holt asked for clarification on the performance bond, and Batsel replied that he would ensure the issue was handled. There were no further public comments.

Special Magistrate Holt made a recommendation of favorable approval of SP 2410-004 Exalt Health Rehab Hospital Offsite Force Main Extension to be forwarded to the City Commission for final determination with a caveat that the outstanding comments be satisfied before the Commission meeting.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

3. 25-2593 - SP - Hampton Substation (SECO)

Special Magistrate Holt read aloud the title of 25-2593 -SP - Hampton Substation (SECO). Assistant Development Services Director Then presented the request for the construction of an electrical substation yard that consisted of approximately 74,777 square feet of yard rock area, a 955-square-foot new equipment enclosure, 20-foot landscaping buffers/irrigation around the perimeter of the site, and stormwater retention, on 7.23 acre MOL. She noted a minor correction to the staff report, updating the applicable board from the Project Review Committee to the Planning & Zoning Board/Special Magistrate. The applicant was present for the hearing, but did

not wish to speak, and no public comments were received. Special Magistrate Holt made a recommendation of favorable approval of 25-2593 - SP - Hampton Substation (SECO) to be forwarded to the City Commission for final determination.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

4. 25-4280 - SP - Wildwood Medical Office Building

Special Magistrate Holt read aloud the title of 25-4280 - SP - Wildwood Medical office building. Planner Lammers presented the request for the construction of a medical office building which consisted of eight thousand and sixty-four (8,064) square feet on 1.04 acres, MOL. She stated the city attorney had one outstanding comment regarding a utility easement, on which the applicant and city attorney had come to an agreement. Lammers explained that the applicant's approval was contingent upon the site plan, and the easement would be held in escrow until the applicant closed on the property. She noted that a technical waiver had been approved by the Project Review Committee that waived the requirement for a loading zone. A representative for the project was present, but did not wish to speak and there were no public comments. Special Magistrate Holt made a recommendation of favorable approval of 25-4280 - SP - Wildwood Medical office building to be forwarded to the City Commission for final determination.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

5. 26-0205 - V - Open Bible Lutheran Church Sign Variance

Special Magistrate Holt read aloud the title of 26-0205 - V - Open Bible Lutheran Church sign variance. Planning Manager Bondi presented the request for a variance to increase the height allowed per code for a religious monument sign by 2 feet, explaining that the land development regulations limited the monument's height for religious use to 8 feet. Bondi stated that the applicant submitted a justification letter that identified the 2-foot increase to allow the monument to be made visible as an adjacent 4-foot fence impaired the view. She further explained that, per the LDRs, staff deemed the fence to be a non-self-created condition, noting that it created an unnecessary hardship for the owner to ensure residents could clearly and safely read the sign. There was no representative present for the hearing, and no public comments were received. Special Magistrate Holt granted a final determination and approval for the 26-0205 - V - Open Bible Lutheran Church sign variance.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

V. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 2:27 p.m.

RESULT:	Passed
MOVER:	Special Magistrate Holt
SECONDER:	None
AYES:	Special Magistrate Holt

APPEAL: NECESSITY OF RECORD.

SEAL

PLANNING & ZONING BOARD
CITY OF WILDWOOD, FLORIDA

Date

Lindsay C.T. Holt,
Special Magistrate
City of Wildwood, Florida

PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: 25-4602-RZ-Small RV Wildwood

REQUESTED ACTION: Staff recommends denial.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	25-4602 - RZ - Small RV Wildwood
Ordinance Number	O2026-9
Owner(s)	Lien Nails, LLC
Applicant(s)	Eddie Small of E Small Developing, LLC
Property Location	The subject property is generally located approximately 0.38 miles east of the E C 462 and CR 128 intersection, with a portion north along E C 462 and a portion west along CR 121.
Parcel(s)	D32-173
Date	March 31, 2026

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from IN to MHP (City of Wildwood) for the parcel listed above on 10 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment 25-4603 (O2026-8).

ANALYSIS: The applicant is requesting the zoning of MHP which permits the use of an RV Park not to exceed 99 spaces.

While the staff report is structured in a familiar way, it starts with the applicant's justification followed by staff's justification. The applicant believes the zoning change to MHP should be granted based on the following criteria as presented in the justification attached within the staff report and summarized below pursuant to Land Development Regulation (LDR) § 3.3(C)(4).

(a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation of Mobile Home Park and the intent of the Comprehensive Plan as stated in FLU Policy 1.1.1.a. Policy 1.2.8 encourages all new development and redevelopment projects which include contributing to a mix of land uses, being compatible with existing communities, advancing the creation of a diverse housing inventory, directing growth towards areas planned for urban development, maintaining compatibility with adjacent land uses through the use of design standards, and maximizing the use of existing public facilities.

(b) The existing land use pattern of the surrounding area;

The proposed rezoning to MHP is compatible with the industrial, residential and institutional designations in the general area of the subject property as provided above.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc.;

Schools: The proposed land use could contribute a total of 17 students based on the school impact analysis provided. The applicant states that the requested use type of RV Park is temporary housing and therefore considered a commercial use which should not contribute to any students. The Sumter County School District is still reviewing the school impact analysis to confirm capacity.

Potable Water & Sewer: The subject property is located within the City of Wildwood municipal services area and will be connected to central water and sewer. A 4-inch force main and an 8-inch water main is available to south of C 462 and coordination with the City’s Utility Department will be needed.

Streets: A transportation impact analysis was conducted by Walsh Traffic Engineering LLC in January of 2026 which indicated the roadway segments available to this property currently operate at level D and F with the CR 462 and CR 121 westbound intersection operating at level C. At the buildout year of 2029, the level of service for the roadway segments are to continue to operate acceptably at the current level of service D and F.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

Due to changing conditions of the area, the existing zoning of Institution is no longer appropriate and is not considered the highest and best use of the land. The proposed zoning of MHP is consistent with the area and adjacent properties.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

The transportation impact analysis prepared by Walsh Traffic Engineering indicates that the project will not adversely impact area roadways and the subject rezoning will not adversely impact the level of service of adjacent roadways.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. The subject property is located in an area of mixed use consisting of commercial and residential. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	R-1 (City) & RR1C (County)
SOUTH	AG-10 & RR5C (County)
EAST	R-1 (City), RR1, R2M (County)
WEST	RR1C & RR5C (County)

If the rezoning is approved, the applicant will be required to submit a site plan to the City prior to development. The site plan will need to follow requirements established in the City's Land Development Regulations and the Design District Standards.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), staff believes the zoning change to MHP should NOT be granted based on the following criteria:

(b) The existing land use pattern of the surrounding area:

The surrounding neighborhood that has direct access off of CR 121 and C 462 has lower density residential zoning's of R-1, at 4 units per acre, and R-2, at 6 units per acre. The institutional zoning along C 462 are designated as churches, which is relatively a lower intensity due to limited operating hours and days during the week. Although there are industrial uses in the area, these are mainly west towards N US 301. Industrial uses could be considered of higher intensity due to truck traffic for larger scale operations, but the entrances of the uses are not along a curve and have designated left-turn lanes, which reduces vehicle conflicts and enhances overall roadway safety.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc.:

Streets: A decrease in the level of service was identified at the intersection of CR 121 and C 462, with current roadway segments operating at a level of service D and F. Although at buildout year 2029, the TIA states the roadways and intersection are acceptable at this level, staff is concerned about safety issues with the recreational vehicles (RV) or delivery trucks for manufactured homes accessing the roads and accessing the driveway. The City Commission previously assessed mobile home park land uses, designating most along major roadways, such as SR 44, to minimize the potential of mobile home and RV transport along local minor roads.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety:

Sumter County's Public Works Department, on behalf of the City as the outsourced traffic reviewer, reviewed the driveway access, roadways, and intersections for safety issues and it was determined that the development would not be able to have full access to C 462 as originally proposed in the TIA. The TIA mentions the development will use the existing two-way continuous left turn lane for eastbound traffic, but this turn lane ends approximately 150 feet west of the proposed entrance. Directly in front of the property is a gored median, and it is unlawful to drive in this area as it is a signalization of a change in the roadway design, which in this case, is a curved road. The Sumter County Code of Ordinances, Chapter 13-603 states that access for all new driveway connections "shall be located, designed and constructed so that vehicles can enter and exit from the parcel in question without posing any substantial danger to themselves, pedestrians, or vehicles traveling in abutting streets, and so that interference with the free and convenient flow of traffic in abutting or surrounding streets is minimized." This chapter also states that "direct access from driveways onto arterial and collector roads shall be minimized where possible to increase safety and reduce conflicts points." As indicated by the Sumter County Code of Ordinances, CR 121 should have been the main entrance, but the roadway is a narrow 30-foot paved road making this entrance not ideal for larger vehicles. Based on Sumter County's findings, it was determined whether access is granted right-in/right-out only on C 462 or to CR 121, each scenario poses potential hazards

deriving from the adverse conditions. The accepted TIA by Sumter County is considered invalid as the TIA was accepted under the condition that the development would have full access off of C 462.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

Although the zoning will not affect what neighboring owners can do on their property, RV parks and mobile home parks could over time be a deterrent to future developers or property owners if the development is not properly maintained.

Conclusion: Sumter County's Public Works Department has determined that whether the access is right-in/right-out off of C 462 or CR 121, each scenario poses potential hazards deriving from the adverse conditions. The requested zoning of MHP is not considered compatible with the surrounding area, as stated by staff in the report, and staff is recommending denial.

A handwritten signature in black ink, appearing to read "Amanda Bondi". The signature is fluid and cursive, with the first name being more prominent.

Amanda Bondi
Planning Manager, Development Services

ORDINANCE NO. O2026-9

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

D32-173
Lien Nails, LLC
10 +/-

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING WITHIN THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EST, SUMTER COUNTY FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT AN IRON ROD AND CAP MARKED "LB 6514" AT THE INTERSECTION OF THE WEST LINE OF SAID EAST ½ OF NORTHEAST ¼ OF NORTHEAST ¼ WITH THE SOUTH LINE OF THE NORTH 191.07 FEET OF SAID EAST ½ OF NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32; THENCE ALONG THE AFORESAID SOUTH LINE OF THE NORTH 191.07 FEET RUN N 89°50'14"E A DISTANCE OF 82.70 FEET TO AN IRON ROD AND CAP MARKED "B 4709"; THENCE PARALLEL WITH SAID WEST LINE OF THE EAST ½ OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ RUN S 00°13'05"W A DISTANCE OF 211.60 FEET TO AN IRON ROD AND CAP MARKED "LB 4709"; THENCE S89°48'57"E A DISTANCE OF 325.60 FEET TO AN IRON ROD AND CAP MARKED "LB4709"; SAID POINT BEING ON THE WEST LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 3542, PAGE 677, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE ALONG SAID WEST LINE RUN S 00°10'25"W A DISTANCE OF 174.45 FEET TO AN IRON ROD AND CAP MARKED "PSM 3522" AT THE SOUTHWEST CORNER OF SAID PROPERTY; THENCE ALONG THE SOUTH LINE OF SAID PROPERTY RUN S 87°05'31"E A DISTANCE OF 252.76 FEET TO THE EAST LINE OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32; THENCE ALONG SAID EAST LINE RUN S 00°11'22"W A DISTANCE OF 92.59 FEET TO THE NORTH LINE OF THE SOUTH 210 YARDS OF SAID NORTHEAST ¼ OF NORTHEAST 1/4; THENCE ALONG SAID

NORTH LINE RUN N 89°41'48"W A DISTANCE OF 210.76 FEET TO A 3-INCH SQUARE CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE EAST 70 YARDS OF THE SOUTH 210 YARDS OF SAID NORTHEAST ¼ OF NORTHEAST ¼ OF SECTION 32; THENCE ALONG THE WEST LINE OF SAID EAST 70 YARDS RUN S 00°7'36" W A DISTANCE OF 629.98 FEET TO A 3-INCH SQUARE CONCRETE MONUMENT AT THE SOUTH LINE OF AFORESAID EAST ½ OF NORTHEAST ¼ OF NORTHEAST ¼; THENCE ALONG SAID SOUTH LINE RUN N 89°40'41"W A DISTANCE OF 315.43 FEET TO AN IRON ROD AND CAP MARKED "LB 6514" ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD 462; SAID POINT BEING ON A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 749.78 FEET WITH A CHORD BEARING AND DISTANCE OF N 79°51'30"W, 137.84 FEET TO WHICH A RADIAL LINE BEARS N 15°24'57"E; THENCE WESTERLY 138.03 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°32'53" TO AN IRON ROD AND CAP MARKED "LB 6514" ON THE WEST LINE OF SAID EAST ½ OF NORTHEAST ¼ OF NORTHEAST ¼; THENCE DEPARTING SAID RIGHT-OF-WAY AND CURVE ALONG A NON-TANGENT LINE AND ALONG AFORESAID WEST LINE RUN N 00°13'05"E A DISTANCE OF 1095.10 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT RIGHT-OF-WAY FOR COUNTY ROAD 121 ALONG THE EAST SIDE THEREOF.

This property is to be reclassified from IN to MHP (City of Wildwood).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this _____ day of _____, 2026, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

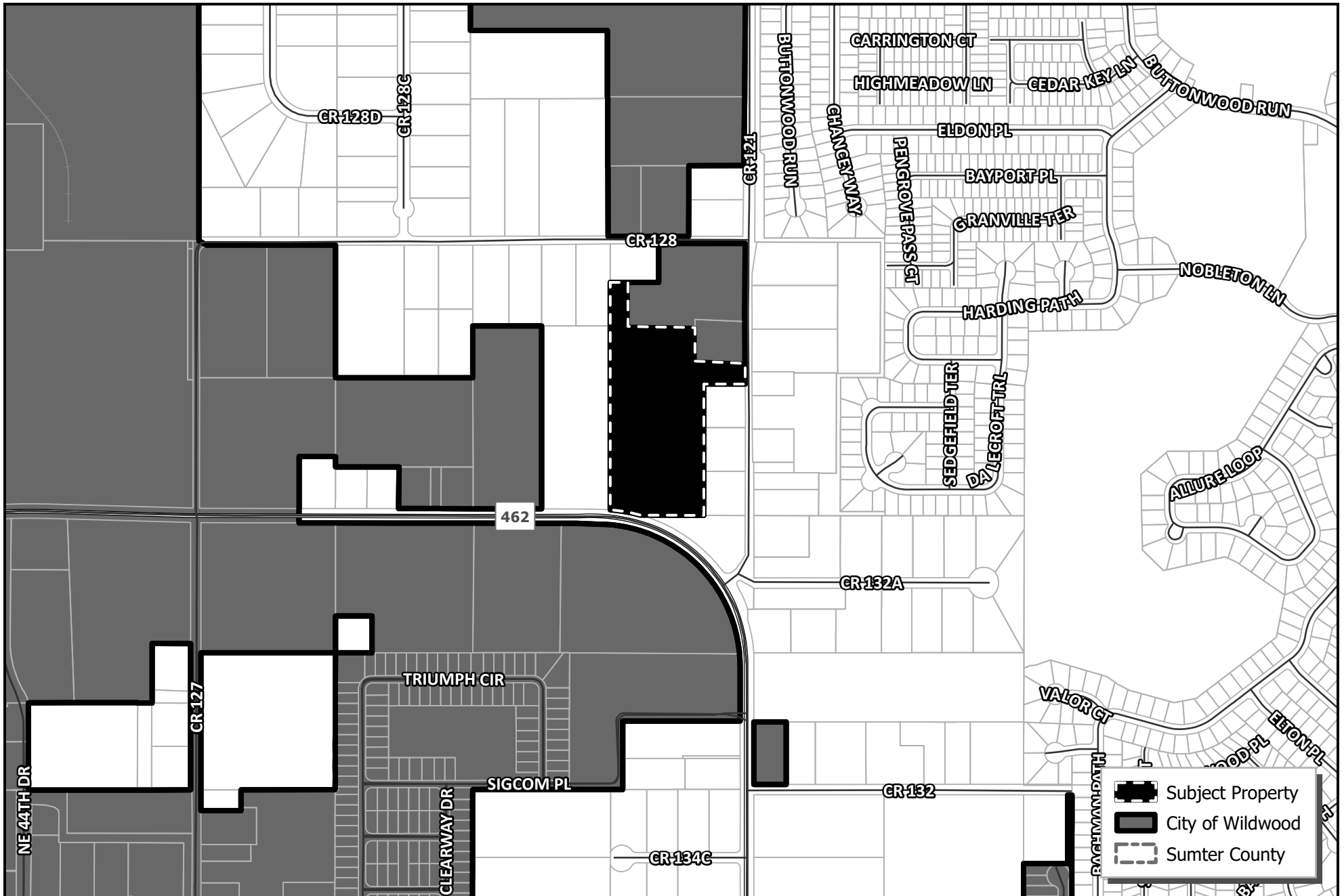
First Reading: _____


Second Reading: _____

Approved as to form:

City Attorney

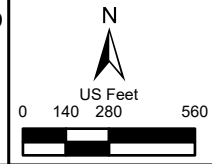
EXHIBIT A



-  Subject Property
-  City of Wildwood
-  Sumter County



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-4602
SMALL RV WILDWOOD
 PARCEL D32-173

MAP 1A
LOCATION
MAP
JAN 2026



Business Impact Estimate

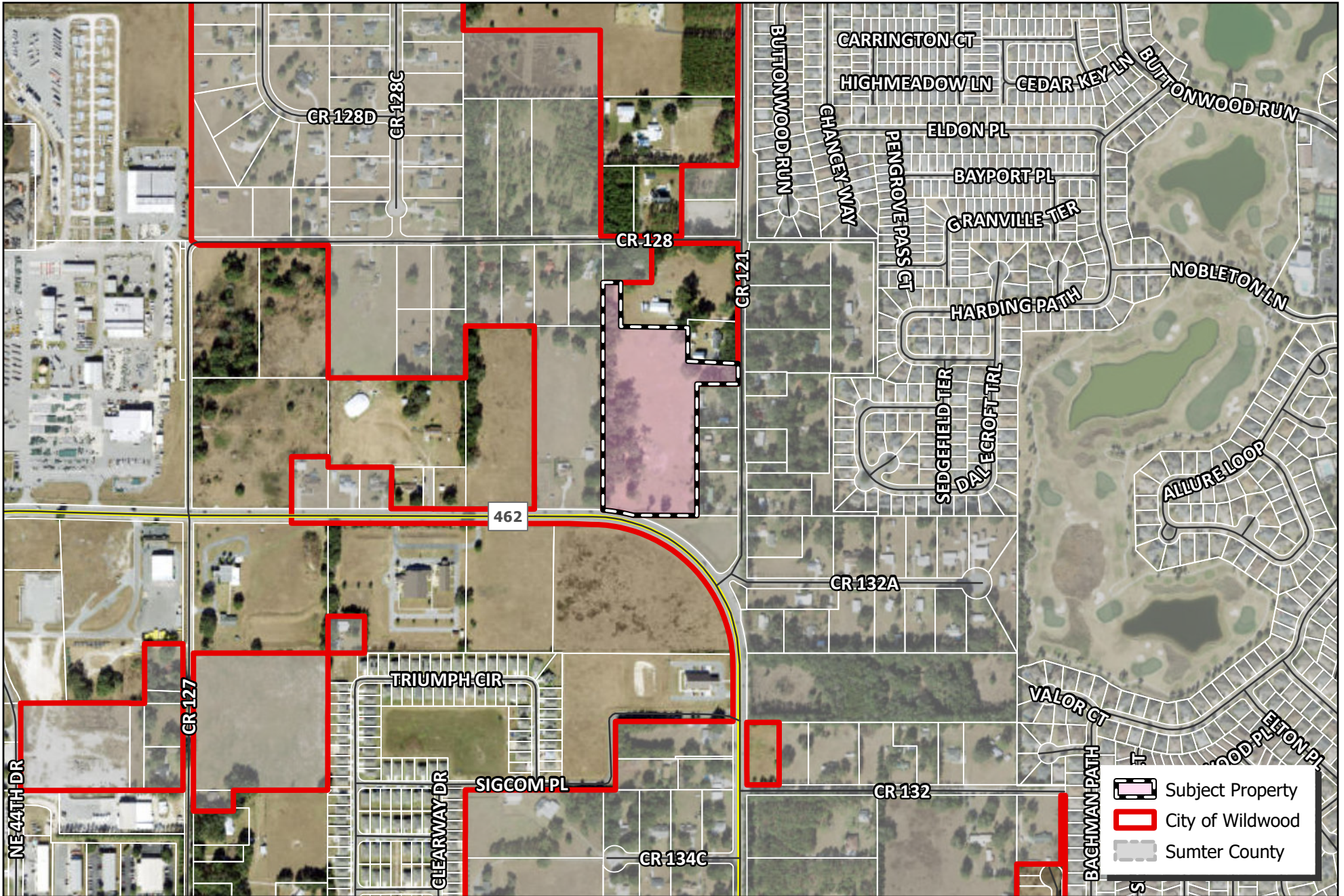
This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.




Proposed ordinance's title/reference: O2026-9

This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

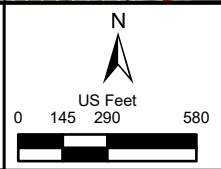
¹ See Section 166.041(4)(c), Florida Statutes.



	Subject Property
	City of Wildwood
	Sumter County

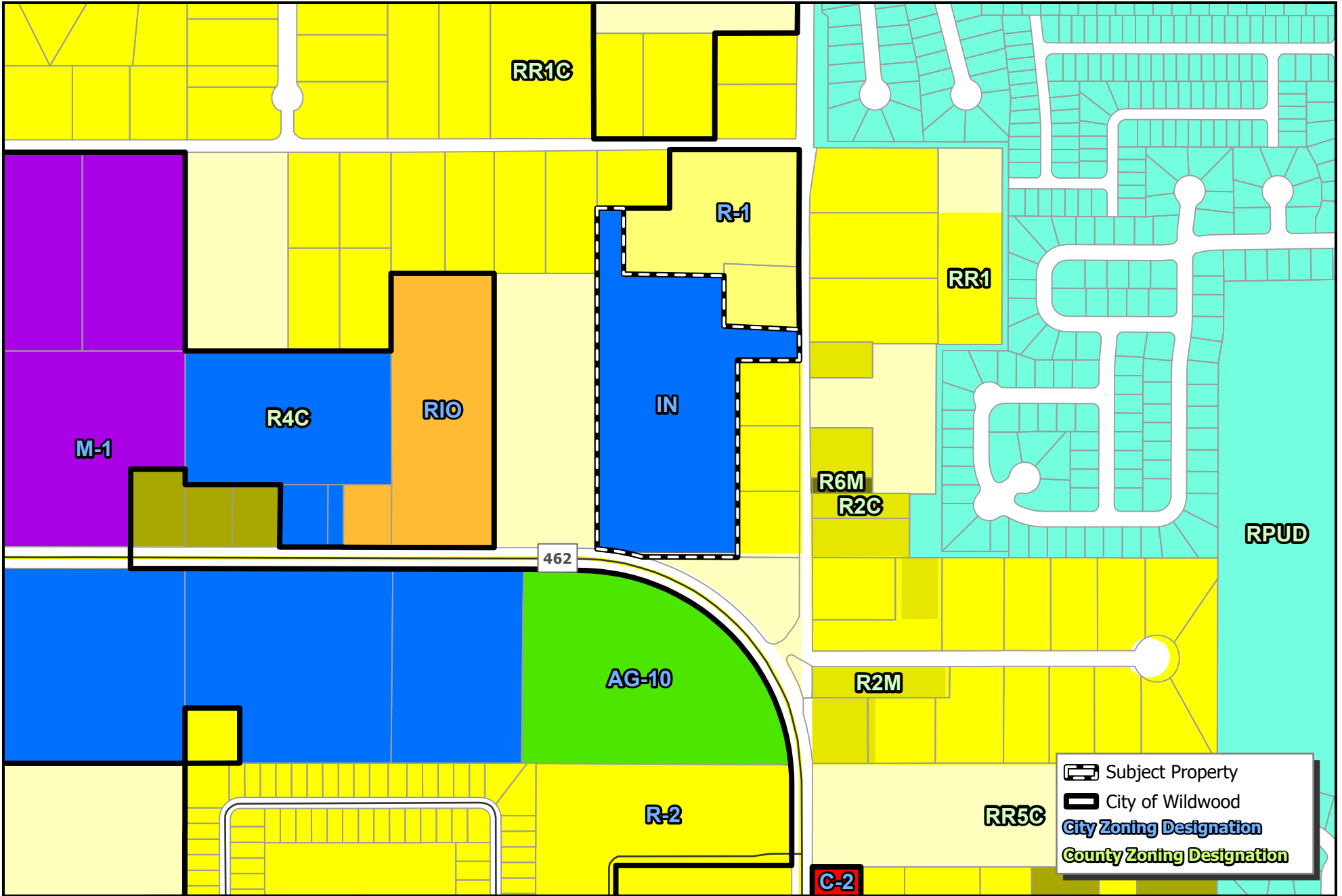


CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov

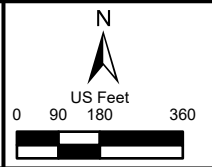


#A25-4602
SMALL RV WILDWOOD
 PARCEL D32-173

MAP 1B
LOCATION
MAP
JAN 2026

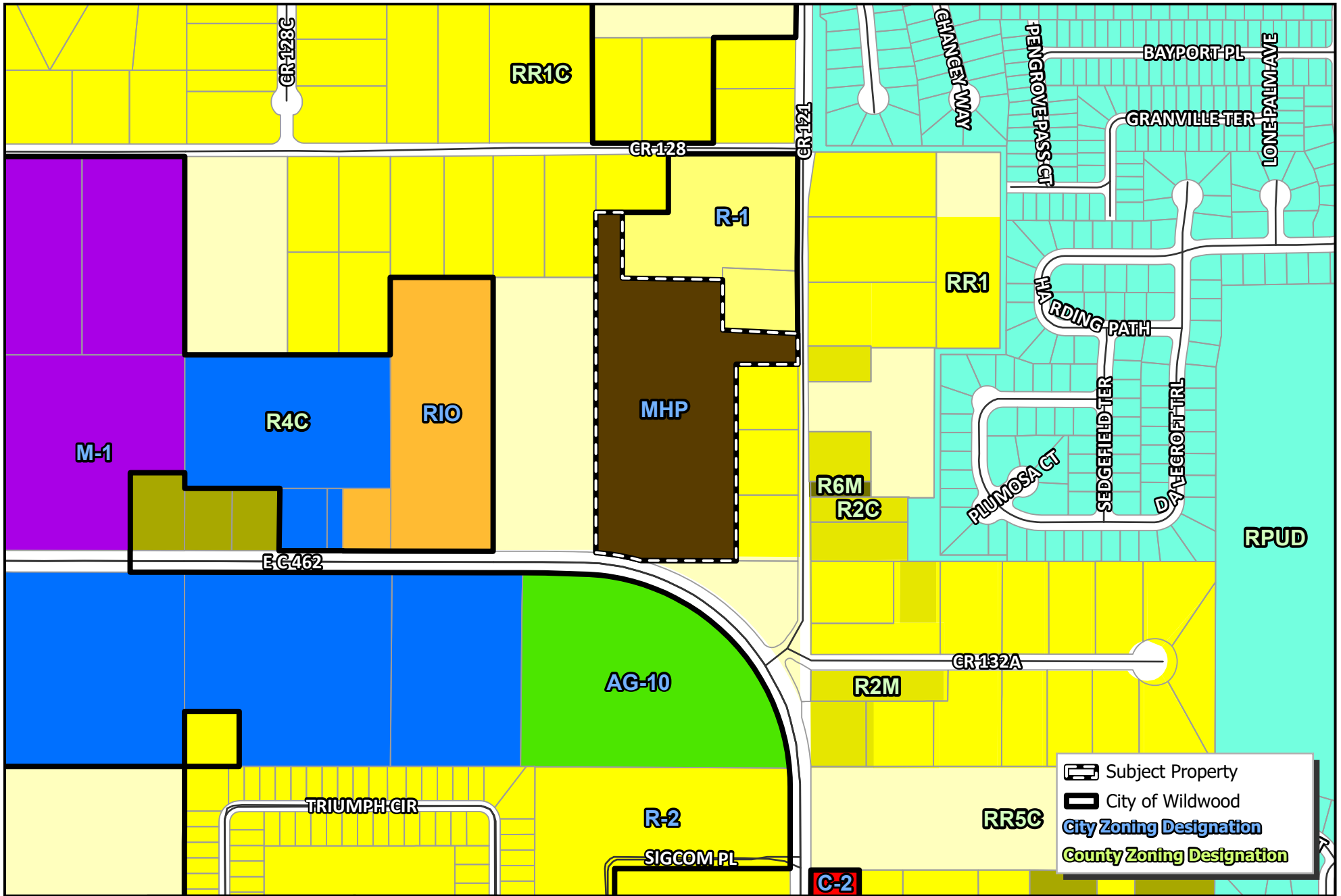






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#A25-4602
SMALL RV WILDWOOD
 PARCEL D32-173

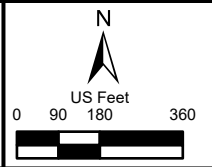
MAP 3A
EXISTING ZONING
JAN 2026



 Subject Property
 City of Wildwood
 City Zoning Designation
 County Zoning Designation



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-4602
#A25-4602
 PARCEL D32-173

MAP 3B
PROPOSED ZONING
JAN 2026



City of Wildwood, Florida
PUBLIC NOTICE
Development Services Department
www.wildwood-fl.gov

RECEIVED

MAR 03 2026

City Of Wildwood
Development Services Dept

February 19, 2026

REIDY MARTIN J & BONITA M
4903 CR 128
WILDWOOD, FL 34785

Your Parcel Number(s): D32-073

THIS LETTER IS TO INFORM YOU OF A PUBLIC HEARING FOR A PROPERTY IN YOUR AREA

NO CHANGES WILL BE MADE TO YOUR PROPERTY

TO: Property owners near a property which is being considered by the Planning & Zoning Board/Local Planning Agency/Special Magistrate to change the Future Land Use Map designation from Institutional to Mobile Home Park (City of Wildwood) and to change the Zoning Map designation from IN to MHP (City of Wildwood).

OWNER: Lien Nails, LLC
APPLICANT: Eddie Small of E Small Developing LLC
CASE NUMBERS: 25-4603 (CP) & 25-4602 (RZ)
PARCEL NUMBER: D32-173

The subject property is generally located approximately 0.38 miles east of the E C 462 and CR 128 intersection, with a portion north along E C 462 and a portion west along CR 121.

A public hearing before the City of Wildwood Planning & Zoning Board/Local Planning Agency/Special Magistrate will be held in the City Hall Commission Chamber, 100 North Main Street, Wildwood, FL on **Tuesday, March 3, 2026, at 2:00pm.**

The recommendations of the Planning and Zoning Board/Local Planning Agency/Special Magistrate will be presented to the City Commission at a first hearing to be held in the City Commission Chamber on **Monday, March 23, 2026, at 7:00pm** and the final hearing to be held in the City Hall Commission Chamber on **Monday, April 13, 2026, at 9:00am.**

Written comments submitted will be heard. Hearings may be continued from time to time as found necessary. Please return this form to: City of Wildwood, Development Services Department, 100 N. Main Street, Wildwood, FL 34785. Questions should be directed to the Development Services Department at (352) 330-1334.

APPEAL: NECESSITY OF RECORD. In order to appeal the Commission's decision in this matter, a verbatim record of the proceedings is required. The City Commission and the City of Wildwood assume no responsibility for furnishing said record.

I support this request.
 I do not object to this request.
 I do not support this request for the following reason(s) Traffic congestion, drainage.



City of Wildwood, Florida
PUBLIC NOTICE
Development Services Department
www.wildwood-fl.gov

March 20, 2026

MOORE MICHAEL & DANIELLE
8865 CR 121
WILDWOOD, FL 34785

RECEIVED

APR 1 2026

Your Parcel Number(s): D33-006

City Of Wildwood
Development Services Dept

THIS LETTER IS TO INFORM YOU OF A PUBLIC HEARING FOR A PROPERTY IN YOUR AREA

NO CHANGES WILL BE MADE TO YOUR PROPERTY

TO: Property owners near a property which is being considered by the Planning & Zoning Board/Local Planning Agency/Special Magistrate to change the Future Land Use Map designation from Public Facilities to Mobile Home Park (City of Wildwood) and to change the Zoning Map designation from IN to MHP (City of Wildwood).

OWNER: Lien Nails, LLC
APPLICANT: Eddie Small of E Small Developing LLC
CASE NUMBERS: 25-4603 (CP) & 25-4602 (RZ)
PARCEL NUMBER: D32-173

The subject property is generally located approximately 0.38 miles east of the E C 462 and CR 128 intersection, with a portion north along E C 462 and a portion west along CR 121.

A public hearing before the City of Wildwood Planning & Zoning Board/Local Planning Agency/Special Magistrate will be held in the City Hall Commission Chamber, 100 North Main Street, Wildwood, FL on **Tuesday, April 7, 2026, at 2:00pm.**

The recommendations of the Planning and Zoning Board/Local Planning Agency/Special Magistrate will be presented to the City Commission at a first hearing to be held in the City Commission Chamber on **Monday, April 27, 2026, at 7:00pm** and the final hearing to be held in the City Hall Commission Chamber on **Monday, May 11, 2026, at 9:00am.**

Written comments submitted will be heard. Hearings may be continued from time to time as found necessary. Please return this form to: City of Wildwood, Development Services Department, 100 N. Main Street, Wildwood, FL 34785. Questions should be directed to the Development Services Department at (352) 330-1334.

APPEAL: NECESSITY OF RECORD. In order to appeal the Commission's decision in this matter, a verbatim record of the proceedings is required. The City Commission and the City of Wildwood assume no responsibility for furnishing said record.

I support this request.

I do not object to this request.

I do not support this request for the following reason(s)

*traffic & safety concerns,
for protection of our community,
No entrance or exit should be
permitted on CR 121.*

The City of Wildwood, Florida

100 North Main Street, Wildwood, Florida 34785

352 330 1330 | Fax: 352 330 1338 | www.wildwood-fl.gov

**LIEN NAILS PROPERTY
CR 462, WILDWOOD FL 34785
SUMTER COUNTY, FLORIDA**



ENVIRONMENTAL ASSESSMENT REPORT

Prepared for:
Mr. Eddie Small
E Small Developing, LLC
5366 Central Florida Parkway
Orlando, Florida 32821

Prepared by:
Stillwater Environmental, Inc.
971 Smokerise Blvd.
Port Orange, Florida 32127
SEI File No. 1399.01.25

November 5, 2025

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LIEN NAILS PROPERTY

CR 462, WILDWOOD FL 34785

SUMTER COUNTY, FLORIDA

ENVIRONMENTAL ASSESSMENT REPORT

1.0 INTRODUCTION

The Lien Nails Property project site is approximately 9.92 +/- acres in size. The Sumter County Property Appraiser's website lists the Parcel ID no. as D32-173 (Appendix A). The project is located 0.9 miles east of the intersection of US 301 and E. CR 462, in Section 32, Township 18 South, Range 23 East at latitude 28.885359 North and longitude -82.021941 West, Wildwood, Sumter County, Florida (Figure 1). An aerial image of the property is provided on Figure 2.

Review of historical and current aerial photography, the Natural Resources Conservation Service/National Cooperative Soil Report for Sumter County, National Wetlands Inventory Map, and examination of existing site conditions revealed that the subject property historically has remained undeveloped. Historic aerials were researched back to 1964 and USGS topographic maps were researched back to 1895. Early aerial photographs show the property as undeveloped maintained pastureland with hardwoods scattered throughout. Over the decades, it seems little change has occurred onsite except for the clearing of some of the onsite hardwood community. Today, the property sits vacant with several southern live oaks still present throughout. During field surveys for this report, review of historical topographic maps, and National Wetlands Inventory Map (Appendix B), areas classified as wetland/surface waters were not observed within, or adjacent to the subject property.

The project site was reviewed to determine the geological features of the landscape (e.g. soils and topography), to identify the vegetative communities that occur within the project boundary, and to determine the occurrence of threatened and endangered flora and fauna within the project boundary.

2.0 NATURAL RESOURCE ANALYSIS

2.1 Topography

According to the U.S.G.S. 7.5 Minute Topographic Map, "Wildwood, Florida" Quadrangle 2018, the project area elevations sit around approximately 70' msl (Figure 3). Onsite elevations are found to be almost uniform throughout.

2.2 Soils

Soil composition information for the subject property was obtained from the U.S. Department of Agriculture Natural Resource Conservation Service Web Soil Survey for Sumter County (Figure 4). Two (2) soil types lie within the subject property boundary. A brief description of these soil types is presented below.

4) Candler Sand, 0 to 5 percent slopes (5.18 ac/52.22%)

Candler sand consist of very deep, excessively drained, very rapid to rapidly permeable soils found on uplands on the south-central Florida ridge. The water table is at depths greater than 80 inches. Many areas are used for citrus crops and tame pasture. Native vegetation consists of bluejack oak (*Quercus incana*), turkey oak (*Quercus laevis*), sand post oak (*Quercus margaretta*), and longleaf pine (*Pinus palustris*), sand pine (*Pinus clausa*), chapman oak (*Quercus chapmanii*) and myrtle oak (*Quercus myrtifolia*), with a sparse understory of log-sided Indiangrass (*Sorghastrum secundum*), gopher apple (*Liana michauxii*), pineland threeawn, hairy panicum (*Panicum virgatum*), and other forbs. This soil type is found in the northern portions of the property.

11) Millhopper Sand, 0 to 5 percent slopes (4.74 ac/47.78%)

Millhopper sands consists of very deep, moderately well drained, moderately permeable soils that formed in thick beds of sandy and loamy marine sediments. They occur in Central and Southern Florida. The water table is at depths of 48 to 60 inches for periods of 1 to 4 months and at 60 to 72 inches for 2 to 4 months during most years. It may be at 30 to 48 inches for cumulative periods of 1 to 3 weeks during some years. Most areas of Millhopper soils are cleared and used for improved pasture or for cultivated crops. Native vegetation consists of live oak (*Quercus virginiana*), longleaf pine (*Pinus palustris*), slash pine (*Pinus elliottii*), loblolly pine (*Pinus taeda*), magnolia (*Magnolia grandiflora*), dogwood (*Cornus sp.*), hickory (*Carya sp.*), laurel oak (*Quercus virginiana*), sweetgum (*Liquidambar styraciflua*), and water oak (*Quercus nigra*). This soil is found throughout the subject property.

2.3 Vegetative Community Analysis – Habitat Characterizations

Pedestrian surveys of the subject property were conducted on October 16, 2025 to qualitatively document the existing vegetation and to assess the present land use patterns according to the *Florida Land Use, Cover and Forms Classification System, Department of Transportation* (FLUCFCS; DOT). One (1) land-use type was determined for the subject property (Figure 5). A brief description of the FLUCFCS community follows. Photographs are provided in Appendix C:

FLUCFCS No. 211 – Improved Pasture (9.92 ac/100%)

This category in most cases is composed of land which has been cleared, tilled, and reseeded with specific grass types and periodically improved with brush control and fertilizer application. Water ponds, troughs, feed bunkers and, in some

cases, cow trails are evident. This land use type is found throughout the entirety of the site. Vegetation consists of bahia grass (*Paspalum notatum*), lantana (*Lantana sp.*), and dogfennel (*Eupatorium capillifolium*) scattered throughout the site.

3.0 THREATENED AND ENDANGERED SPECIES

Preliminary ecological investigations included review of published and unpublished literature concerning the subject property and surrounding areas, solicitation of databases on protected species, field investigations to generally delineate and characterize the habitats, and a preliminary field survey for the occurrence of protected flora and fauna.

The following is a list of all wildlife species identified during the evaluation of the site:

Reptiles and Amphibians

Brown anole (*Norops sagrei*)

Eastern black racer (*Coluber constrictor*)

Birds

Mourning Dove (*Zenaida macroura*)

Northern Mockingbird (*Agelaius phoeniceus*)

Mammals

Eastern Gray Squirrel (*Sciurus carolinensis*)

Using methodologies outlined in the *Florida's Fragile Wildlife* (Wood, 2001); *Measuring and Monitoring Biological Diversity Standard Methods for Mammals* (Wilson, et al., 1996); and *Florida Fish and Wildlife Conservation Commission's (FFWCC) Gopher Tortoise Permitting Guidelines* (April 2008 – revised January 2017); an assessment for “listed” floral and faunal species was most recently conducted on the subject property on October 16, 2025 (Figure 6). This assessment included direct observations and indirect evidence, such as tracks, burrows, tree markings, and birdcalls. The assessment focused on species that are “listed” by the FFWCC's *Official Lists - Florida's Endangered Species, Threatened Species, and Species of Special Concern* (May 2017) that have the potential to occur in Sumter County (Table 1).

Pedestrian transects were established throughout the site to assess the occurrence, or potential for occurrence of flora and fauna listed as a species of special concern (SSC), threatened, or endangered by the Florida Fish and Wildlife Conservation Commission (FFWCC), the United State Fish and Wildlife Service (USFWS) and the Florida Department of Agriculture (FDA) (Figure 6). The results of these surveys are presented in the following sections.

Table No. 1 and Table No. 2 list those species that were surveyed based on their probability of occurrence in Lake County.

3.1 Regulatory Review

U.S. Fish and Wildlife Service

The U.S. Fish and Wildlife Service (USFWS) is the federal agency responsible for protecting the nation's fish and wildlife resources through implementation of the Endangered Species Act of 1973, as amended ("ESA"), 16 U.S.G. 1531-1543. The USFWS has the responsibility for terrestrial and freshwater species. The Department of Commerce, National Marine Fisheries Service has the responsibility for marine and estuarine species. In Florida, approximately 60 species of animals and 65 species of plants are federally listed by the USFWS as threatened or endangered.

Florida Fish and Wildlife Conservation Commission

Article IV, Section 9 of the Florida Constitution authorizes the FFWCC to "exercise the regulatory and executive powers in the state with regard to wild animal life and freshwater aquatic life." In addition, the FFWCC regulates the taking of species listed as endangered, threatened, or of special concern and their nests through Rules listed in 68A-27 Florida Administrative Code. The FFWCC also provides technical assistance to other agencies that have regulatory authority over activities, which may affect fish and wildlife, and their habitat. The FFWCC's direct regulatory role is currently restricted to protecting animals, not their habitats. However, current FFWCC policies allow for habitat protection as compensation for the "taking" of individuals of the species. The FFWCC Office of Environmental Services (OES) provides technical assistance to other agencies that regulate development activities. These agencies include the Department of Community Affairs, The Department of Environmental Protection, the U.S. Army Corps of Engineers, the state of Florida Water Management Districts, regional planning councils and local governments.

Florida Department of Agriculture and Consumer Services

In Section 581.185, F.S. the Florida Legislature delegated to the Florida Department of Agriculture and Consumer Service (FDACS) authority to designate and regulate plants listed as "endangered," "commercially exploited", and "threatened". FDACS protection of listed plant species centers around preventing the illegal collection, transport, and sale of "listed species". FDACS only issues a permit for collection purposes and neither regulates nor prohibits the destruction of state-listed flora species as a result of development activities. With respect to the USFWS, an endangered/threatened plant on private property belongs to the landowner so long as it continues to grow on his land. The only exception is if the landowner uses federal funds to develop the land. Then the federal agency

participation in the action must ensure that federal funds are not being used to destroy a federally listed plant. If private money is being utilized, there is no such requirement. Otherwise, the endangered species law means little unless/until the plant is moved from the land to be sold or traded. At that point the plant is no longer part of the land and may be protected by the endangered species law. Additionally, it is illegal to collect or maliciously harm listed plants on Federal land.

3.2 Avian Species

A survey to indicate the presence of listed wading birds such as little blue heron (*Egretta caerulea*), wood stork (*Mycteria americana*), tricolored heron (*Egretta tricolor*), and the Florida sandhill crane (*Grus Canadensis pratensis*) was performed on the project site. Suitable habitat for foraging or nesting was not located within the limits of the project site. During the field surveys no listed wading birds were observed.

Red-cockaded Woodpecker (Leuconotopicus borealis)

Federally listed as "Endangered" by the USFWS

No suitable habitat for red-cockaded woodpeckers (*Picoides borealis*) (RCW's) was identified on the project site during field surveys. The property is considered to be unsuitable for RCW's because of the lack of old growth pine trees necessary for nest cavity construction. The general onsite conditions preclude the establishment of RCW's. No further action is required pertaining to the red-cockaded woodpecker.

Sandhill Crane (Grus Canadensis pratensis)

State Listed as "Threatened" by the FFWCC

FFWCC developed the *Imperiled Species Management Plan* to address the needs of state listed species that did not already have a management plan or specific program in place. These species also have Commission approved *Species Conservation Measures and Permitting Guidelines* that have been developed to clarify what is needed for conservation and permitting of these species. Cranes typically nest from February through April. Suitable foraging and/or nesting habitat was not identified on the project site. When habitat is available, a survey of these areas is recommended and would need to be initiated in February and continued through April including pedestrian transects and aerial reconnaissance conducted by drone if construction activities are to occur during the nesting season. The survey methodology prescribed by the FFWCC would be employed. No signs or individuals were observed during surveys for this report. No further action is required pertaining to the Florida sandhill crane at this time.

Bald Eagle (*Haliaeetus leucocephalus*)
Protected Under the Bald and Golden Eagle Protection Act and the Migratory Bird Treaty Act.

In August of 2007, the USFWS removed the Bald Eagle from the list of federally endangered and threatened species. Additionally, the Bald Eagle was removed from FFWCC's imperiled species list in April of 2008. Although the Bald Eagle is no longer protected under the Endangered Species Act, it is still protected under the Bald and Golden Eagle Protection Act, the Migratory Bird Treaty Act, and FFWCC's Bald Eagle rule (F.A.C. 68A-16.002 Bald Eagle (*Haliaeetus leucocephalus*)). In May of 2007, the USFWS issued the National Bald Eagle Management Guidelines. In April of 2008, the FFWCC adopted a new Bald Eagle Management Plan that was written to closely follow the federal guidelines. Under FFWCC's new management plans, buffer zones are recommended based on the nature and magnitude of the project or activity. The recommended buffer zone is 660 feet or less from the nest tree, depending on what activities or structures are already near the nest. A FFWCC Eagle permit is not needed for any activity occurring outside of the 660-foot buffer zone. No activities are permitted within 330 feet of a nest during the nesting season, October 1 through May 15 or when eagles are present at the nest.

The Southeastern American kestrel (*Falco sparverius paulus*), Everglade snail kite (*Rostrhamus sociabilis plumbeus*), or any other listed birds of prey were not observed on the project site. Two sources were used to identify any bald eagle nests in the vicinity of the project site. They included the FFWCC Historical Bald Eagle Nesting Areas, which has information for the years of the first observation and last, and the Audubon Florida Eagle Watch Nest App which includes the nesting number and the Latitude and Longitude information. The closest nest located to the subject property that has been located by these sources is nest No: SU018 located approximately 2.25 miles to the north, northeast at latitude 28.891500 and longitude -81.983667 (Figure 7). Its first observation is unknown and was listed unknown for the 2025 nesting season. Current USFWS Bald Eagle Management Guidelines state that if there is sufficient natural or man-made landscape buffers between the proposed construction site and the nest preventing a visual connection between the two and the clearing and external construction that is to occur is more than 660 feet from the location of the nest, then there are no restrictions during breeding season (October 1 through March 15). Nest No. SU018 is approximately 2.25 miles from the proposed project, in addition to the natural vegetative buffer that exists. As a result, it is not necessary to submit a Bald Eagle Management Plan.²

Wood Stork (*Mycteria Americana*)
Federally Listed as "Threatened" by USFWS and the FFWCC

Wood Storks are listed as Threatened by FFWCC and USFWS. According to the *FWC Wood Stork Introduction*, due to loss of wetlands, which the storks rely on for foraging, a decline in range and numbers was evident in the early to mid

1990's. Based on statewide surveys conducted by FFWCC personnel, stork colonies increased from 32 colonies during 1976-78 to 52 colonies during 1986-87 but decreased to 34 colonies in 1999. The most recent survey indicated about 7,216 nesting pairs in Florida during 2005. According to the *Wood Stork Nesting Colonies and Core Foraging Areas Active Within 2009-2018 in Florida* (Figure 8), the subject property is located outside a core foraging area for this species as well as the USFWS consultation area. No wood storks were observed foraging onsite and there is no nesting habitat available. No further action pertaining to the wood stork is required.

Everglade Snail Kite (Rostrhamus socialbilis)
Federally Listed as "Endangered" by USFWS and FFWCC

The Everglade Snail Kite (*Rostrhamus socialbilis*) is listed as Endangered by the USFWS and the FFWCC. The subject property falls inside the USFWS Consultation Area for the Everglade Snail Kite. Everglade Snail Kites are similar in size to Red-Shouldered Hawks. They have deep red eyes and a white rump patch. Males are slate gray, and females and juveniles vary in amounts of white, light brown, and dark brown. The females always have white on their chin. Kites vocalize mainly during courtship and nesting. Snail kites' nest year-round in shallow marshes and along grassy shorelines of lakes. They typically nest over water to reduce opportunities for predators to sneak up on them. A survey of any suitable habitat is necessary to confirm no nesting activities are present. At the time of the survey, suitable habitat for nesting or foraging was not located on site, and no signs or individual Snail kites were observed. No further action is required pertaining to the Everglade Snail Kite.

Florida Scrub-Jay (Aphelocoma coerulescens)
Federally Listed as "Threatened" by USFWS and FFWCC

Currently the Florida scrub-jay (*Aphelocoma c. coerulescens*) is listed as "threatened" at state and federal levels. Florida scrub-jays are largely restricted to scattered, often small and isolated patches of sand pine scrub, xeric oak, scrubby flatwoods, and scrubby coastal stands in peninsular Florida (Woolfenden 1978a, Fitzpatrick et al. 1991). They typically avoid wetlands and forests, including canopied sand pine stands. Optimal scrub-jay habitat is dominated by shrubby scrub, live oaks, myrtle oaks, or scrub oaks from 1 to 3 m (3 to 10 ft.) tall, covering 50% to 90% of the area; bare ground or sparse vegetation less than 15 cm (6 in) tall covering 10% to 50% of the area; and scattered trees with no more than 20% canopy over (Fitzpatrick et al. 1991).

Habitat suitable for scrub jay nesting and foraging activities is not available on the subject site. The subject property falls inside the known distribution area for scrub-jays in Sumter County as mapped by the USFWS. Per the guidelines outlined in the *Ecology and Development – Related Habitat Requirements of the Florida Scrub Jay, Nongame Wildlife Program, Technical Report No. 8* surveys will not be

required by the USFWS. No further action is required pertaining to the Florida scrub-jay.

Audubon's Crested Caracara (Polyborus plancus audubonii)
Federally Listed as "Threatened" by USFWS and FFWCC

The project site falls outside the USFWS Consultation Areas for the species Audubon's Crested Caracara (*Polyborus plancus audubonii*). Currently the Audubon's Crested Caracara is listed as threatened by the USFWS and the FFWCC primarily due to habitat loss. The Audubon's Crested Caracara commonly occurs in dry or wet prairie areas with scattered cabbage palm, lightly wooded areas with saw palmetto, scrub-oaks, and cypress. The Audubon's Crested Caracara also uses improved or semi-improved pasture with seasonal wetlands. Audubon's Crested Caracaras construct new nest each nesting season, often in the same tree as the previous year. The subject site does not fall within the USFWS Audubon's Crested Caracara consultation area and no crested caracaras were observed during the field surveys. Suitable foraging habitat for this species does not exist within the project boundaries. No further action is required pertaining to this species.

Florida Grasshopper Sparrow (Ammodramus savannarum floridanus)
Federally Listed as "Endangered" by USFWS and FFWCC

The subject property falls outside the USFWS Consultation Areas for the Florida grasshopper sparrow (*Ammodramus savannarum floridanus*). This species is currently listed endangered by the USFWS and FFWCC. The Florida grasshopper sparrow is a small bird that can reach a length of five inches (13 centimeters) with a wingspan of eight inches (20 centimeters) (*Smithsonian National Zoological Park, n.d.*). This species is drab colored with a pale median stripe on top of its flattened head, and a light brown breast. Florida grasshopper sparrows inhabit dry open prairies that contain bunch grasses, low shrubs, and saw palmetto. Adults are sedentary, using the same territory during successive years. Nests are made of grass, dome shaped and are usually located in a slight depression in the ground, well-concealed by clumps of dwarf live oak, wire grass, or saw palmetto. Grasshopper sparrows are bimodal breeders – they breed throughout the year (*Vickery 1996*). They can be found in south-central Florida in the counties of Polk, Osceola, Highlands, and Okeechobee (*Florida Natural Areas Inventory 2001*). Suitable foraging and nesting habitat for this species does not exist within the project boundaries. No further action is required pertaining to this species.

Eastern Black Rail (Laterallus jamaicensis jamaicensis)
Federally Listed as "Threatened" by USFWS and FFWCC

The eastern black rail is a wetland dependent bird found in a variety of salt, brackish, and freshwater wetland habitats and is currently listed threatened by the USFWS and FFWCC. An adult eastern black rail is gray-black in coloration, with white speckled upperparts, and has a grayish crown, a chestnut-colored nape of the neck, and a short tail, as described by Cornell University in 2019. These

secretive birds have red eyes, black bills and dusty pink or wine-colored legs. This species requires dense overhead cover and soils that are moist to saturated (occasionally dry) and interspersed with or adjacent to very shallow water to support its resource needs. Suitable habitat does not exist within the boundary of the subject property and no signs or individuals were observed during field investigations for this report. No further action is required pertaining to this species at this time.

3.3 Amphibians, Reptiles, and Mammals

About thirty (30) species of Florida's amphibians and reptiles are protected. Only a few could occur on this site. A survey was conducted for the presence of these species throughout the habitat of their known distribution (Figure 6). On October 16, 2025, SEI biologists surveyed linear transects throughout portions of the upland habitats in the project area. The project site was surveyed in accordance with the guidelines set forth by the FFWCC and the USFWS. Mr. Timothy Talbot, of Stillwater Environmental, Inc., FWC Authorized Gopher tortoise Agent Permit No. GTA-14-00053D, and Ms. Jessica Azpuru, FWC Authorized Gopher Tortoise Permit No. GTA-22-00073, participated in all the surveys including the gopher tortoise surveys. There were no (0) "potentially occupied" gopher tortoise burrows located within the project boundary. The presence of gopher tortoise burrows increases the potential for the commensal species, the Florida mouse (*Podomys floridanus*), the gopher frog (*Rana areolata*), and the Eastern indigo snake (*Drymarchon corais couperi*), federally listed as "Threatened", to occur on the property.

3.3.1 Gopher Tortoises

Gopher Tortoise (Gopherus polyphemus)
State Listed as "Threatened" by the FFWCC

Gopher tortoises are listed as threatened by the FFWCC and are protected by state law Chapter 68A-27 and Chapter 39-27.002(4) Florida Administrative Code. The gopher tortoise is found throughout Florida and is generally associated with longleaf pine and xeric oak sand hills but is also found in scrub, xeric hammock, pine flatwoods, dry prairie, coastal grasslands, and dunes. If the gopher tortoise is observed, or signs of the tortoise such as burrows are observed, their presence must be addressed prior to onsite construction activities. The FFWCC is the state agency responsible for overseeing the management of this species.

At the time of the surveys conducted for this report there were no (0) "potentially occupied" burrows located on the site (Figure 6). It is recommended that a more thorough survey be performed before the initiation of any construction activities to ensure that no additional gopher tortoise burrows exist on the subject property.

Currently there are four (4) options to conduct activities that may adversely impact tortoises and they are as follows:

1. Avoid developing the areas occupied by the tortoises.
2. Avoid individual burrow entrances to ensure the protection of the burrow. A radius of 25' surrounding each burrow is required.
3. Capture and relocate each tortoise to a FFWCC Long Term Protected Recipient Site.
4. If ten (10) or fewer burrows are affected and some habitat will exist on the site following construction, tortoises may be captured and released back onto the site.

Based on future plans for the subject property, option no. 3 is the most viable option. If any burrows are located prior to the initiation of any development activities, an application for a relocation permit will need to be prepared and submitted to the FFWCC. Once the permit has been issued and received, relocation efforts will be scheduled. The tortoises would then be excavated and relocated to a FFWCC Long Term Protected Recipient Site.

3.3.2 Florida Sand Skink

Sand Skink (Plestiodon reynoldsi)

Federally Listed as "Threatened" by USFWS

The sand skink was listed as "Threatened" under the Endangered Species Act (ESA) in 1987. Sumter County does not fall within the USFWS Consultation Area for the Florida sand skink. The three most important factors in determining the presence of sand skinks are location, elevation, and suitable soils. Skinks are found typically at elevations of 80 feet or more above sea level in excessively drained, well-drained, and moderately well-drained sandy soils. The subject property does not occur within the USFWS consultation area for this species. Based on the USFWS protocol, a survey for sand skinks will not be required.

3.3.3 Eastern Indigo Snake

Eastern indigo snake (Drymarchon couperi)

Federally Listed as "Threatened" by USFWS & FFWCC

The Eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. The Eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they prefer uplands, they also utilize some wetlands and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other

animal burrows, stumps, roots, and debris piles (*USFWS Florida Ecological Services Field Office Species Survey Guidelines - Eastern Indigo Snake*).

The U.S. Fish and Wildlife Service's Standard Protection Measures for the Eastern Indigo Snake state that 30 days prior to any clearing/land alteration activities, the appropriate USFWS Field Office will require notification that an eastern indigo snake protection/education plan will be implemented during the development process. The Plan materials should consist of 1) a combination of posters and pamphlets; and 2) verbal educational instructions to construction personnel by supervisory or management personnel before any clearing/land alteration activities are initiated. Suitable habitat for this species was identified on the subject property, though no signs or individuals were observed. No further action pertaining to this species is required at this time.

3.3.4 Florida Pine Snake

Florida pine snake (Pituophis melanoleucus mugitus)

State Listed as "Threatened" by FFWCC

The Florida pine snake is one of the largest snakes in eastern North America (*Bartlett and Bartlett 2003*). This species can reach a length of up to 84 inches (213 centimeters). It has a brown back with dark blotches, white belly, ridged scales, small head, and pointed snout (*Florida Natural Areas Inventory 2001*).

The Florida pine snake inhabits areas that feature well-drained sandy soils with a moderate to open canopy (*Franz 1992, Ernst and Ernst 2003*). This species can be found from southwest South Carolina, west to Mobile Bay in Alabama, south to Florida (excluding the Everglades) (*Conant and Collins 1991, Ernst and Ernst 2003, Florida Natural Areas Inventory 2001*).

Habitat loss has been an issue for the Florida pine snake. By 1987, 88% of scrub habitat in Florida had been lost to development (*Kautz et al. 1993*). Other habitat for this species includes the longleaf pine community, of which 97% has been converted to agriculture, pine plantations, and urban areas (*Noss et al. 1995*). Habitat loss and fragmentation is a result of commercial and residential development, silviculture (controlling the growth and quality of forests through timber management), mining, and road construction. The alteration of its fire-dependent habitat can cause less favorable living conditions for the Florida pine snake due to the encroachment of hardwoods (*Means 2005*).

On the date of the onsite assessment, suitable habitat for this species was not identified, and no signs or individuals were observed. No further action pertaining to this species is required at this time.

3.3.5 Short-Tailed Snake

Short-tailed snake (Lampropeltis extenuate)

State Listed as "Threatened" by FFWCC

The short-tailed snake (also called the short-tailed kingsnake) is a small, slender fossorial (adapted to digging and living underground) snake. It can reach a length of up to 20 inches (51 centimeters). Its body is gray colored with 50-80 brown spots that are separated by yellow to red sections. This species has a small head that is indistinct from its body, smooth scales, and a tail that makes up less than 10% of the body (*Florida Natural Areas Inventory 2001, Campbell and Moler 1992*).

Short-tailed snakes can primarily be found burrowed in sandy soils, particularly longleaf pine and xeric (habitat that needs little water) oak sandhills, but they may also be found in scrub and xeric hammock habitats (*Van Duyn 1939, Carr 1940, Campbell and Moler 1992, Enge 1997*). This species is endemic to Florida, as they can only be found from the Suwannee River south to Highlands County (*records from museums, FNAI, and the literature*).

Alterations and destruction of xeric uplands seem to be the biggest threat to the short-tailed snake. The clear cutting of longleaf pine and turkey oak in their habitat is thought to seriously affect the short-tailed snake (*Campbell and Moler 1992*). Crowned snakes are abundant in xeric habitats and this loss of habitat affects their main food supply (*Mushinsky and Witz 1993, Enge 1997*). Increased predation from red fire ants is also a potential threat to the short-tailed snake (*Mount 1981*).

On the date of the onsite assessment, suitable habitat for this species was not identified, and no signs or individuals were observed. No further action pertaining to this species is required at this time.

3.3.6 Florida Bonneted Bat

Florida bonneted bat (Eumops floridanus)

Federally Listed as "Endangered" by USFWS and FFWCC

Also known as the Florida mastiff bat, this species is the largest bat found in Florida (*Belwood, 1992*). It can reach a length of 6.5 inches (16.5 centimeters) and a wingspan of 20 inches (51 centimeters). The pelage (hair) color ranges from black to brown to grayish or cinnamon brown (*Belwood, 1992; Best, 1997; Timm and Genoways, 2004; J. Gore, pers. comm., 2011*).

Florida bonneted bats are thought to be exceedingly rare, only occurring in a handful of counties in south Florida, and have one of the most restrictive ranges of any bat species in the U.S. To date, only a few bonneted bat nursery roosts have been documented. Bonneted bats have been detected foraging in a variety of habitats including semitropical forests with tropical hardwood, pineland, and mangrove habitats, as well as man-made areas such as golf courses and neighborhoods (*Robson, 1989*). They are thought to have unusual roosting habits

in that one male will roost with several different females at one time (*Belwood 1981; Belwood 1992; Best 1997*).

The subject property does not occur within the USFWS consultation area for this species. At this time, no further action is required.

3.4. Flora

There were no protected plant species found on the project site. Currently, there are no technical reports available by the USFWS mentioned in this report for the survey of protected plant species. None of the agencies require relocation or mitigation for protected plant species. Please see Table 2 for a list of plant species that are "listed" for Sumter County.

4.0 REGULATORY CONSIDERATIONS

According to wetland delineation methodologies outlined in the Corps of Engineers Wetland Delineation Manual (1987), the 2008 Corps Interim Regional Supplement to the Corps Wetland Delineation Manual: Atlantic & Gulf Coastal Plain Region and the State of Florida Unified Wetland Delineation Manual (section 62-340.300, F.A.C.), areas classified as wetland/surface waters were not observed within, or immediately adjacent to, the subject property.

4.1 Southwest Florida Water Management District

The Southwest Florida Water Management District (SWFWMD) regulates wetlands that are isolated and those considered within or connected to "Waters of the State" pursuant to Chapter 403 of the Florida Statutes, Rules 62-302 and 62-330 of the Florida Administrative Code (F.A.C.). Development activities altering wetlands and/or drainage will require an Environmental Resource Permit (ERP) from the Southwest Florida Water Management District. Different ERP Permits for various activities, General Permits, and exemptions can be found in the *State of Florida Environmental Resource Permit Applicant's Handbook, Volume I*. Specific design standards, basin specific criteria and procedures can be found in the *State of Florida Environmental Resource Permit II*. The U.S Environmental Protection Agency (EPA) requires coverage under the National Pollutant Discharge Elimination System (NPDES) generic permit for discharge from large and small construction activities for any project that results in the clearing of one or more acres, pursuant to 40 CFR parts 122 and 124. The EPA has delegated responsibility to the FDEP to administer the NPDES permits for the State of Florida. The primary functions of the NPDES requirements are to ensure that sediment and erosion during construction of the project is controlled. The NPDES usually requires the use of Best Management Practices to ensure compliance with water quality standards. In addition, coverage under the generic permit for discharge of produced ground water from a non-contaminated site activity must be secured for any construction-related dewatering activity pursuant to Rule 62-621.302.

4.2 U.S. Army Corps of Engineers

The ACOE regulates wetlands connected to “Waters of the United States” and “Adjacent Waters” under Section 404 of the Clean Water Act. Following recent regulatory changes, jurisdiction over Section 404 permitting has been transferred back to the ACOE, in part due to the U.S. Supreme Court decision in *Sackett v. Environmental Protection Agency*, 598 U.S. 651 (2023). This decision significantly narrowed the definition of “waters of the United States” by restricting federal regulatory reach over wetlands that do not have a continuous surface connection to larger, navigable waters. Based on previous Supreme Court rulings, such as *Solid Waste Agency of Northern Cook County v. U.S. Army Corps of Engineers*, No. 99-1178 (2001) (SWANCC), and *Rapanos v. United States and Carabell v. United States*, 126 S. Ct. 2208 (2006), isolated wetlands are non-jurisdictional, and the ACOE must demonstrate a physical, biological, or chemical nexus to navigable waters to claim jurisdiction. A consultation with ACOE staff may be necessary to confirm that no Waters of the United States (WOTUS) occur on the subject property.

5.0 WETLAND/SURFACE WATER ANALYSIS

According to wetland delineation methodologies outlined in the Corps of Engineers Wetland Delineation Manual (1987), the 2008 Corps Interim Regional Supplement to the Corps Wetland Delineation Manual: Atlantic & Gulf Coastal Plain Region and the State of Florida Unified Wetland Delineation Manual (section 62-340.300, F.A.C.), areas classified as wetland/surface waters were not observed within, or immediately adjacent to, the subject property.

6.0 SUMMARY AND RECOMMENDATIONS

The Lien Nails Property project site is approximately 9.92 +/- acres in size. The Sumter County Property Appraiser’s website lists the Parcel ID no. as D32-173 (Appendix A). The project is located 0.9 miles east of the intersection of US 301 and E. CR 462, in Section 32, Township 18 South, Range 23 East at latitude 28.885359 North and longitude -82.021941 West, Wildwood, Sumter County, Florida (Figure 1). An aerial image of the property is provided on Figure 2.

On October 16, 2025, the Lien Nails Property project site was surveyed for the presence of flora and fauna protected by county, state, and federal government agencies as well as any protected wetland habitats. Targeted fauna species included the gopher tortoise and commensal species, as well as the avian species discussed in Sections 3.2. The surveys resulted in the location of zero (0) “potentially occupied” gopher tortoise burrows. It is recommended that a 100% survey be conducted prior to the initiation of any construction activities to determine the total population. The survey is good for 90 days but can be revisited any time after the 90-day period. None of the above-mentioned avian species were observed during onsite investigations. Areas classified as wetland/surface waters were not observed within, or immediately adjacent to, the subject property.

The environmental limitations described in this document are based on observations and technical information on the date of the on-site evaluation. Failure to detect a listed species does not necessarily infer species absence as wildlife is mobile and exhibit seasonality of occurrence. It is recommended that the subject property be revisited prior to the initiation of construction activities to determine if there have been any changes related to the listed flora and fauna species found in Sumter County. Should you have any questions or require any additional information, please do not hesitate to contact us at (407) 489-6898. Thank you.

Regards,



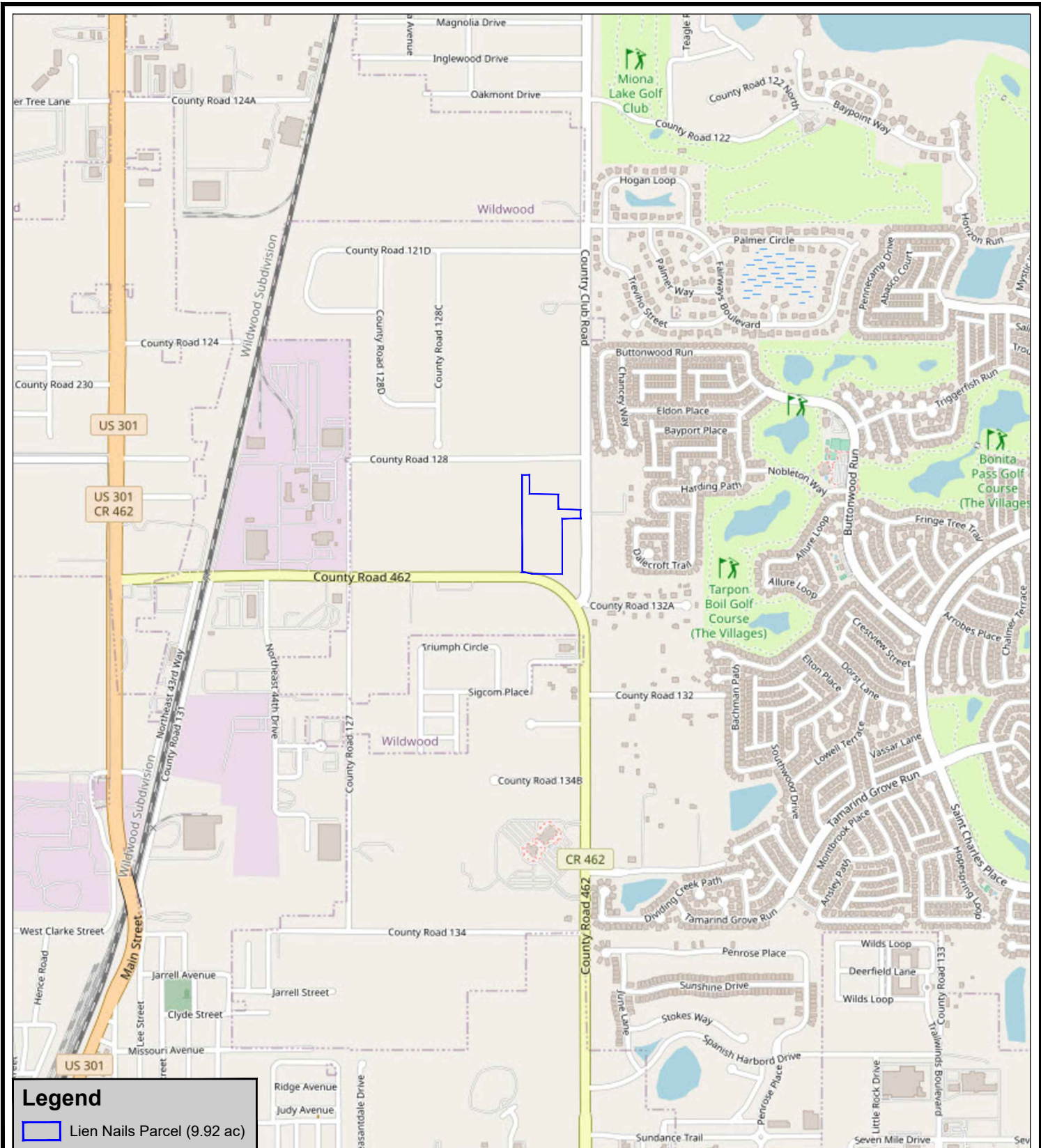
Alexander Talbot
Environmental Specialist




Timothy J. Talbot
President



FIGURES



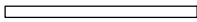

Source: OpenStreetMap

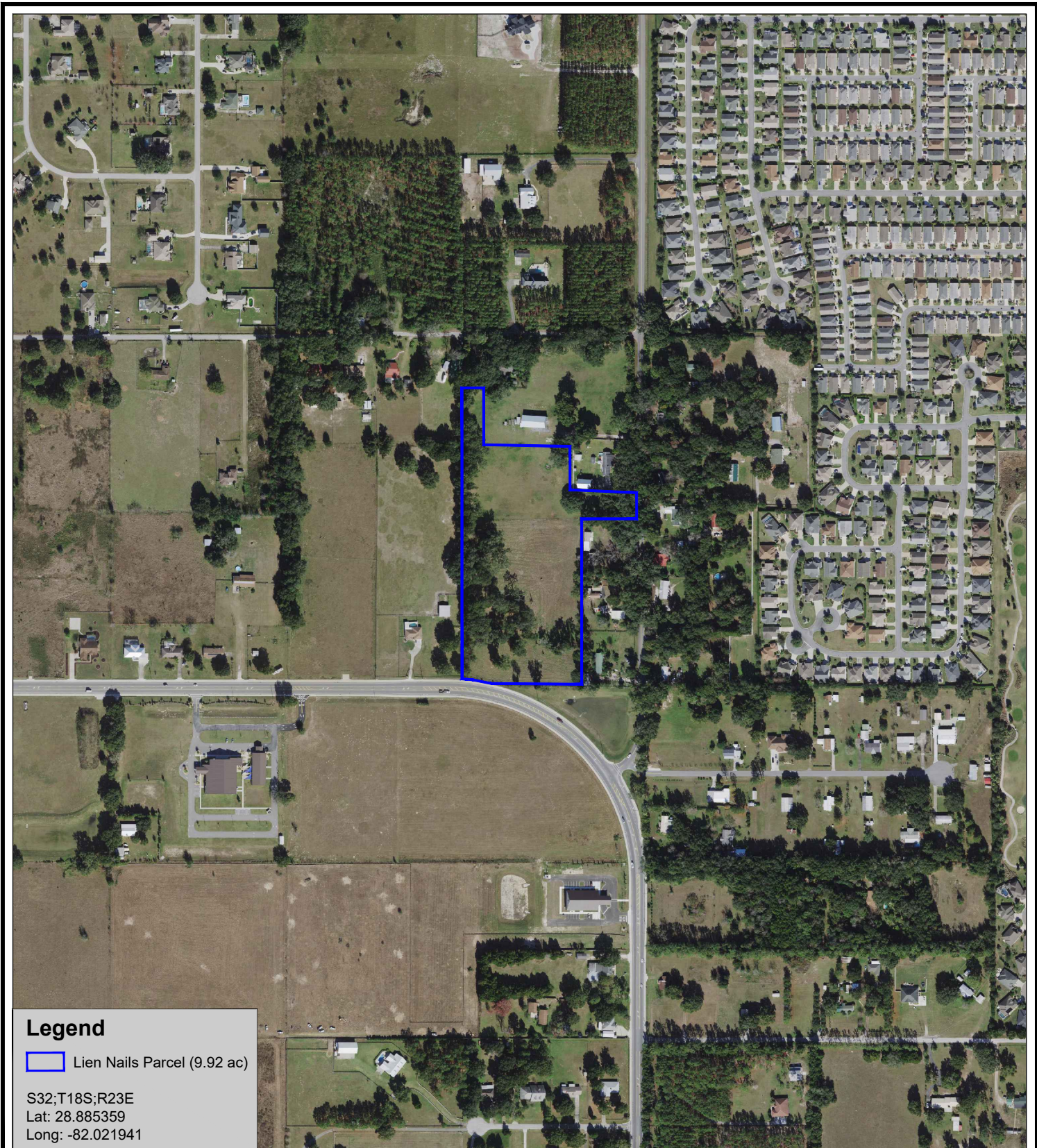
Legend
 Lien Nails Parcel (9.92 ac)

Stillwater Environmental

 971 Smokerise Blvd, Port Orange, FL 32127
 Ph: (407) 489-6898
 Website: www.stillwaterenvironmental.com

Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Figure #1
Location Map
 Environmental Assessment

1500 Feet


 Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025



Legend

 Lien Nails Parcel (9.92 ac)

S32;T18S;R23E
Lat: 28.885359
Long: -82.021941


Source: <https://fdotewp1.dot.state.fl.us/AerialPhotoLookUpSystem>



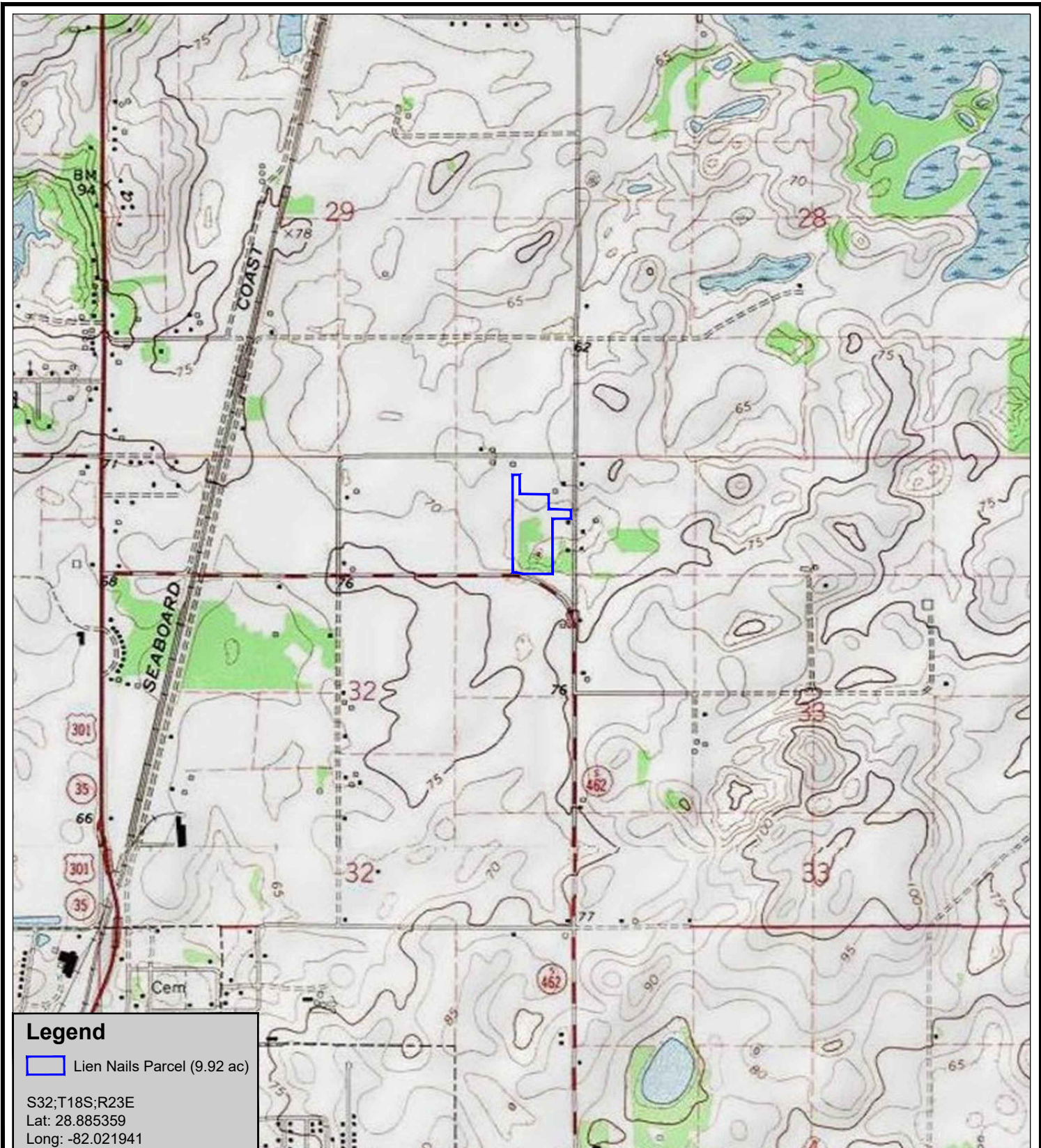
971 Smokerise Blvd, Port Orange, FL 32127
Ph: (407) 489-6898
Website: www.stillwaterenvironmental.com

Lien Nails Property
CR 462
Wildwood, Florida 34785
Figure #2
Aerial Photograph (2023)
Environmental Assessment



500
 Feet

Project # 1339.01.25
Produced By: MLP
Date: 11/05/2025



Legend

 Lien Nails Parcel (9.92 ac)

S32;T18S;R23E
 Lat: 28.885359
 Long: -82.021941

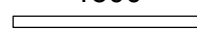
Source: Wildwood, Florida, U.S.G.S Quadrangle Map; Topozone.com



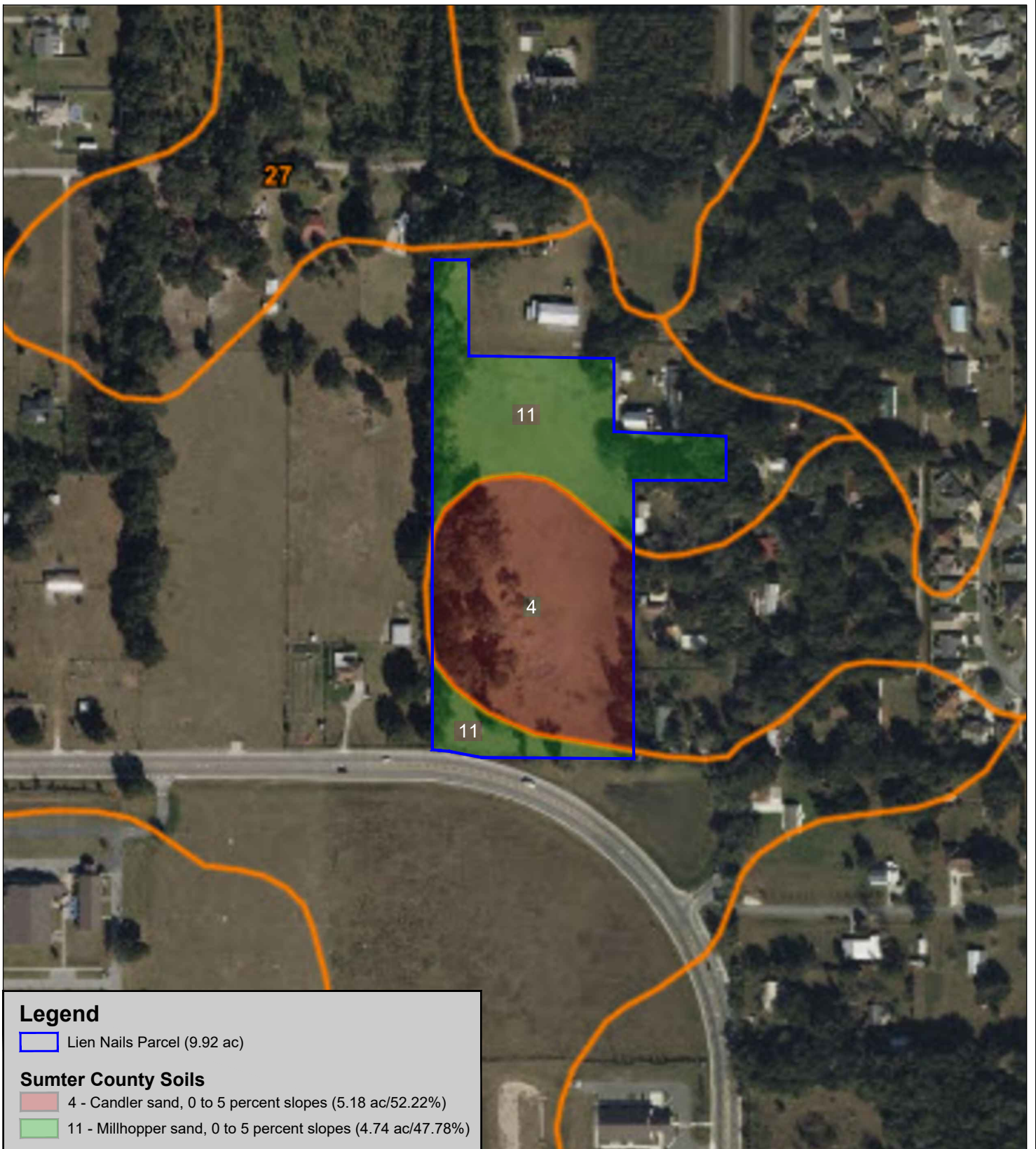
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 Ph: (407) 489-6898
 Website: www.stillwaterenvironmental.com

Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Figure #3
U.S.G.S. Topographic Map
 Environmental Assessment



1500
 Feet


Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025




Legend

 Lien Nails Parcel (9.92 ac)

Sumter County Soils

 4 - Candler sand, 0 to 5 percent slopes (5.18 ac/52.22%)

 11 - Millhopper sand, 0 to 5 percent slopes (4.74 ac/47.78%)

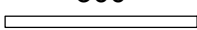
Source: <https://websoilsurvey.sc.egov.usda.gov>



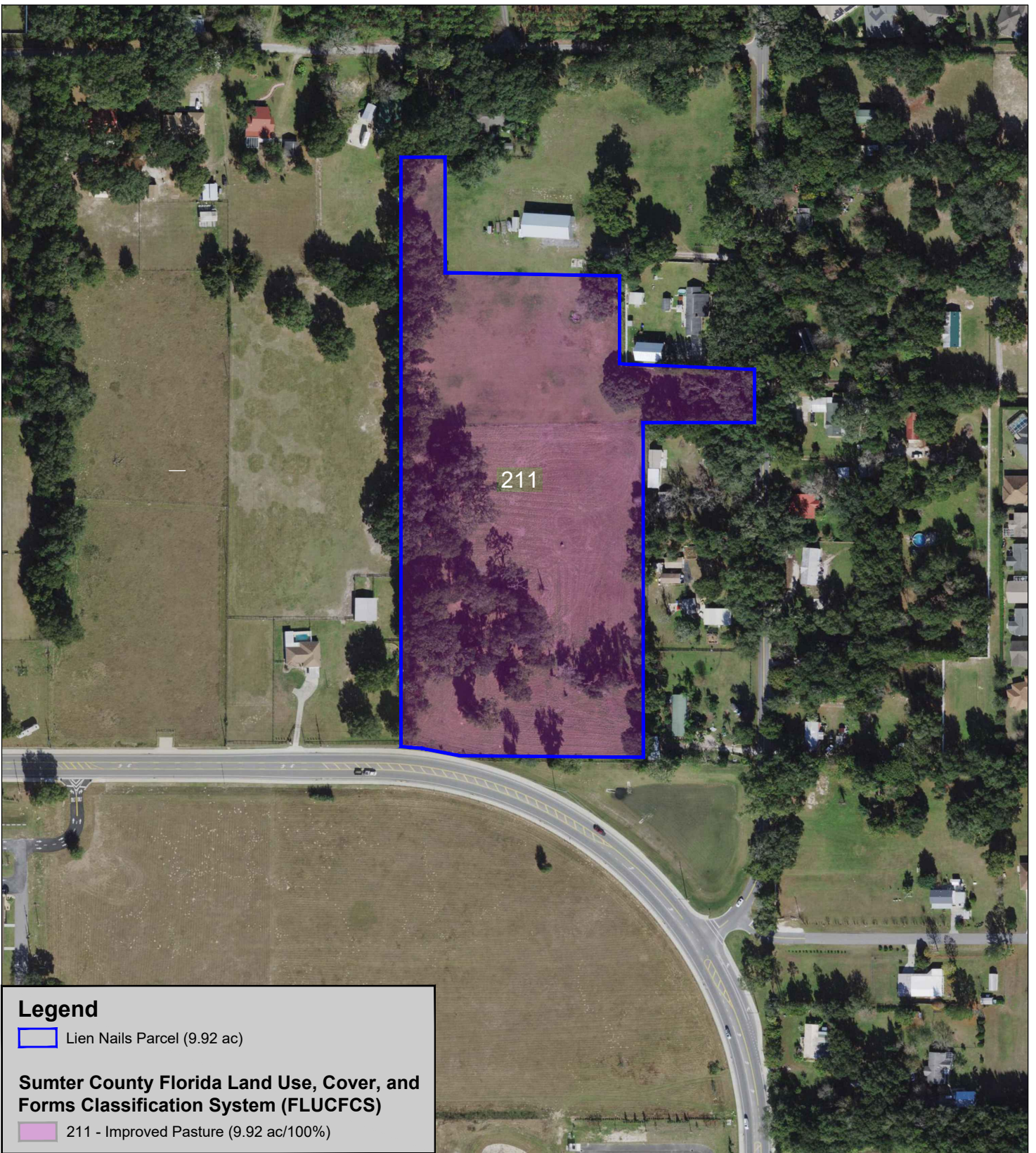
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 Ph: (407) 489-6898
 Website: www.stillwaterenvironmental.com

Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Figure #4
USDA - NRCS Soil Map
 Environmental Assessment




300
 Feet

Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025



Legend

 Lien Nails Parcel (9.92 ac)

Sumter County Florida Land Use, Cover, and Forms Classification System (FLUCFCS)

 211 - Improved Pasture (9.92 ac/100%)

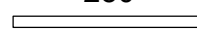
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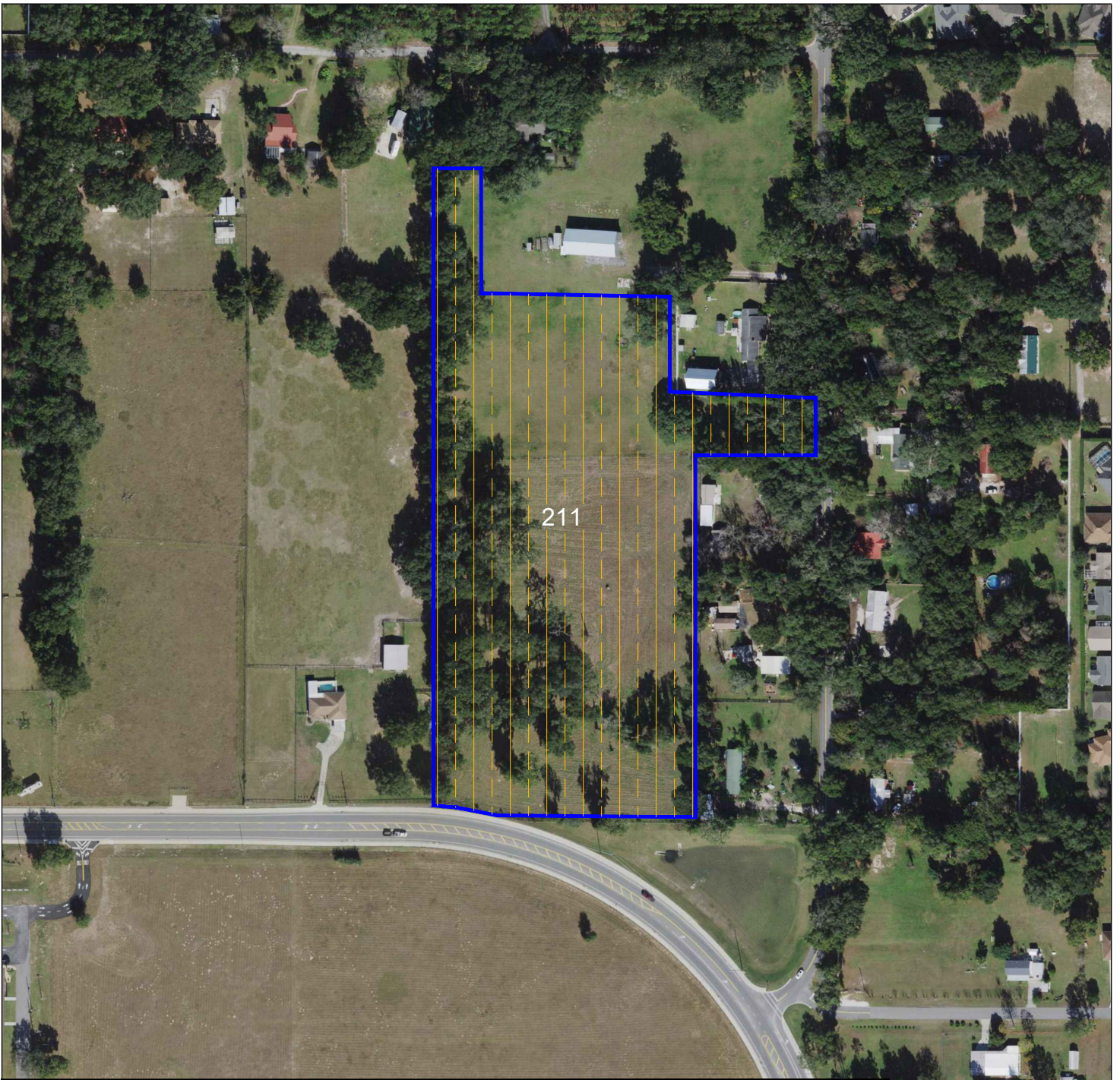
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Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Figure #5
FLUCFCS Map
 Environmental Assessment



 250 Feet

Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025



Legend

-  Lien Nails Parcel (9.92 ac)
-  Listed Species Survey Routes (Survey Date: 10/16/2025)
-  Gopher Tortoise Burrow (0)

Sumter County Florida Land Use, Cover, and Forms Classification System (FLUCFCS)

211 - Improved Pasture (9.92 ac/100%)

Source: <https://fdotewp1.dot.state.fl.us/AerialPhotoLookUpSystem>



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 Ph: (407) 489-6898
 Website: www.stillwaterenvironmental.com

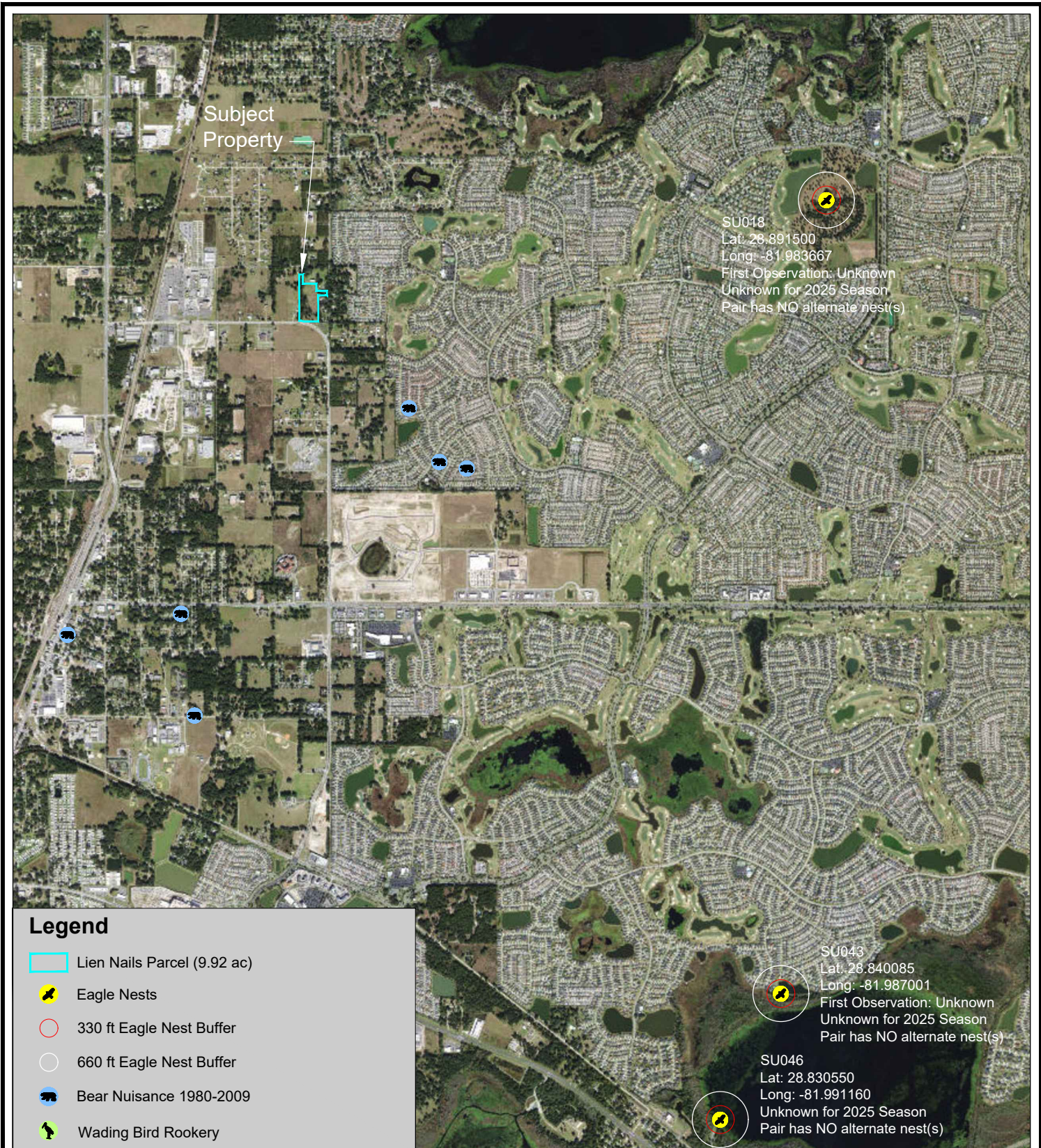
Lien Nails Property
 CR 462
 Wildwood, Florida 34785

Figure #6

Listed Species Survey Routes
 Environmental Assessment



200 Feet



SU018
 Lat: 28.891500
 Long: -81.983667
 First Observation: Unknown
 Unknown for 2025 Season
 Pair has NO alternate nest(s)

SU043
 Lat: 28.840085
 Long: -81.987001
 First Observation: Unknown
 Unknown for 2025 Season
 Pair has NO alternate nest(s)

SU046
 Lat: 28.830550
 Long: -81.991160
 Unknown for 2025 Season
 Pair has NO alternate nest(s)

Legend

- Lien Nails Parcel (9.92 ac)
- Eagle Nests
- 330 ft Eagle Nest Buffer
- 660 ft Eagle Nest Buffer
- Bear Nuisance 1980-2009
- Wading Bird Rookery

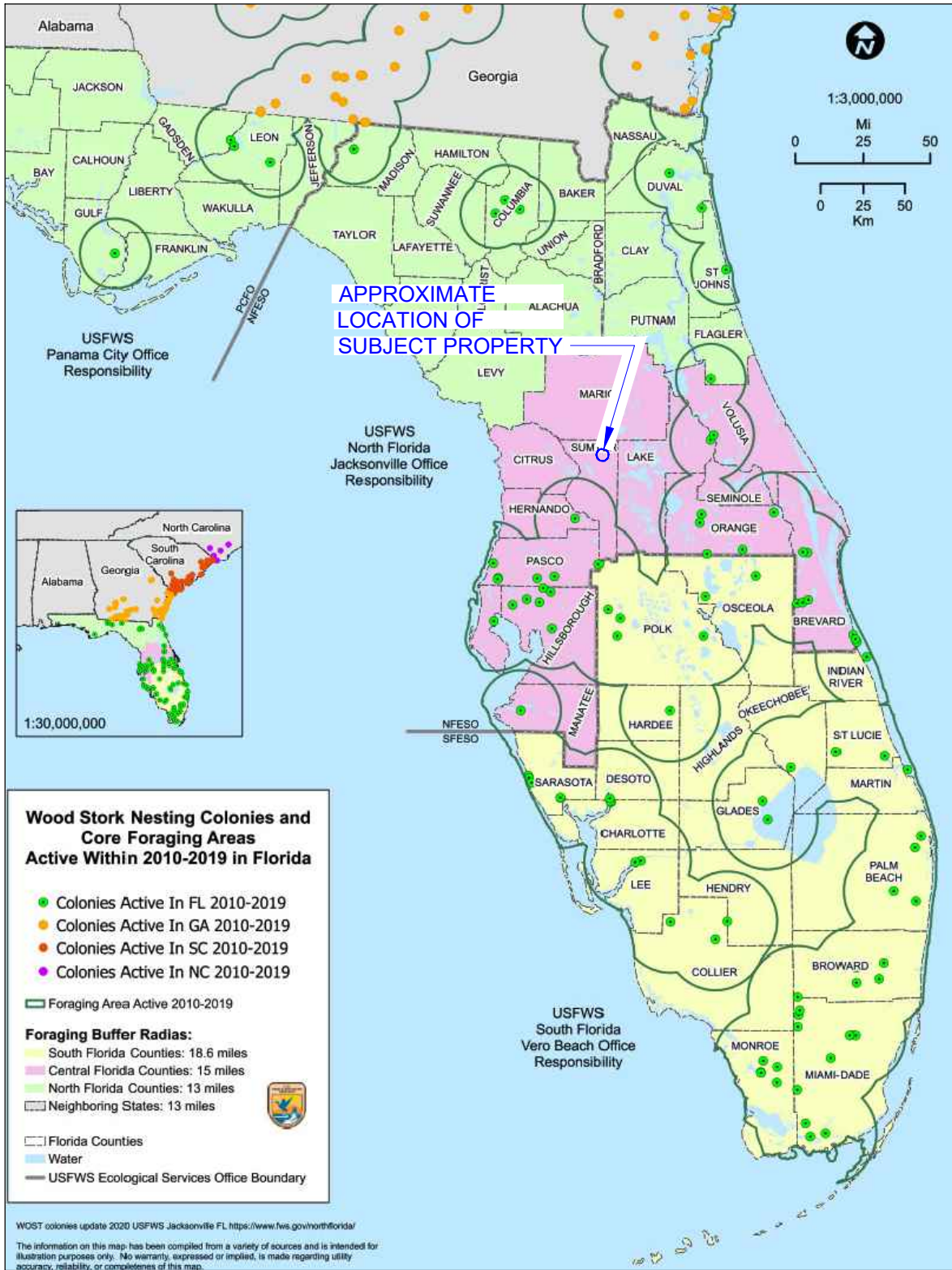
Sources: <https://myfwc.maps.arcgis.com/apps/webappviewer/>; <https://audubon.maps.arcgis.com/apps/webappviewer/>; <https://geodata.myfwc.com/datasets/wading-bird-rookeries-1999/>; <https://myfwc.maps.arcgis.com/apps/webappviewer/index.html?id=0c634d5ba4cc47baa82de0ed2782426c>

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Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Figure #7
Wildlife Proximity Map
 Environmental Assessment

0.6
 Miles

Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025



Lien Nails Property

CR 462

Wildwood, Florida 34785

Figure #8

Wood Stork Foraging Areas
Environmental Assessment

58

Miles



Project # 1339.01.25

Produced By: MLP

Date: 11/05/2025



971 Smokerise Blvd, Port Orange, FL 32127
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TABLES

TABLE 1

TABLE 1: PROTECTED FAUNA FOUND IN SUMTER COUNTY, FLORIDA, AND THEIR EXPECTED OCCURRENCE ON THE LEIN NAILS PROJECT SITE

SPECIES	FWC STATUS	USFWS STATUS	PREFERRED HABITAT	PROBABILITY OF OCCURRENCE
REPTILES				
<u>Alligator mississippiensis</u> American alligator	FT(S/A)	T	Vegetated lakes and deepwater swamps	Low: No habitat available, none sighted
<u>Drymarchon corais couperi</u> Eastern indigo snake	FT	T	Dry habitats bordered by water; often occupy <i>G. polyphemus</i> burrows	Low: No habitat available, none sighted
<u>Gopherus polyphemus</u> Gopher tortoise	ST	–	Well drained soil; xeric pine-oak hammocks and scrub; pine flatwoods	Med: Habitat available, no burrows located
<u>Pituophis melanoleucus mugitus</u> Florida pine snake	ST	–	Dry, sandy barrens in xeric oak and pine-wooded sandhills	Low: No habitat available, none sighted
<u>Plestiodon reynoldsi</u> Sand skink	FT	T	Xeric habitats along sandy Florida ridges. Found in Osceola, Polk, Lake, Highlands, Putnam, Orange and Marion counties.	Low: No habitat available. Outside USFWS Consultation Area
<u>Stilosoma extenuatum</u> Short-tailed snake	ST	–	Sandy upland ridges; xeric oak pine woods; xeric oak hammocks	Low: No habitat available, none sighted
AMPHIBIANS				
<u>Rana capito</u> Florida gopher frog	SSC	–	Dry, xeric habitats with wetlands such as isolated permanent ponds and cypress domes	Low: No habitat available, no gopher tortoise burrows observed
BIRDS				
<u>Aphelocoma coerulescens</u> Florida scrub jay	FT	T	Level, sterile, white sand with low, xeric oak scrub	Low: No habitat available, none sighted.
<u>Athene cucularia floridana</u> Florida Burrowing Owl	ST	–	These areas include golf courses, airports, pastures, agriculture fields, and vacant lots.	Low: Minimal habitat available, none sighted.
<u>Egretta caerulea</u> Little blue heron	ST	–	Lake littorus; shallow ponds and marshes	Low: No habitat available, no birds sighted.

TABLE 1: PROTECTED FAUNA FOUND IN SUMTER COUNTY, FLORIDA, AND THEIR EXPECTED OCCURRENCE ON THE LEIN NAILS PROJECT SITE

SPECIES	FWC STATUS	USFWS STATUS	PREFERRED HABITAT	PROBABLILITY OF OCCURANCE
BIRDS (cont.)				
<u>Egretta tricolor</u> Tricolored heron	ST	–	Lake littorus; shallow ponds and marshes	Low: No habitat available, no birds sighted
<u>Falco sparverius paulus</u> Southeastern American kestrel	ST	–	Forest edges, and clearings; nests in mature pines	Low: No habitat available, none sighted
<u>Grus canadensis pratensis</u> Florida sandhill crane	ST	–	Marshes, wet prairies, pastures, and open herbaceous rangeland	Low: No habitat available, birds sighted on adjacent property
<u>Haliaeetus leucocephalus *</u> Bald eagle	–	–	Open (<60% canopy cover), mature pine forests <2 km from expansive open waters	Low: No habitat available, no nests or birds sighted
<u>Mycteria Americana</u> Wood stork	FT	T	Nests in cypress swamps; forage sites range from shallow marshes to roadway borrow pits	Low: No habitat available, none sighted
<u>Picoides borealis</u> Red-cockaded Woodpecker	FE	E	Old-growth pine flatwoods with regular fire occurrence are required for nesting	Low: No habitat available, none sighted
<u>Rostrhamus sociabilis plumbeus</u> Everglade snail kite	FE	E	Shallow freshwater marshes; shallow grassy shorelines of lakes.	Low: No habitat available, no birds sighted
<u>Laterallus jamaicensis jamaicensis</u> Eastern Black Rail	FT	T	Wetland dependent; requires dense overhead cover and soils that are moist to saturated (occasionally dry).	Low: No habitat available, none sighted
<u>Ammodramus savannarum floridanus</u> Florida grasshopper sparrow	FE	E	Large treeless grasslands dominated by bunch grasses, low shrubs, and saw palmetto	Low: No habitat available, none sighted

MAMMALS				
<u>Trichechus manatus</u> West Indian manatee (Florida manatee)	FT	T	Coastal waters, rivers and springs.	Low: No habitat available
<u>Puma concolor coryi</u> Florida Panther	FE	E	Pinelands, tropical hardwood hammocks, and mixed freshwater swamp forests	Low: No habitat available, none sighted

*Protected under the Bald and Golden Eagle Protection Act (BGEPA), and the Migratory Bird Treaty Act (MBTA).

KEY TO ABBREVIATIONS

FWC Florida Fish and Wildlife Conservation Commission

- FE Federally-designated Endangered
- FT Federally-designated Threatened
- FXN Federally-designated Threatened Nonessential Experimental Population
- FT(S/A) Federally-designated Threatened species due to similarity of appearance
 - ST State-designated Threatened
 - SSC State Species of Special Concern

TABLE 2

TABLE 2: PROTECTED FLORA FOUND IN SUMTER COUNTY, FLORIDA, AND THEIR EXPECTED OCCURRENCE ON THE LIENS NAILS PROJECT SITE

SPECIES	FWC STATUS (1)	USFWS STATUS (2)	PREFERRED HABITAT (3)	PROBABILITY OF OCCURRENCE (4)
<u>Calopogon barbatus</u> – Bearded grass pink	T	-	Damp pinelands	Low: no habitat available, none found
<u>Calopogon multiflorus</u> – Many flowered grass pink	E	-	Open, damp, occasionally recently burned pinelands and meadows	Low: No habitat available, none found
<u>Deerinfothamnus rugelii</u> – Rugel’s pawpaw	E	E	Mesic flatwoods	Low: No habitat available, none found
<u>Dennstaedtia bipinnata</u> – Hayscented Fern	E	-	Rare on mucky soil in shaded forests in Seminole, Dunal, and Palm Beach counties	Low: Not found in the area; none found
<u>Encyclia tampensis</u> – Butterfly orchid	CE	-	Cypress swamps, hardwood swamps and hammocks	Low: No habitat available, none found
<u>Epidendrum conopseum</u> – Greenfly orchid	CE	–	Cypress swamps, hardwood swamps, and hammocks	Low: No habitat available, none found
<u>Hartwrightia floridiana</u> – Florida Hartwrightia	T	-	Wet, open areas, moist grasslands, and sphagnum bogs	Low: No habitat available, none found
<u>Lilium catesbaei</u> – Southern red lily	T	–	Mesic flatwoods, wet prairies, usually in graminoid systems	Low: No habitat available on site, none found
<u>Listera australis</u> – southern tway blade	T	–	Hammocks, low moist woods in deep humus, ravines, shady stream banks, sphagnum	Low: No habitat available, none found
<u>Nemastylis floridana</u>	E	–	Marshes, grassy openings of wet hammocks moist flatwoods	Low: No habitat available, none found

TABLE 2: PROTECTED FLORA FOUND IN SUMTER COUNTY, FLORIDA, AND THEIR EXPECTED OCCURRENCE ON THE LIEN NAILS PROJECT SITE

SPECIES	FWC STATUS (1)	USFWS STATUS (2)	PREFERRED HABITAT (3)	PROBABILITY OF OCCURRENCE (4)
Platanthera blephariglottis – Large white fringed orchid	T	–	Inhabits sphagnum bogs, meadows, damp fields and woods	Low: No habitat available, none found
Platanthera cristata – Golden fringed orchid	T	–	Low moist meadows and damp pine woods	Low: No habitat available, none found
Platanthera flava – Southern tubercled orchid	T	–	Very wet habitats such as swamps, bogs and wet forests with thick black mud	Low: No habitat available, none found
Platanthera integra – Southern yellow fringeless orchid	E	–	Marshes and wet pine flatwoods	Low: No habitat available, none found
Platanthera nivea – Snowy orchid	T	–	Open bogs and sunny, wet meadows	Low: No habitat available, none found
Pogonia ophioglossoides – Rose pogonia	T	-	Open, wet meadows and sphagnum bogs, poorly drained roadside ditches	Low: No habitat available, none found
Polygala lewtonii – Scrub (Lewtons’s) milkwort	E	E	Dry oak woodlands and scrub	Low: No habitat available, none found
Rhaphidophyllum hystrix – Needle palm	CE	-	Wet to mesic woods and hammocks; spring fed stream bottoms	Low: No habitat available, none found
Spiranthes brevilabris floridana – Florida Ladies’ tresses	E	–	Open meadows and damp pinelands, road shoulders, ditches	Low: No habitat available, none found
Spiranthes laciniata – Lace-tip ladies tresses	T	–	Marshes and cypress swamps; road banks and ditches	Low: No habitat available, none found
Spiranthes longilabris – Long-tip ladies tresses	T	–	Marshes and prairies	Low: No habitat available, none sighted

APPENDICES

APPENDIX A

Summary

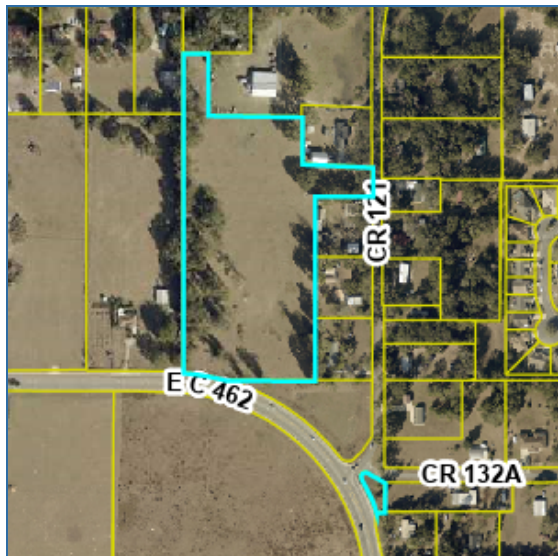
Parcel Number D32-173
Site Location Unassigned Location RE
City
Zip
Tax District CITY OF WILDWOOD (2002C)
City Code WILDWOOD - COUNTY FIRE
NeighborhoodCode 1001
Section Twp Range 32-18-23
Property Usage AGRI/COMMERCIAL
Legal Description BEG AT INTERSECTION OF W LINE OF E 1/2 OF NE 1/4 NE 1/4 WITH S LINE OF N 191.07 FT OF E 1/2 OF NE 1/4 OF NE 1/4 RUN N 89 DEG 50'14"E 82.70 FT THENCE S 00 DEG 13'05"W 211.60 FT S 89 DEG 48'57"E 325.60 FT THENCE RUN S 00 DEG 10'25"W 174.45 FT S 87 DEG 05'31"E 252.76 FT S 00 DEG 11'22"W 92.59 FT THENCE N 89 DEG 41'48"W 210.76 FT S 00 DEG 07'36"W 629.98 FT RUN N 89 DEG 40'41"W
Brief Tax Description (Note: The Description above is not to be used on legal documents.)
Acres 10



Owner

[LIEN NAILS LLC](#)
 38634 LAKEVIEW WALK
 LADY LAKE, FL 32159

Map



Land

Line #	Use	Frontage	Depth	Units	Unit Type
1	6010V - Improved Pasture	0	0	10	AC

Sales

Due to the Sumter Clerk's conversion to a new system, some older documents may not be available online. Should you need a copy of a document, please, call the Clerk's office at 352-569-6600, and they will assist you. The Property Appraiser's staff is unable to provide you with the image.

Sale Date	Sale Price	Instrument	Book/Page	Qualification	Vacant/Improved	Grantee
2/28/2021	\$170,000	WARRANTY DEED	3934/13	Q	Vacant	LIEN NAILS LLC

Valuation

Assessed Year	2025	2024	2023	2022
+ Land Value	\$120,000.00	\$89,280.00	\$89,280.00	\$69,440.00
+ Improvement Value	\$0.00	\$0.00	\$0.00	\$0.00
+ Total Misc. Value	\$0.00	\$0.00	\$0.00	\$0.00
= Total Market Value	\$120,000.00	\$89,280.00	\$89,280.00	\$69,440.00
- SOH/deferred	\$0.00	\$0.00	\$0.00	\$0.00
= Assessed Value	\$1,400.00	\$1,390.00	\$1,390.00	\$1,390.00
- Exempt Value	\$0.00	\$0.00	\$0.00	\$0.00
= Taxable Value	\$1,400.00	\$1,390.00	\$1,390.00	\$1,390.00



TRIM Notices

TRIM Notice (PDF)

PRC (2024 Final Roll)

PRC (PDF)

Tax Bill

My Tax Bill

Property Valuation Review

Property Valuation Review

Estimate Taxes

Estimate Taxes

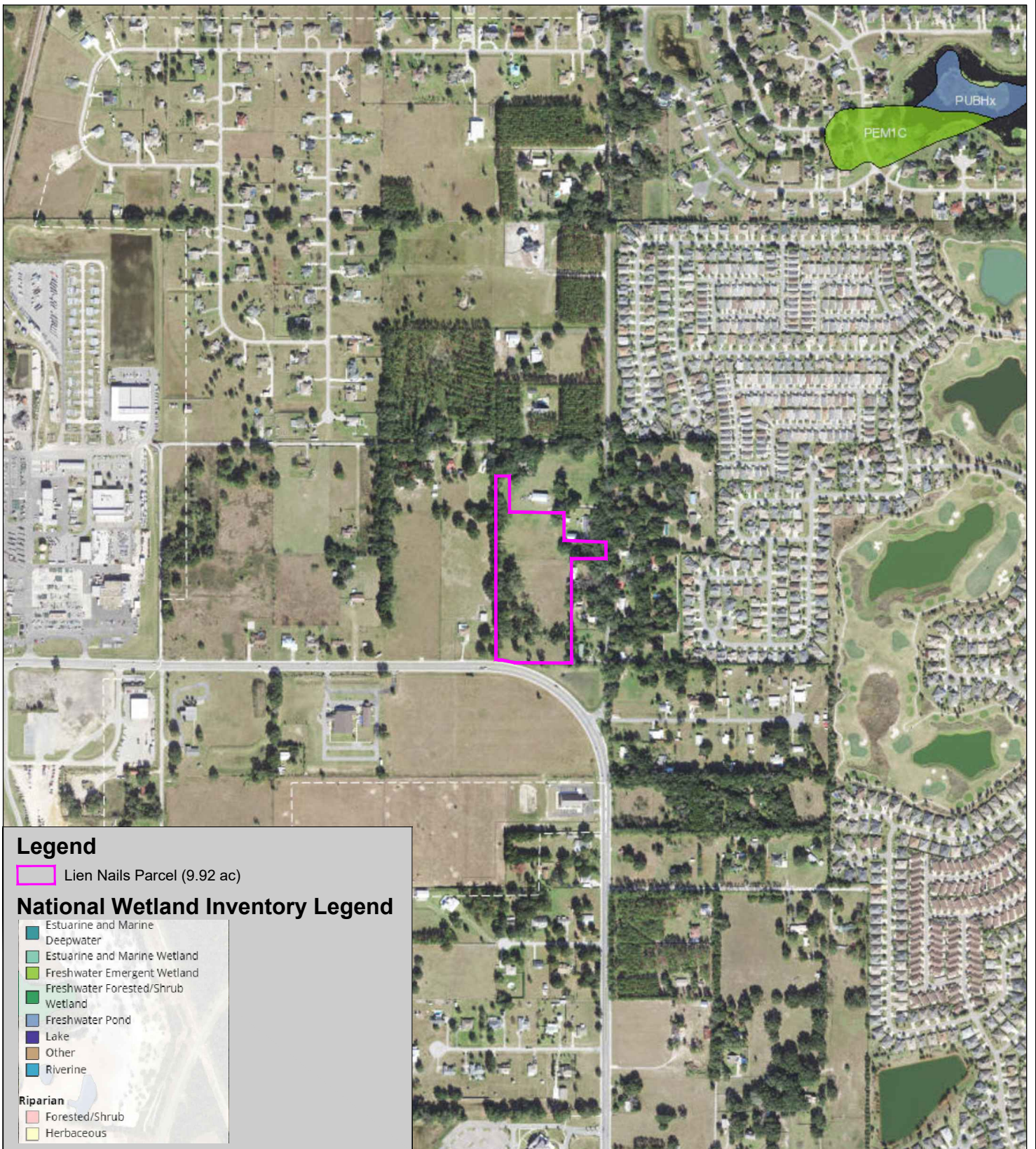
No data available for the following modules: Building Data, Miscellaneous Features, Sketch, Comp Search (Residential), Comp Search (Commercial), Comp Search (Vacant).

DISCLAIMER This information was derived from data which was compiled by the Sumter County Property Appraiser's Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although regularly updated, this information may not reflect the data on file
| [User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 11/5/2025, 9:32:01 PM](#)

Contact Us



APPENDIX B



971 Smokerise Blvd, Port Orange, FL 32127
 Ph: (407) 489-6898
 Website: www.stillwaterenvironmental.com

Lien Nails Property
 CR 462
 Wildwood, Florida 34785
 Appendix B
National Wetland Inventory Map
 Environmental Assessment



800 Feet

Project # 1339.01.25
 Produced By: MLP
 Date: 11/05/2025

APPENDIX C



Subject Property – Improved Pasture (FLUCFCS 211)



Subject Property – Improved Pasture (FLUCFCS 211)



Subject Property



Subject Property

APPROVED

Matthew Tadlock
Assistant Public Works Director - Planning and Design
01/21/2026



MEMORANDUM

To: Mr. Matthew Tadlock – Assistant Public Works Director, Sumter County
From: Mr. Chris J. Walsh, P.E.
Date: January 9, 2026
Subject: CR 462 Mobile Park Future Land Use Change/Rezoning Traffic Analysis (Revised) Wildwood, Florida

Walsh Traffic Engineering, LLC (Walsh Traffic) has been retained to conduct a traffic analysis for the proposed future land use (FLU) amendment and rezoning of property located on the north side of CR 462 approximately 0.4 miles east of CR 128 in Wildwood, Florida (see **Site Location Map** below). The property, which encompasses approximately 10 acres, is currently undeveloped. It is ultimately proposed to develop a 79-unit mobile home park. Details of the proposed FLU change and the rezoning are provided on the following page. This memorandum provides a trip generation comparison between the existing FLU/zoning and the proposed FLU/zoning. This memorandum also serves as a minor traffic impact analysis per the Sumter County TIA Guidelines. The analysis year for this study is 2029.





Existing and Proposed Future Land Use/Zoning

The subject property currently has an existing FLU of Public Facility with an Institutional zoning. It is proposed to change the FLU and zoning to Mobile Home Park. The existing and proposed Future Land Use and zoning along with the maximum development intensity allowed under each are summarized in **Table 1** below:

Table 1 – Existing and Proposed Future Land Use & Zoning

Scenario	Use	Maximum Density	Maximum Development
<i>Existing Future Land Use - Public Facility (PF)</i>			
10 acres	Hospital	0.6 FAR	261.36 SF
<i>Existing Zoning - Institutional (IN)</i>			
10 acres	Hospital	0.6 FAR*	261.36 SF
<i>Proposed Future Land Use/Zoning - Planned Unit Development</i>			
10 acres	Mobile Home Park	10 units/AC	100 DU

* A maximum development intensity is not identified for the Institutional zoning. Thus, the maximum development was limited based on the 0.6 FAR limitation of the Public Facility FLU.

Trip Generation

Existing Future Land Use/Zoning - Trip generation for the maximum development allowed under the existing Future Land Use (FLU) and zoning was estimated based on trip generation rates/equations provided in the Institute of Transportation Engineer’s, *Trip Generation Manual, 12th Edition*. Various uses such as governmental facilities, hospitals, and schools can be developed under the Public Facilities FLU and Institutional zoning. For this analysis, a hospital was assumed as the use as it is a higher potential generator of trips. Per **Table 1**, the maximum allowable development is 261,360 square feet. As summarized in **Table 2** below, the maximum development under the existing FLU is projected to generate 2,797 total daily trips, 207 total AM peak-hour trips (140 in, 67 out), and 225 total PM peak-hour trips (76 in, 149 out).

Table 2 – Total Trip Generation Potential for Existing FLU

Land Use	ITE Land Use Code	Intensity	Daily		
			Total Trips		
			In	Out	Total
Hospital	610	261.4 KSF	1,398	1,399	2,797

Land Use	ITE Land Use Code	Intensity	AM Peak Hour		
			Total Trips		
			In	Out	Total
Hospital	610	261.4 KSF	140	67	207

Land Use	ITE Land Use Code	Intensity	PM Peak Hour		
			Total Trips		
			In	Out	Total
Hospital	610	261.4 KSF	76	149	225



Proposed FLU/Zoning - Trip generation for the maximum development allowed under the proposed FLU/zoning was estimated based on trip generation rates/equations provided in the Institute of Transportation Engineer's, *Trip Generation Manual, 12th Edition* for Land Use Code 240 (Mobile Home Park). Per **Table 1**, the maximum allowable development is 100 dwelling units. As summarized in **Table 3** below, the maximum development under the proposed FLU/zoning is projected to generate 787 total daily trips, 26 total AM peak-hour trips (8 in, 18 out), and 46 total PM peak-hour trips (29 in, 17 out).

Table 3 – Total Trip Generation Potential for Proposed FLU/Zoning

Land Use	ITE Land Use Code	Intensity	Daily		
			Total Trips		
			In	Out	Total
Mobile Home Park	240	100 DU	394	393	787

Land Use	ITE Land Use Code	Intensity	AM Peak Hour		
			Total Trips		
			In	Out	Total
Mobile Home Park	240	100 DU	8	18	26

Land Use	ITE Land Use Code	Intensity	PM Peak Hour		
			Total Trips		
			In	Out	Total
Mobile Home Park	240	100 DU	29	17	46

Based on the trip generation projections, and as summarized in **Table 4**, the maximum development allowed under the proposed FLU/Zoning is projected to generate far less new external trips than the maximum development allowed under the existing FLU and zoning. Therefore, the proposed FLU/rezoning will have a significant net trip reduction on the adjacent roadway network and therefore provide an overall transportation impact benefit.

Table 4 – Trip Generation Comparison Summary

Scenario	AM Peak Hour		
	Net New External Trips		
	In	Out	Total
Existing FLU/Zoning	140	67	207
Proposed FLU/Zoning	8	18	26

Scenario	PM Peak Hour		
	Net New External Trips		
	In	Out	Total
Existing FLU/Zoning	76	149	225
Proposed FLU/zoning	29	17	46

Minor Traffic Impact Analysis

Although the proposed rezoning will result in net reduction in traffic impacts, a minor traffic impact analysis was conducted for the proposed 100-unit RV park.

Access

As can be seen by the preliminary site plan attached herein, access to the development will be provided via a full-access driveway connection on CR 462 and on CR 121. Both intersections will be minor-street STOP-controlled.

Study Area

Per the Sumter County TIA Guidelines, for minor TIA's the study area is to include the roadway that abuts the development and major intersections located within 1,320 feet of the site access. Based on coordination with County staff, the study roadways include the following the segments:

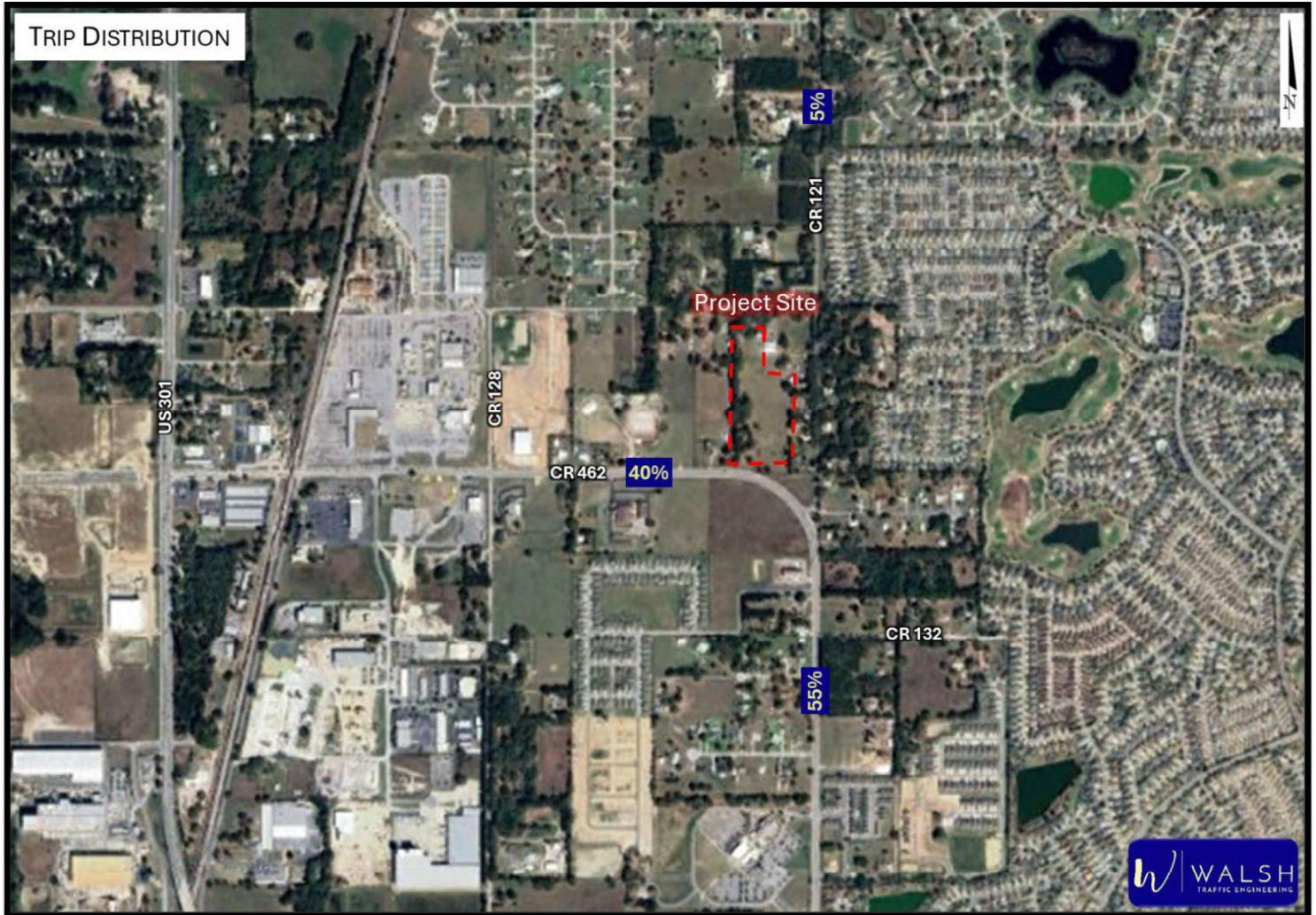
- CR 462 – from CR 131 to CR 121
- CR 462 – from CR 121 to CR 134
- CR 121 – from CR 462 to CR 114

The study intersections include the following:

- CR 462 at project driveway
- CR 462 at CR 121
- CR 121 at project driveway

Trip Distribution

The trip distribution for the new external trips was estimated based on engineering judgment taking into consideration the development's proximity to trip attractors, the adjacent roadway network, and existing travel patterns. The applied trip distribution is shown below.





Roadway Segment Analyses

Existing Conditions Analyses - For purposes of this study, AM and PM peak-period turning movement counts, from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM, were conducted at the CR 462/CR 121 intersection. Existing roadway segment capacities were obtained from the Sumter County 2023 CMP Database. Printouts of the turning movement counts are attached.

The operating conditions of the roadway segments were then analyzed by comparing the PM peak-hour volumes against the generalized service volumes. As summarized in **Table 2**, the existing roadway segment volumes are below the generalized service volumes thus indicating that the study roadways currently have acceptable operating conditions.

Table 2 – Existing Conditions Roadway Segment Analyses (PM Peak Hour)

Roadway Segment	ID	# of Lanes	Adopted LOS	Service Volume (vph)	Source	Existing Volume (vph)		Year	Source	Service Volume	V/C		Volume Exceeds Svc Vol?	
						NB/EB	SB/WB				NB/EB	SB/WB	NB/EB	SB/WB
CR 462														
CR 131 to CR 121	35411101	2	F	1,074	CMPx0.55x.09	446	580	2025	CMP	1,074	0.42	0.54	no	no
CR 121 to CR 134	35411002	2	F	1,109	CMPx0.55x.09	560	477	2025	CMP	1,109	0.50	0.43	no	no
CR 121														
CR 462 to CR 114	3224000	2	D	799	CMP	238	147	2025	CMP	799	0.30	0.18	no	no

Source: CMP = Sumter County 2023 CMP Database; CMPx0.55x0.09 = CMP daily service volumes multiplied by a k-factor of 0.09 and d-factor of 0.55

Future Conditions Analyses - Existing roadway segment and intersection volumes were factored to year 2029 by applying the lower of the annual growth rate as obtained from the Sumter County 2023 CMP Database or a 2% minimum annual growth rate. **Table 3** summarizes the future background volume calculations and operating conditions for the study roadway segments. The future background volume projections are below the generalized service volumes thereby indicating that the study roadway segments are projected to operate acceptably under future background conditions in year 2029.

Table 3 – Future Background Conditions Roadway Segment Analyses (PM Peak Hour)

Roadway Segment	# of Lanes	Adopt. LOS	Applicable Annual Growth Rate	Applied Annual Growth Rate	Existing Volume (vph)			Buildout Year	Applied Growth		Total Background Vol. (vph)		Service Volume (vph)	V/C		Volume Exceeds Svc Vol?	
					NB/EB	SB/WB	Year		NB/EB	SB/WB	NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB
CR 462																	
CR 131 to CR 121	2	F	5.25%	5.25%	446	580	2023	2029	140	183	586	763	1,074	0.55	0.71	no	no
CR 121 to CR 134	2	F	6.5%	6.5%	560	477	2023	2029	218	186	778	663	1,109	0.70	0.60	no	no
CR 121																	
CR 462 to CR 114	2	D	1.0%	2.0%	238	147	2023	2029	29	18	267	165	799	0.33	0.21	no	no

Project trips were then added to obtain the future total volumes on the study roadway segments at buildout of the proposed development in 2029. The total volumes were then compared against each roadway’s service volume. As summarized in **Table 4** on the following page, the future buildout volume projections on the study roadway segments are below the generalized service volumes. Therefore, consistent with the existing and future background conditions analyses, the study roadway segments are projected to have acceptable operating conditions at buildout of the development in year 2029.



Table 4 – Future Buildout Conditions Roadway Segment Analyses (PM Peak Hour)

Roadway Segment	ID	# of Lanes	Adopted LOS	Total Background Volume (vph)		Project Trips			Total Buildout Volume (vph)		Service Volume (vph)	V/C		Volume Exceeds Svc Vol?	
				NB/EB	SB/WB	% Assign	Volume (vph)		NB/EB	SB/WB		NB/EB	SB/WB	NB/EB	SB/WB
							NB/EB	SB/WB							
CR 462															
CR 131 to CR 121	35411101	2	F	586	763	40.0%	12	6	598	769	1,074	0.56	0.72	no	no
CR 121 to CR 134	35411002	2	F	778	663	55.0%	16	9	794	672	1,109	0.72	0.61	no	no
CR 121															
CR 462 to CR 114	3224000	2	D	267	165	5.0%	1	1	268	166	799	0.34	0.21	no	no

Intersection Analyses

Existing Conditions Analyses - The study intersections were analyzed based on *Highway Capacity Manual* methodologies using Synchro 12 software. Based on the Synchro printouts, and as summarized in **Table 5** below, the westbound STOP-controlled approach at the CR 462/CR 121 intersection currently operates at level of service (LOS) C with volume-to-capacity (v/c) ratios less than 0.6. Printouts of the operational analyses are attached.

Table 5 – Intersection Analysis Summary

Intersection	Control	MOE	AM Peak Hour				PM Peak Hour					
			Approach				Overall Intxn	Approach				Overall Intxn
			EB	WB	NB	SB		EB	WB	NB	SB	
Existing Conditions												
CR 462 at CR 121		Delay (sec/veh)	-	18.5	-	-	-	-	17.4	-	-	-
		LOS	-	C	-	-	-	-	C	-	-	-
		Highest V/C	-	0.538	-	-	-	-	0.409	-	-	-
Background Conditions												
CR 462 at CR 121		Delay (sec/veh)	-	26.7	-	-	-	-	23.4	-	-	-
		LOS	-	D	-	-	-	-	C	-	-	-
		Highest V/C	-	0.706	-	-	-	-	0.558	-	-	-
Buildout Conditions												
CR 462 at Driveway #1		Delay (sec/veh)	-	-	-	11.4	-	-	-	-	12.6	-
		LOS	-	-	-	B	-	-	-	-	B	-
		Highest V/C	-	-	-	0.031	-	-	-	-	0.034	-
CR 462 at CR 121		Delay (sec/veh)	-	27.4	-	-	-	-	24.3	-	-	-
		LOS	-	D	-	-	-	-	C	-	-	-
		Highest V/C	-	0.715	-	-	-	-	0.57	-	-	-
CR 121 at Driveway #2		Delay (sec/veh)	12.4	-	-	-	-	12.4	-	-	-	-
		LOS	B	-	-	-	-	B	-	-	-	-
		Highest V/C	0.002	-	-	-	-	0.002	-	-	-	-



Future Conditions Analyses - Existing intersection volumes were factored to year 2029 by the lower of the annual growth rate as obtained from the Sumter County 2023 CMP Database or a 2% minimum annual growth rate. Project trips were then added to obtain the future total volumes at the study intersections at buildout of the proposed development in 2029.

The study intersections were then analyzed under future background and buildout conditions in year 2029. Based on the Synchro printouts, and as summarized in **Table 5**, all STOP-controlled movements at each unsignalized study intersection are projected to operate acceptably at LOS D or better with v/c ratios of 0.715 or less.

Turn-Lane Analysis

CR 462 at Project Driveway (Driveway #1) – At the project driveway, CR 462 is a three-lane roadway with an eastbound travel lane, westbound travel lane, and a two-way continuous left-turn lane and a posted speed limit of 40 miles per hour. Thus, eastbound left-turning vehicles into the project on CR 462 can perform a left turn from the two-way continuous left-turn lane.

The need for a westbound right-turn lane on CR 462 was evaluated using procedures documented in the NCHRP Report 457: Evaluating Intersection Improvements. Based on the analysis, a westbound right-turn lane is not warranted on CR 462 at the project driveway. Printouts of the turn-lane analysis worksheets are attached.

CR 121 at Project Driveway (Driveway #2) – Northbound left turns are not projected at this intersection. Thus, a northbound left-turn lane is not warranted. Only one southbound right-turn vehicle is projected at this driveway in the AM and PM peak hour. This low volume does not even register a point on the graph used in the NCHRP Report 457: Evaluating Intersection Improvements for determining the need for a right-turn lane. Therefore, a southbound right-turn lane is not warranted.



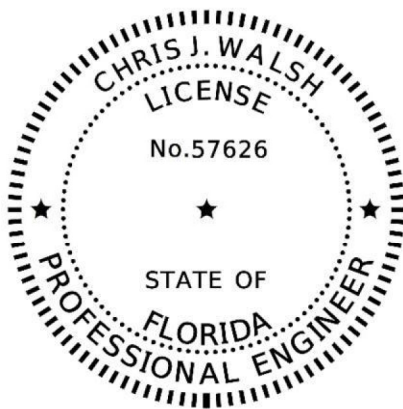
Conclusion

A traffic analysis was conducted for the proposed future land use (FLU) amendment and rezoning of 10 acres of property located on the north side of CR 462 approximately 0.4 miles east of CR 128 in Wildwood, Florida. Based on the trip generation projections, the maximum development allowed under the proposed FLU/rezoning is projected to result in a significant overall net trip reduction on the adjacent roadway network and therefore provide an overall transportation impact benefit.

Based on the analysis, all study roadway segments currently operate acceptably and are projected to continue to operate acceptably at buildout of the development in year 2029. Similarly, all study intersections currently operate acceptably and are projected to continue to operate acceptably at buildout of the development in year 2029.

With regard to the project driveways, a westbound right-turn lane is not warranted on CR 462 at Driveway #1. Additionally, neither a northbound left-turn lane nor a southbound right-turn lane is warranted on CR 121 at the project driveway.

Please let us know if you have any questions.



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

Chris J Walsh Date: 2026.01.09
16:48:40 -05'00'

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES



Attachments

Preliminary Concept Plan

Owner:
Lien Nails, LLC
38634 Lakeview Walk
Lady Lake, FL 32159

Agent/Consultant:
LPG Urban & Regional
Planners, LLC
Michael Rankin,
Managing Member
2050 Classique Lane,
Tavares, FL 32778
352-385-1940

Notes:

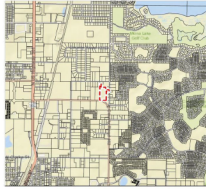
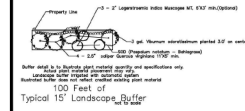
Site: 10 acres (435,600 sf)
Existing FLU: PF
Existing Zoning: IN
Proposed FLU: MHP (Mobile Home Park)
Proposed Zoning: MHP (Mobile Home Park)
Adjacent Land Use and Zoning
North: Wildwood LDR & R1/Sumter County RR & RR1C
South: Wildwood AG & AG-10
East: Sumter County RR & AGR/RR1; R2M; R6M; R2C; RR5C
West: Sumter County RR/RR1C & RR5C
Proposed Uses:
RV Park
Clubhouse
Water Retention
Dog Park

Density:

Maximum: 100 Units (10 / Acre)
Proposed: 79 units (7.9 / Acre)
Intensity:
Maximum FAR: .3
Proposed ISR: 60%
Open Space:
Required: 15%
Proposed: 40%
Setbacks:
Front: 8'
Rear: 8'
Side: 8'

Site Lighting shall comply with IESNA Guidelines

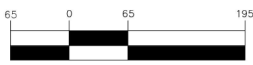
Utilities:
Water and Sewer Provider: City of Wildwood
Electric & Natural Gas Provider: City of Wildwood
Fire Protection: Provided by the City of Wildwood
Buffers (Width)
North -15 feet
South-15 feet
East-15 feet
West-15 feet



Location

Legal Description:

A PARCEL OF LAND LYING WITHIN THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT AN IRON ROD AND CAP MARKED "LB 8514" AT THE INTERSECTION OF THE WEST LINE OF SAID EAST 1/2 OF NORTHEAST 1/4 OF NORTHEAST 1/4 OF SECTION 32;
THENCE ALONG THE AFORESAID SOUTH LINE OF THE NORTH 1/2 OF THE NORTH 1/2 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THENCE PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THENCE 589°47'08"E A DISTANCE OF 325.00 FEET TO AN IRON ROD AND CAP MARKED "LB 4709";
THENCE 589°47'08"E A DISTANCE OF 325.00 FEET TO AN IRON ROD AND CAP MARKED "LB 4709";
SAID POINT BEING ON THE WEST LINE OF PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 2348, PAGE 677, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA;
THENCE ALONG SAID WEST LINE RUN S00°09'40"W A DISTANCE OF 174.45 FEET TO AN IRON ROD AND CAP MARKED "PSM 3552" AT THE SOUTHWEST CORNER OF SAID PROPERTY;
THENCE ALONG THE SOUTH LINE OF SAID PROPERTY RUN S89°57'08"E A DISTANCE OF 232.76 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32;
THENCE ALONG SAID EAST LINE RUN S00°02'14"E A DISTANCE OF 238.16 FEET TO THE NORTH LINE OF THE SOUTH 210 YARDS OF SAID NORTHEAST 1/4 OF NORTHEAST 1/4 OF SECTION 32;
THENCE ALONG SAID NORTH LINE RUN N89°41'48"W A DISTANCE OF 210.76 FEET TO A 3-INCH SQUARE CONCRETE MONUMENT AT THE NORTHWEST CORNER OF THE EAST 70 YARDS OF THE SOUTH 210 YARDS OF SAID NORTHEAST 1/4 OF NORTHEAST 1/4 OF SECTION 32;
THENCE ALONG THE WEST LINE OF SAID EAST 70 YARDS RUN S00°07'37"W A DISTANCE OF 209.58 FEET TO A 3-INCH SQUARE CONCRETE MONUMENT AT THE SOUTH LINE OF AFORESAID EAST 1/2 OF NORTHEAST 1/4 OF NORTHEAST 1/4 OF SECTION 32;
THENCE ALONG SAID SOUTH LINE RUN N89°40'47"W A DISTANCE OF 315.43 FEET TO AN IRON ROD AND CAP MARKED "LB 8514" ON THE NORTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD 122;
SAID POINT BEING ON A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 749.78 FEET WITH A CHORD BEARING AND DISTANCE OF N76°51'30"W, 137.84 FEET TO WHICH A RADIAL LINE BEARS N12°24'53"E;
THENCE WESTERLY 138.03 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°12'11" TO AN IRON ROD AND CAP MARKED "LB 8514" ON THE WEST LINE OF SAID EAST 1/2 OF NORTHEAST 1/4 OF NORTHEAST 1/4 OF SECTION 32;
THENCE DEPARTING SAID RIGHT-OF-WAY AND CURVE ALONG A NON-TANGENT LINE AND ALONG AFORESAID WEST LINE RUN N00°13'50"E A DISTANCE OF 1095.10 FEET TO THE POINT OF BEGINNING.
LESS AND EXCEPT RIGHT-OF-WAY FOR COUNTY ROAD 122 ALONG THE EAST SIDE THEREOF.
CONTAINING 10 ACRES, MORE OR LESS.



(IN FEET)
1 inch = 65 ft.

*Plan is Conceptual by Design and is subject to Engineering and Other Outside Influences.

Lien Nails LLC
Conceptual Plan
Wildwood, FL



LAND PLANNING GROUP
ENTITLEMENT • PLANNING • CONSULTING
URBAN AND REGIONAL PLANNERS

Project #: 2130/2
Parcel ID: 033-173
11/5/2025



Traffic Count Data

National Data & Surveying Services

Intersection Turning Movement Count

Location: CR 121 & CR 462
 City: Wildwood
 Control: 1-Way Stop(SB)

Project ID: 25-130409-001
 Date: 12/16/2025

Data - Total

NS/EW Streets:	CR 121				CR 121				CR 462				CR 462							
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND							
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
7:00 AM	0	0	0	0	53	0	8	0	3	44	0	0	0	77	20	0	205			
7:15 AM	0	0	0	0	62	0	14	0	6	61	0	0	0	69	30	0	242			
7:30 AM	0	0	0	0	67	0	8	0	4	79	0	0	0	68	31	0	257			
7:45 AM	0	0	0	0	66	0	12	0	6	58	0	0	0	47	35	0	224			
8:00 AM	0	0	0	0	51	0	5	0	1	75	0	0	0	67	36	0	235			
8:15 AM	0	0	0	0	40	0	9	0	7	65	0	0	0	51	22	0	194			
8:30 AM	0	0	0	0	42	0	6	0	2	54	0	0	0	77	36	0	217			
8:45 AM	0	0	0	0	32	0	10	0	2	63	0	0	0	99	32	0	238			
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
APPROACH %'s :	0	0	0	0	413	0	72	0	31	499	0	0	0	555	242	0	1812			
					85.15%	0.00%	14.85%	0.00%	5.85%	94.15%	0.00%	0.00%	0.00%	69.64%	30.36%	0.00%				
PEAK HR :	07:15 AM - 08:15 AM																TOTAL			
PEAK HR VOL :	0	0	0	0	246	0	39	0	17	273	0	0	0	251	132	0	958			
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.918	0.000	0.696	0.000	0.708	0.864	0.000	0.000	0.000	0.909	0.917	0.000	0.932			
					0.913				0.873				0.930							
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND							
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
4:00 PM	0	0	0	0	43	0	7	0	5	64	0	0	0	107	63	0	289			
4:15 PM	0	0	0	0	37	0	5	0	5	72	0	0	0	107	53	0	279			
4:30 PM	0	0	0	0	44	0	9	0	7	76	0	0	0	88	57	0	281			
4:45 PM	0	0	0	0	36	0	6	0	3	66	0	0	0	111	51	0	273			
5:00 PM	0	0	0	0	36	0	6	0	6	72	0	0	0	98	68	0	286			
5:15 PM	0	0	0	0	52	0	0	0	6	61	0	0	0	108	57	0	284			
5:30 PM	0	0	0	0	38	0	11	0	7	68	0	0	0	82	63	0	269			
5:45 PM	0	0	0	0	37	0	6	0	10	58	0	0	0	99	61	0	271			
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
APPROACH %'s :	0	0	0	0	323	0	50	0	49	537	0	0	0	800	473	0	2232			
					86.60%	0.00%	13.40%	0.00%	8.36%	91.64%	0.00%	0.00%	0.00%	62.84%	37.16%	0.00%				
PEAK HR :	04:30 PM - 05:30 PM																TOTAL			
PEAK HR VOL :	0	0	0	0	168	0	21	0	22	275	0	0	0	405	233	0	1124			
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.808	0.000	0.583	0.000	0.786	0.905	0.000	0.000	0.000	0.912	0.857	0.000	0.983			
					0.892				0.895				0.961							

National Data & Surveying Services

Intersection Turning Movement Count

Location: CR 121 & CR 462
 City: Wildwood
 Control: 1-Way Stop(SB)

Project ID: 25-130409-001
 Date: 12/16/2025

Data - Cars

NS/EW Streets:	CR 121				CR 121				CR 462				CR 462								
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
7:00 AM	0	0	0	0	51	0	8	0	3	39	0	0	0	74	20	0					195
7:15 AM	0	0	0	0	60	0	13	0	6	53	0	0	0	64	30	0					226
7:30 AM	0	0	0	0	67	0	8	0	4	69	0	0	0	62	30	0					240
7:45 AM	0	0	0	0	65	0	11	0	6	55	0	0	0	45	34	0					216
8:00 AM	0	0	0	0	49	0	5	0	1	67	0	0	0	57	36	0					215
8:15 AM	0	0	0	0	39	0	9	0	5	57	0	0	0	47	22	0					179
8:30 AM	0	0	0	0	42	0	5	0	2	45	0	0	0	68	36	0					198
8:45 AM	0	0	0	0	31	0	9	0	2	55	0	0	0	95	32	0					224
TOTAL VOLUMES :																					TOTAL
APPROACH %'s :					404	0	68	0	29	440	0	0	0	512	240	0					1693
					85.59%	0.00%	14.41%	0.00%	6.18%	93.82%	0.00%	0.00%	0.00%	68.09%	31.91%	0.00%					
PEAK HR :	07:15 AM - 08:15 AM																				TOTAL
PEAK HR VOL :	0	0	0	0	241	0	37	0	17	244	0	0	0	228	130	0					897
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.899	0.000	0.712	0.000	0.708	0.884	0.000	0.000	0.000	0.891	0.903	0.000					0.934
					0.914				0.894				0.952								
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
4:00 PM	0	0	0	0	43	0	7	0	5	62	0	0	0	97	62	0					276
4:15 PM	0	0	0	0	34	0	5	0	5	70	0	0	0	102	51	0					267
4:30 PM	0	0	0	0	43	0	5	0	7	73	0	0	0	87	57	0					272
4:45 PM	0	0	0	0	35	0	5	0	3	63	0	0	0	107	51	0					264
5:00 PM	0	0	0	0	36	0	6	0	6	70	0	0	0	93	67	0					278
5:15 PM	0	0	0	0	52	0	0	0	6	60	0	0	0	103	57	0					278
5:30 PM	0	0	0	0	38	0	11	0	7	66	0	0	0	77	63	0					262
5:45 PM	0	0	0	0	37	0	6	0	10	57	0	0	0	97	61	0					268
TOTAL VOLUMES :																					TOTAL
APPROACH %'s :					318	0	45	0	49	521	0	0	0	763	469	0					2165
					87.60%	0.00%	12.40%	0.00%	8.60%	91.40%	0.00%	0.00%	0.00%	61.93%	38.07%	0.00%					
PEAK HR :	04:30 PM - 05:30 PM																				TOTAL
PEAK HR VOL :	0	0	0	0	166	0	16	0	22	266	0	0	0	390	232	0					1092
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.798	0.000	0.667	0.000	0.786	0.911	0.000	0.000	0.000	0.911	0.866	0.000					0.982
					0.875				0.900				0.972								

National Data & Surveying Services

Intersection Turning Movement Count

Location: CR 121 & CR 462
 City: Wildwood
 Control: 1-Way Stop(SB)

Project ID: 25-130409-001
 Date: 12/16/2025

Data - HT

NS/EW Streets:	CR 121				CR 121				CR 462				CR 462					
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND					
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	10	
	7:00 AM	0	0	0	0	2	0	1	0	0	8	0	0	0	3	0	0	16
	7:15 AM	0	0	0	0	0	0	0	0	0	10	0	0	0	5	0	0	17
	7:30 AM	0	0	0	0	0	0	0	0	0	3	0	0	0	2	1	0	8
	7:45 AM	0	0	0	0	1	0	1	0	0	8	0	0	0	10	0	0	20
	8:00 AM	0	0	0	0	2	0	0	0	0	8	0	0	0	4	0	0	15
	8:15 AM	0	0	0	0	1	0	0	0	2	9	0	0	0	9	0	0	19
	8:30 AM	0	0	0	0	1	0	1	0	0	8	0	0	0	4	0	0	14
8:45 AM	0	0	0	0	1	0	1	0	0	8	0	0	0	4	0	0		
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	0	0	0	0	9	0	4	0	2	59	0	0	0	43	2	0	119	
					69.23%	0.00%	30.77%	0.00%	3.28%	96.72%	0.00%	0.00%	0.00%	95.56%	4.44%	0.00%		
PEAK HR :	07:15 AM - 08:15 AM																TOTAL	
PEAK HR VOL :	0	0	0	0	5	0	2	0	0	29	0	0	0	23	2	0	61	
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.625	0.000	0.500	0.000	0.000	0.725	0.000	0.000	0.000	0.575	0.500	0.000	0.763	
					0.583				0.725				0.625					
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND					
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
	0	0	0	0	0	0	0	0	0	2	0	0	0	10	1	0	13	
	4:00 PM	0	0	0	0	3	0	0	0	0	2	0	0	0	5	2	0	12
	4:15 PM	0	0	0	0	1	0	4	0	0	3	0	0	0	1	0	0	9
	4:30 PM	0	0	0	0	1	0	1	0	0	3	0	0	0	4	0	0	9
	4:45 PM	0	0	0	0	0	0	0	0	0	2	0	0	0	5	1	0	8
	5:00 PM	0	0	0	0	0	0	0	0	0	1	0	0	0	5	0	0	6
	5:15 PM	0	0	0	0	0	0	0	0	0	2	0	0	0	5	0	0	7
	5:30 PM	0	0	0	0	0	0	0	0	0	1	0	0	0	2	0	0	3
5:45 PM	0	0	0	0	0	0	0	0	0	1	0	0	0	2	0	0		
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	0	0	0	0	5	0	5	0	0	16	0	0	0	37	4	0	67	
					50.00%	0.00%	50.00%	0.00%	0.00%	100.00%	0.00%	0.00%	0.00%	90.24%	9.76%	0.00%		
PEAK HR :	04:30 PM - 05:30 PM																TOTAL	
PEAK HR VOL :	0	0	0	0	2	0	5	0	0	9	0	0	0	15	1	0	32	
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.500	0.000	0.313	0.000	0.000	0.750	0.000	0.000	0.000	0.750	0.250	0.000	0.889	
					0.350				0.750				0.667					

National Data & Surveying Services

Intersection Turning Movement Count

Location: CR 121 & CR 462
 City: Wildwood
 Control: 1-Way Stop(SB)

Project ID: 25-130409-001
 Date: 12/16/2025

Data - Bikes

NS/EW Streets:	CR 121				CR 121				CR 462				CR 462					
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND					
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
	7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	7:15 AM	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	1
	7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	8:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	8:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	1	
PEAK HR :	07:15 AM - 08:15 AM																TOTAL	
PEAK HR VOL :	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	1	
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.000	0.000	0.250	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.250	
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND					
	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
	4:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	4:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	4:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	5:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1
	5:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
	5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	0	0	0	0	0	0	0	0	0	0	0	0	0.00%	100.00%	0.00%	0.00%	2	
PEAK HR :	04:30 PM - 05:30 PM																TOTAL	
PEAK HR VOL :	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	
PEAK HR FACTOR :	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.250	0.000	0.000	0.250	

National Data & Surveying Services
Intersection Turning Movement Count

Location: CR 121 & CR 462
City: Wildwood

Project ID: 25-130409-001
Date: 12/16/2025

Data - Pedestrians (Crosswalks)

NS/EW Streets:	CR 121		CR 121		CR 462		CR 462		
AM	NORTH LEG		SOUTH LEG		EAST LEG		WEST LEG		TOTAL
	EB	WB	EB	WB	NB	SB	NB	SB	
	7:00 AM	0	0	0	0	0	0	0	0
	7:15 AM	0	0	0	0	0	0	0	0
	7:30 AM	0	0	0	0	0	0	0	0
	7:45 AM	0	0	0	0	0	0	0	0
	8:00 AM	0	0	0	0	0	0	0	0
	8:15 AM	0	0	0	0	0	0	0	0
	8:30 AM	0	0	0	0	0	0	0	0
	8:45 AM	0	0	0	0	0	0	0	0
TOTAL VOLUMES :	EB	WB	EB	WB	NB	SB	NB	SB	TOTAL
APPROACH %'s :	0	0	0	0	0	0	0	0	0
PEAK HR :	07:15 AM - 08:15 AM								TOTAL
PEAK HR VOL :	0	0	0	0	0	0	0	0	0
PEAK HR FACTOR :									

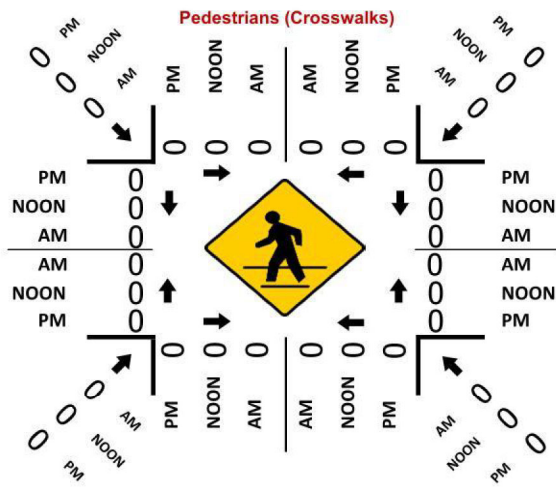
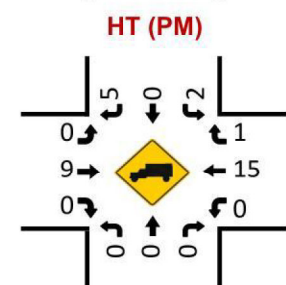
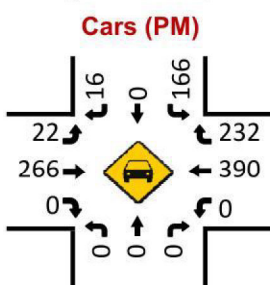
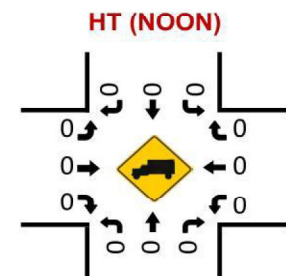
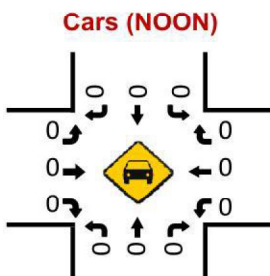
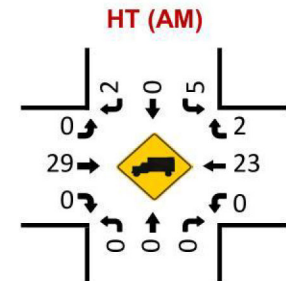
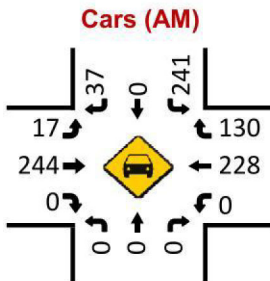
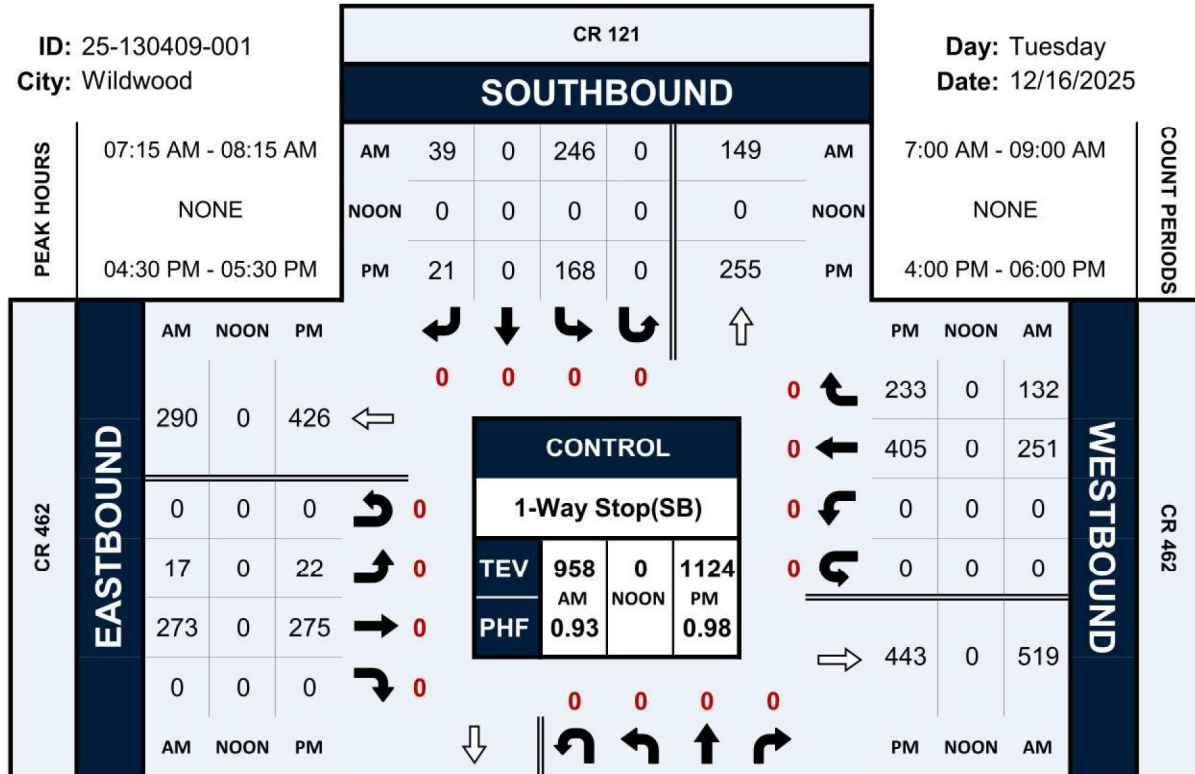
PM	NORTH LEG		SOUTH LEG		EAST LEG		WEST LEG		TOTAL
	EB	WB	EB	WB	NB	SB	NB	SB	
	4:00 PM	0	0	0	0	0	0	0	0
	4:15 PM	0	0	0	0	0	0	0	0
	4:30 PM	0	0	0	0	0	0	0	0
	4:45 PM	0	0	0	0	0	0	0	0
	5:00 PM	0	0	0	0	0	0	0	0
	5:15 PM	0	0	0	0	0	0	0	0
	5:30 PM	0	0	0	0	0	0	0	0
	5:45 PM	0	0	0	0	0	0	0	0
TOTAL VOLUMES :	EB	WB	EB	WB	NB	SB	NB	SB	TOTAL
APPROACH %'s :	0	0	0	0	0	0	0	0	0
PEAK HR :	04:30 PM - 05:30 PM								TOTAL
PEAK HR VOL :	0	0	0	0	0	0	0	0	0
PEAK HR FACTOR :									

CR 121 & CR 462

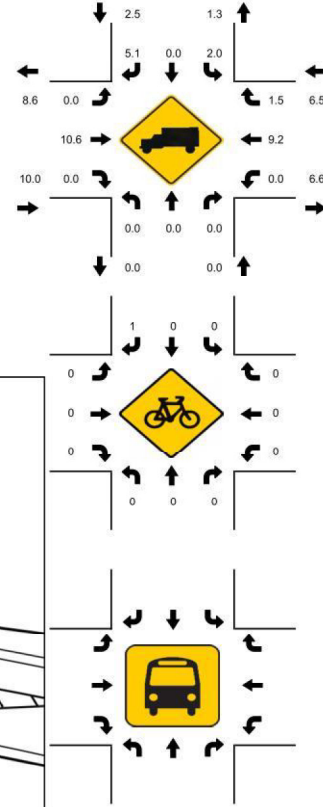
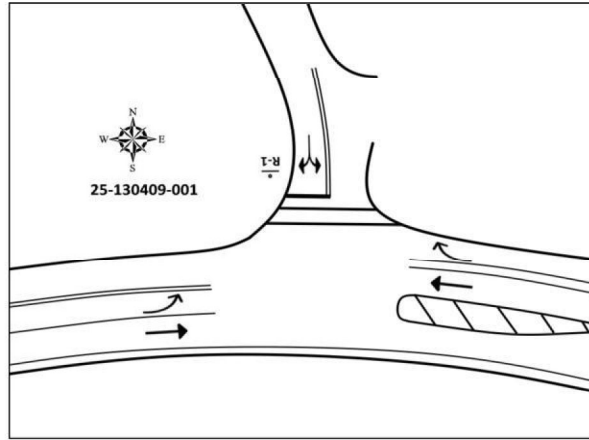
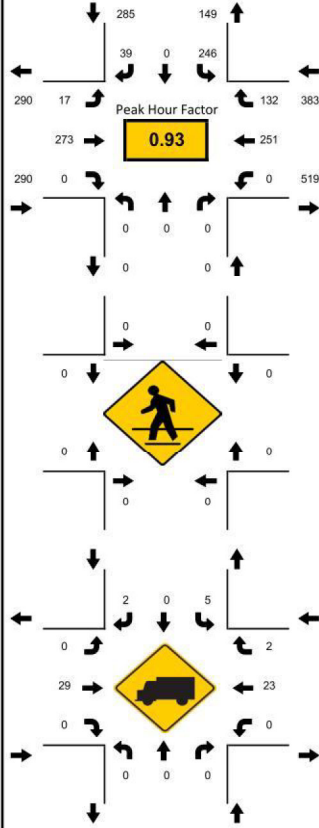
Peak Hour Turning Movement Count

ID: 25-130409-001
City: Wildwood

Day: Tuesday
Date: 12/16/2025

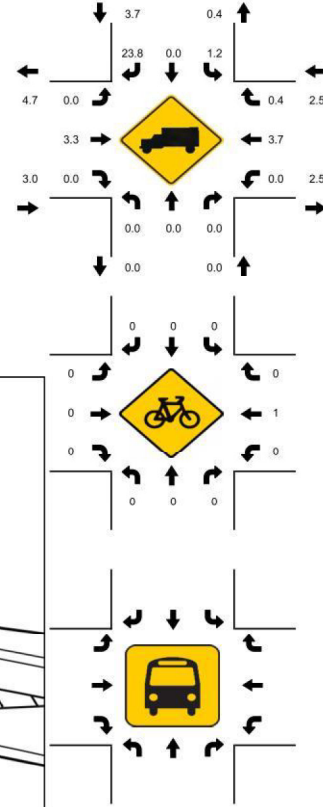
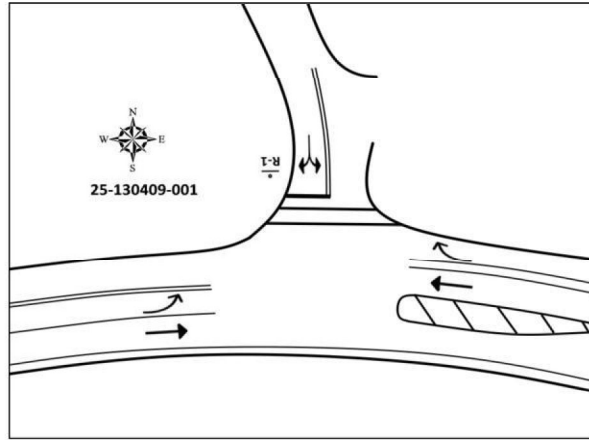
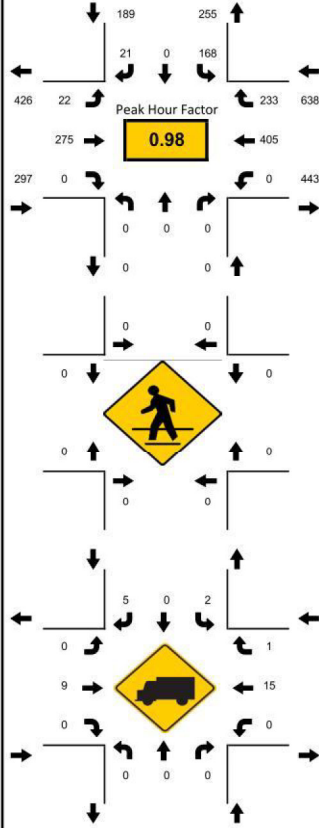


Peak-Hour: 07:15 AM - 08:15 AM
Peak 15-Minute: 07:30 AM - 07:45 AM



15-Min Count Period Beginning At	CR 121 Northbound					CR 121 Southbound					CR 462 Eastbound					CR 462 Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
7:00 AM	0	0	0	0	0	53	0	8	0	0	3	44	0	0	0	0	77	20	0	0	205	928
7:15 AM	0	0	0	0	0	62	0	14	0	0	6	61	0	0	0	0	69	30	0	0	242	958
7:30 AM	0	0	0	0	0	67	0	8	0	0	4	79	0	0	0	0	68	31	0	0	257	910
7:45 AM	0	0	0	0	0	66	0	12	0	0	6	58	0	0	0	0	47	35	0	0	224	870
8:00 AM	0	0	0	0	0	51	0	5	0	0	1	75	0	0	0	0	67	36	0	0	235	884
8:15 AM	0	0	0	0	0	40	0	9	0	0	7	65	0	0	0	0	51	22	0	0	194	649
8:30 AM	0	0	0	0	0	42	0	6	0	0	2	54	0	0	0	0	77	36	0	0	217	455
8:45 AM	0	0	0	0	0	32	0	10	0	0	2	63	0	0	0	0	99	32	0	0	238	238
Peak 15-Min Flowrates	Northbound					Southbound					Eastbound					Westbound					Total	
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
All Vehicles	0	0	0	0	0	268	0	56	0	0	24	316	0	0	0	0	276	144	0	0	1084	
Heavy Trucks	0	0	0	0	0	8	0	4	0	0	0	40	0	0	0	0	40	4	0	0	96	
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles	0	0	0	0	0	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	4	
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Stopped Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	

Peak-Hour: 04:30 PM - 05:30 PM
Peak 15-Minute: 05:00 PM - 05:15 PM



15-Min Count Period Beginning At	CR 121 Northbound					CR 121 Southbound					CR 462 Eastbound					CR 462 Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
4:00 PM	0	0	0	0	0	43	0	7	0	0	5	64	0	0	0	0	107	63	0	0	289	1122
4:15 PM	0	0	0	0	0	37	0	5	0	0	5	72	0	0	0	0	107	53	0	0	279	1119
4:30 PM	0	0	0	0	0	44	0	9	0	0	7	76	0	0	0	0	88	57	0	0	281	1124
4:45 PM	0	0	0	0	0	36	0	6	0	0	3	66	0	0	0	0	111	51	0	0	273	1112
5:00 PM	0	0	0	0	0	36	0	6	0	0	6	72	0	0	0	0	98	68	0	0	286	1110
5:15 PM	0	0	0	0	0	52	0	0	0	0	6	61	0	0	0	0	108	57	0	0	284	824
5:30 PM	0	0	0	0	0	38	0	11	0	0	7	68	0	0	0	0	82	63	0	0	269	540
5:45 PM	0	0	0	0	0	37	0	6	0	0	10	58	0	0	0	0	99	61	0	0	271	271
Peak 15-Min Flowrates	Northbound					Southbound					Eastbound					Westbound					Total	
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
All Vehicles	0	0	0	0	0	208	0	36	0	0	28	304	0	0	0	0	444	272	0	0	1292	
Heavy Trucks	0	0	0	0	0	4	0	16	0	0	0	12	0	0	0	0	20	4	0	0	56	
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	0	0	0	4	
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Stopped Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	

2024 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 1800 SUMTER COUNTYWIDE

MOCF: 0.97

WEEK	DATES	SF	PSCF
1	01/01/2024 - 01/06/2024	0.94	0.97
2	01/07/2024 - 01/13/2024	1.01	1.04
3	01/14/2024 - 01/20/2024	1.08	1.11
4	01/21/2024 - 01/27/2024	1.06	1.09
5	01/28/2024 - 02/03/2024	1.04	1.07
6	02/04/2024 - 02/10/2024	1.03	1.06
7	02/11/2024 - 02/17/2024	1.01	1.04
8	02/18/2024 - 02/24/2024	0.99	1.02
* 9	02/25/2024 - 03/02/2024	0.97	1.00
*10	03/03/2024 - 03/09/2024	0.95	0.98
*11	03/10/2024 - 03/16/2024	0.93	0.96
*12	03/17/2024 - 03/23/2024	0.94	0.97
*13	03/24/2024 - 03/30/2024	0.95	0.98
*14	03/31/2024 - 04/06/2024	0.96	0.99
*15	04/07/2024 - 04/13/2024	0.97	1.00
*16	04/14/2024 - 04/20/2024	0.99	1.02
*17	04/21/2024 - 04/27/2024	0.99	1.02
*18	04/28/2024 - 05/04/2024	0.99	1.02
*19	05/05/2024 - 05/11/2024	0.99	1.02
*20	05/12/2024 - 05/18/2024	0.99	1.02
*21	05/19/2024 - 05/25/2024	0.99	1.02
22	05/26/2024 - 06/01/2024	0.99	1.02
23	06/02/2024 - 06/08/2024	0.99	1.02
24	06/09/2024 - 06/15/2024	0.99	1.02
25	06/16/2024 - 06/22/2024	0.99	1.02
26	06/23/2024 - 06/29/2024	0.99	1.02
27	06/30/2024 - 07/06/2024	0.99	1.02
28	07/07/2024 - 07/13/2024	0.99	1.02
29	07/14/2024 - 07/20/2024	0.99	1.02
30	07/21/2024 - 07/27/2024	1.02	1.05
31	07/28/2024 - 08/03/2024	1.05	1.08
32	08/04/2024 - 08/10/2024	1.08	1.11
33	08/11/2024 - 08/17/2024	1.12	1.15
34	08/18/2024 - 08/24/2024	1.12	1.15
35	08/25/2024 - 08/31/2024	1.13	1.16
36	09/01/2024 - 09/07/2024	1.14	1.18
37	09/08/2024 - 09/14/2024	1.15	1.19
38	09/15/2024 - 09/21/2024	1.16	1.20
39	09/22/2024 - 09/28/2024	1.11	1.14
40	09/29/2024 - 10/05/2024	1.06	1.09
41	10/06/2024 - 10/12/2024	1.01	1.04
42	10/13/2024 - 10/19/2024	0.97	1.00
43	10/20/2024 - 10/26/2024	0.97	1.00
44	10/27/2024 - 11/02/2024	0.97	1.00
45	11/03/2024 - 11/09/2024	0.97	1.00
46	11/10/2024 - 11/16/2024	0.98	1.01
47	11/17/2024 - 11/23/2024	0.97	1.00
48	11/24/2024 - 11/30/2024	0.96	0.99
49	12/01/2024 - 12/07/2024	0.95	0.98
50	12/08/2024 - 12/14/2024	0.95	0.98
51	12/15/2024 - 12/21/2024	0.94	0.97
52	12/22/2024 - 12/28/2024	1.01	1.04
53	12/29/2024 - 12/31/2024	1.08	1.11

* PEAK SEASON

04-MAR-2025 16:32:53

830UPD

5_1800_PKSEASON.TXT

Sumter County 2023 CMP Database

SEGMENT ID	COUNTY STATION	FDOT STATION	DATA SOURCE	SPEED LIMIT	SEGMENT LENGTH (MI)	ROAD NAME	FROM	TO	LANES (2023)	LANES (2028)	ADOPTED LOS STANDARD	DAILY SERVICE VOLUME	2023 AADT	2023 DAILY V/C	2023 DAILY LOS	PEAK HOUR DIRECTIONAL SERVICE VOLUME	2023 PEAK HOUR NB/EB VOLUME	2023 PEAK HOUR SB/WB VOLUME	2023 PEAK HOUR V/C	2023 PEAK HOUR LOS	PEAK HOUR TWO-WAY DIRECTIONAL SERVICE VOLUME	2023 PEAK HOUR TWO-WAY VOLUME	2023 PEAK HOUR TWO-WAY V/C	2023 PEAK HOUR TWO-WAY LOS	GROWTH RATE
3224000	96		SUMTER	30	1.37	CR 121	CR 462	CR 114	2	2	D	16,128	4,516	0.28	C	799	238	147	0.30	C	1,454	385	C	0.26	5.25%
35411002	187003	187003	FDOT	45	1.14	CR 462	CR 121	CR 134	2	2	F	22,400	11,530	N/A	C	N/A	560	477	N/A	C	2,020	1,037	C	0.51	6.50%
35411101	19	-	SUMTER	35	0.85	CR 462	CR 131	CR 121	2	2	F	21,700	11,323	N/A	C	N/A	446	580	N/A	C	1,950	1,026	C	0.53	1.00%

Existing Conditions Synchro Printouts

Intersection						
Int Delay, s/veh	5.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑	↑	↑	↑
Traffic Vol, veh/h	246	39	251	132	17	273
Future Vol, veh/h	246	39	251	132	17	273
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	5	9	2	2	11
Mvmt Flow	265	42	270	142	18	294

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	600	270	0	0	412
Stage 1	270	-	-	-	-
Stage 2	330	-	-	-	-
Critical Hdwy	6.42	6.25	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.345	-	-	2.218
Pot Cap-1 Maneuver	464	762	-	-	1147
Stage 1	775	-	-	-	-
Stage 2	728	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	457	762	-	-	1147
Mov Cap-2 Maneuver	548	-	-	-	-
Stage 1	775	-	-	-	-
Stage 2	717	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	18.45	0	0.48
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	569	1147
HCM Lane V/C Ratio	-	-	0.538	0.016
HCM Ctrl Dly (s/v)	-	-	18.4	8.2
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	3.2	0

Intersection						
Int Delay, s/veh	3.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑	↑	Y	↑
Traffic Vol, veh/h	168	21	405	233	22	275
Future Vol, veh/h	168	21	405	233	22	275
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	24	4	2	2	3
Mvmt Flow	177	22	426	245	23	289

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	762	426	0	0	672	0
Stage 1	426	-	-	-	-	-
Stage 2	336	-	-	-	-	-
Critical Hdwy	6.42	6.44	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.516	-	-	2.218	-
Pot Cap-1 Maneuver	373	584	-	-	919	-
Stage 1	659	-	-	-	-	-
Stage 2	724	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	363	584	-	-	919	-
Mov Cap-2 Maneuver	476	-	-	-	-	-
Stage 1	659	-	-	-	-	-
Stage 2	706	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	17.43	0	0.67
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	486	919
HCM Lane V/C Ratio	-	-	0.409	0.025
HCM Ctrl Dly (s/v)	-	-	17.4	9
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	2	0.1

Turning Movement Worksheets

CR 462 at Driveway #1 AM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	290	0	0	0	290	0	0	0	0	0	0	0	0	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	290	0	0	0	290	0	0	0	0	0	0	0	0	0

	West Leg		East Leg		South Leg		North Leg	
	Existing Approach & Departure Volumes	EB: 290	WB: 290	EB: 290	WB: 290	NB: 0	SB: 0	NB: 0
Directional Factors Based on Existing Counts	EB: 0.50	WB: 0.50	EB: 0.50	WB: 0.50	NB: 1.00	SB: 1.00	NB: 1.00	SB: 1.00

Future Background

Year 2029

Annual Growth Rate	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%
Simple Volume Growth	0	0	23	0	0	0	23	0	0	0	0	0	0	0	0	0
Applied Bckgrnd Growth	0	0	23	0	0	0	23	0	0	0	0	0	0	0	0	0
Total Bckgrnd Pk-Hr Vols	0	0	313	0	0	0	313	0	0	0	0	0	0	0	0	0

Project Trips

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	40.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
New Ext Outbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	40.0%
Total Project Trips	0	3	0	0	0	0	0	4	0	0	0	0	0	10	0	7

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	3	313	0	0	0	313	4	0	0	0	0	0	10	0	7

CR 462 at Driveway #1 PM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	297	0	0	0	426	0	0	0	0	0	0	0	0	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	297	0	0	0	426	0	0	0	0	0	0	0	0	0

	West Leg		East Leg		South Leg		North Leg	
	Existing Approach & Departure Volumes	EB: 297	WB: 426	EB: 297	WB: 426	NB: 0	SB: 0	NB: 0
Directional Factors Based on Existing Counts	EB: 0.41	WB: 0.59	EB: 0.41	WB: 0.59	NB:	SB: 1.00	NB:	SB: 1.00

Future Background

Year 2029

Annual Growth Rate	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%
Simple Volume Growth	0	0	24	0	0	0	34	0	0	0	0	0	0	0	0	0
Applied Bckgrnd Growth	0	0	24	0	0	0	34	0	0	0	0	0	0	0	0	0
Total Bckgrnd Pk-Hr Vols	0	0	321	0	0	0	460	0	0	0	0	0	0	0	0	0

Project Trips

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	40.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
New Ext Outbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	40.0%
Total Project Trips	0	12	0	0	0	0	0	16	0	0	0	0	0	9	0	7

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	12	321	0	0	0	460	16	0	0	0	0	0	9	0	7

CR 462 at CR 121
AM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	0	0	0	246	0	39	0	0	251	132	0	17	273	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	0	0	0	246	0	39	0	0	251	132	0	17	273	0

	West Leg	East Leg	South Leg	North Leg
Existing Approach & Departure Volumes	EB: 0 WB: 0	EB: 149 WB: 285	NB: 383 SB: 519	NB: 290 SB: 290
Directional Factors Based on Existing Counts	EB: #DIV/0! WB: #DIV/0!	EB: 0.34 WB: 0.66	NB: 0.42 SB: 0.58	NB: 0.50 SB: 0.50

Future Background

Year 2029

	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	6.5%	6.5%	6.5%	6.5%	2.0%	2.0%	2.0%	2.0%
Annual Growth Rate	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	6.5%	6.5%	6.5%	6.5%	2.0%	2.0%	2.0%	2.0%
Simple Volume Growth	0	0	0	0	0	52	0	8	0	0	65	34	0	1	22	0
Applied Bckgrnd Growth	0	0	0	0	0	52	0	8	0	0	65	34	0	1	22	0
Total Bckgrnd Pk-Hr Vols	0	0	0	0	0	298	0	47	0	0	316	166	0	18	295	0

Project Trips

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	0.0%	0.0%	0.0%	0.0%
New Ext Outbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%
Total Project Trips	0	0	0	0	0	0	0	0	0	0	4	0	0	0	10	0

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	0	0	0	0	298	0	47	0	0	320	166	0	18	305	0

CR 462 at CR 121
PM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	0	0	0	168	0	21	0	0	405	233	0	22	275	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	0	0	0	168	0	21	0	0	405	233	0	22	275	0

	West Leg	East Leg	South Leg	North Leg
Existing Approach & Departure Volumes	EB: 0 WB: 0	EB: 255 WB: 189	NB: 638 SB: 443	NB: 426 SB: 297
Directional Factors Based on Existing Counts	EB: #DIV/0! WB: #DIV/0!	EB: 0.57 WB: 0.43	NB: 0.59 SB: 0.41	NB: 0.59 SB: 0.41

Future Background

Year 2029

	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	6.5%	6.5%	6.5%	6.5%	2.0%	2.0%	2.0%	2.0%
Annual Growth Rate	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	6.5%	6.5%	6.5%	6.5%	2.0%	2.0%	2.0%	2.0%
Simple Volume Growth	0	0	0	0	0	35	0	4	0	0	105	61	0	2	22	0
Applied Bckgrnd Growth	0	0	0	0	0	35	0	4	0	0	105	61	0	2	22	0
Total Bckgrnd Pk-Hr Vols	0	0	0	0	0	203	0	25	0	0	510	294	0	24	297	0

Project Trips

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%	0.0%	0.0%	0.0%	0.0%
New Ext Outbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	55.0%	0.0%
Total Project Trips	0	0	0	0	0	0	0	0	0	0	16	0	0	0	9	0

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	0	0	0	0	203	0	25	0	0	526	294	0	24	306	0

CR 121 at Driveway #2 AM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	0	0	0	0	0	0	0	0	149	0	0	0	285	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	0	0	0	0	0	0	0	0	149	0	0	0	285	0

	West Leg		East Leg		South Leg		North Leg	
	Existing Approach & Departure Volumes	EB: 0	WB: 0	EB: 0	WB: 0	NB: 149	SB: 285	NB: 149
Directional Factors Based on Existing Counts	EB: #DIV/0!	WB: #DIV/0!	EB: #DIV/0!	WB: #DIV/0!	NB: 0.34	SB: 0.66	NB: 0.34	SB: 0.66

Future Background

Year 2029

Annual Growth Rate	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%
Simple Volume Growth	0	0	0	0	0	0	0	0	0	0	31	0	0	0	60	0
Applied Bckgrnd Growth	0	0	0	0	0	0	0	0	0	0	31	0	0	0	60	0
Total Bckgrnd Pk-Hr Vols	0	0	0	0	0	0	0	0	0	0	180	0	0	0	345	0

Project Trips

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	5.0%
New Ext Outbound Volume	0.0%	5.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Total Project Trips	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	1	0	0	0	0	0	0	0	0	180	0	0	0	345	0

CR 121 at Driveway #2 PM Peak Hour

Existing TMCs

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Existing Count	0	0	0	0	0	0	0	0	0	0	255	0	0	0	189	0
Date of Count	12/16/2025				SF (SF is 0.94, use 1.00)				1.00							
Adjusted Count	0	0	0	0	0	0	0	0	0	0	255	0	0	0	189	0

	West Leg		East Leg		South Leg		North Leg	
	Existing Approach & Departure Volumes	EB: 0	WB: 0	EB: 0	WB: 0	NB: 255	SB: 189	NB: 255
Directional Factors Based on Existing Counts	EB: #DIV/0!	WB: #DIV/0!	EB: #DIV/0!	WB: #DIV/0!	NB: 0.57	SB: 0.43	NB: 0.57	SB: 0.43

Future Background

Year 2029

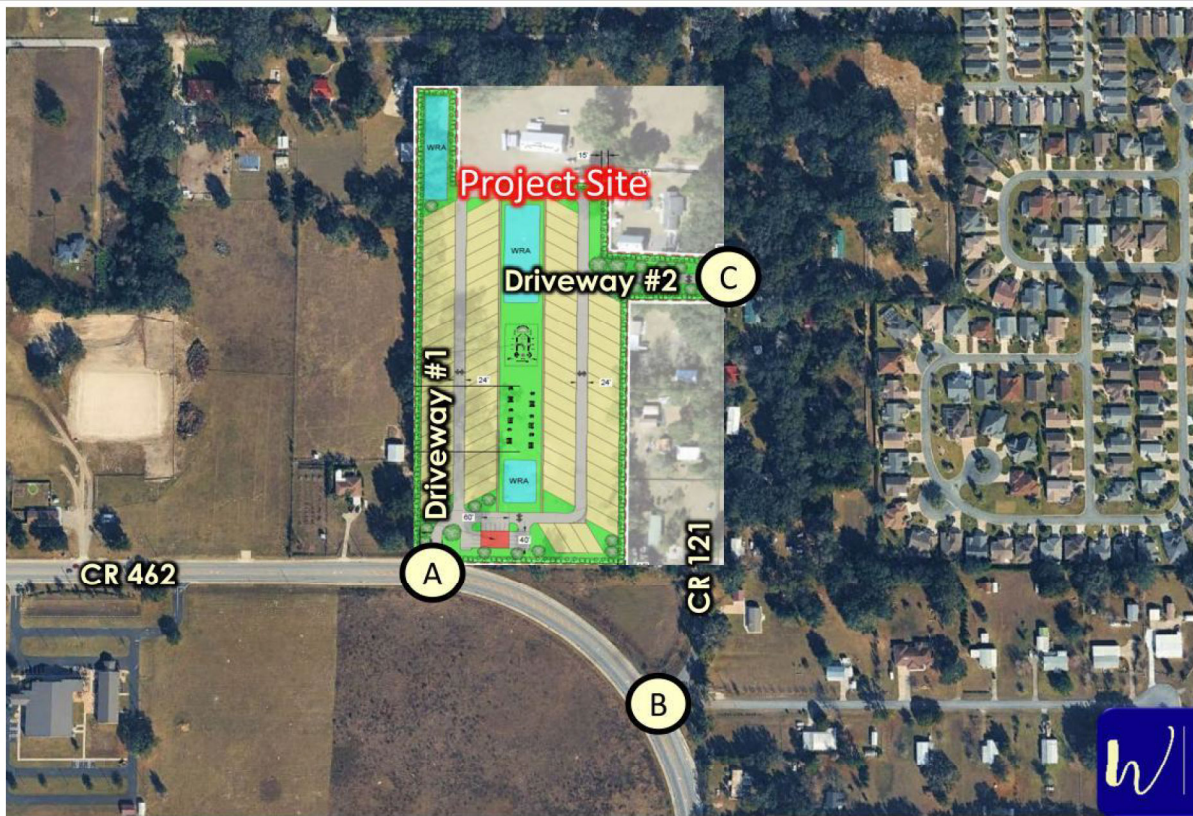
	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%
Annual Growth Rate	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%	5.25%
Simple Volume Growth	0	0	0	0	0	0	0	0	0	0	54	0	0	0	40	0
Applied Bckgrnd Growth	0	0	0	0	0	0	0	0	0	0	54	0	0	0	40	0
Total Bckgrnd Pk-Hr Vols	0	0	0	0	0	0	0	0	0	0	309	0	0	0	229	0

Project Trips

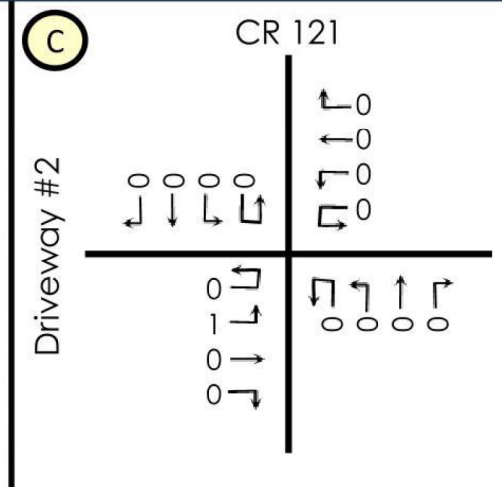
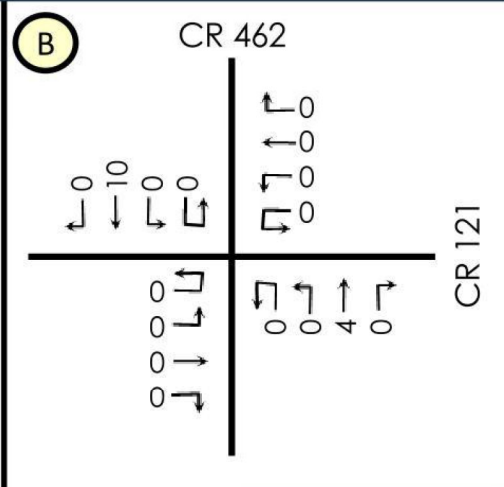
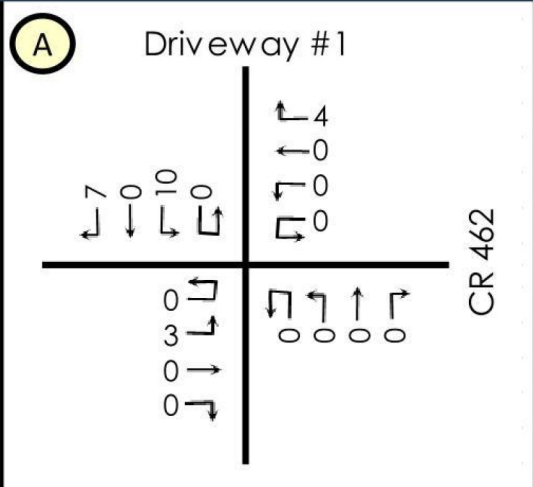
	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
New Ext Inbound Volume	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	5.0%
New Ext Outbound Volume	0.0%	5.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%
Total Project Trips	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1

	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Total Pk-Hr Volumes	0	1	0	0	0	0	0	0	0	0	309	0	0	0	229	1

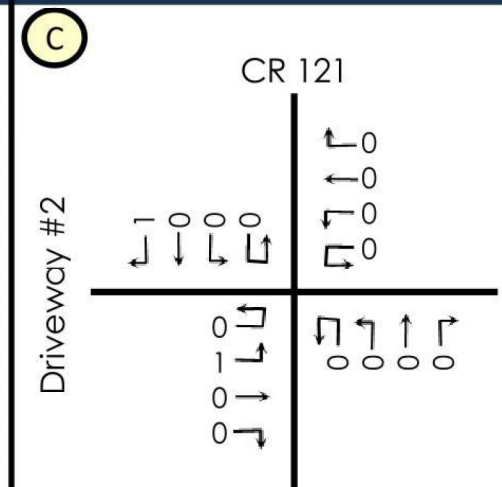
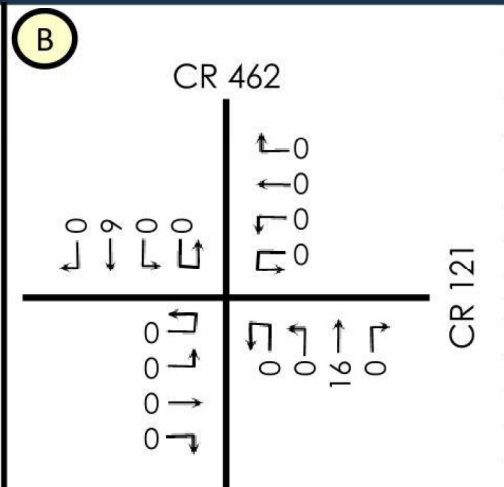
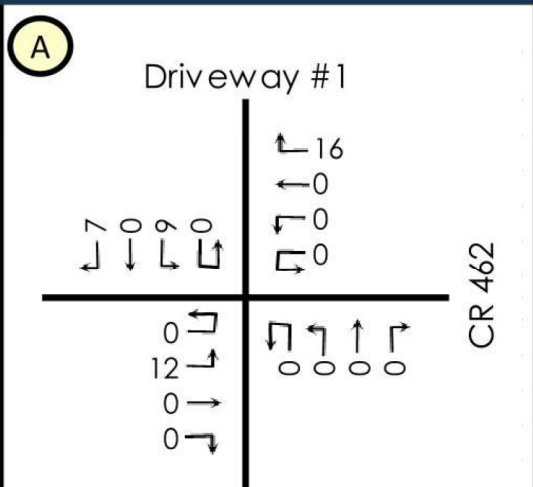
New External Peak-Hour Project Trips



AM PEAK HOUR



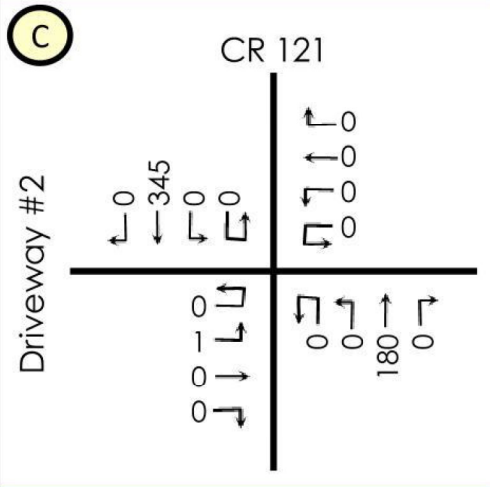
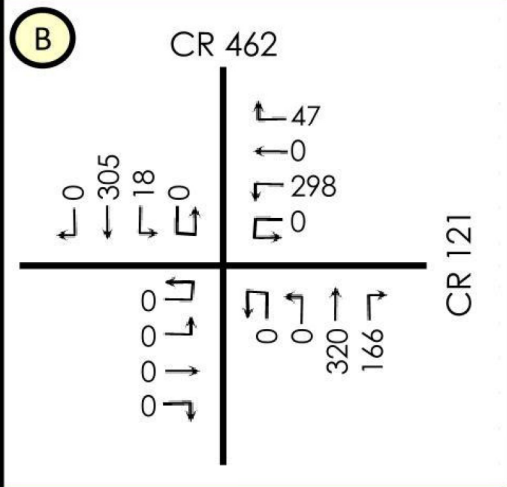
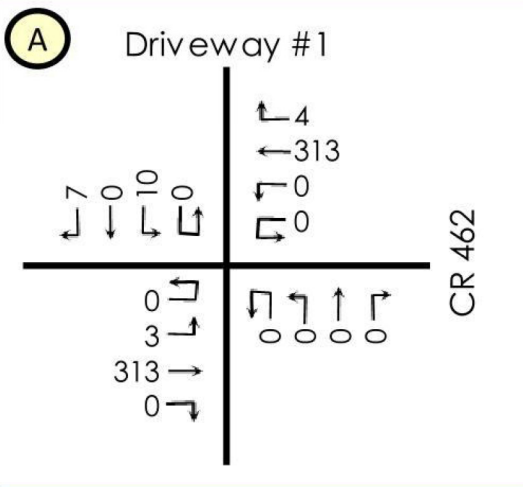
PM PEAK HOUR



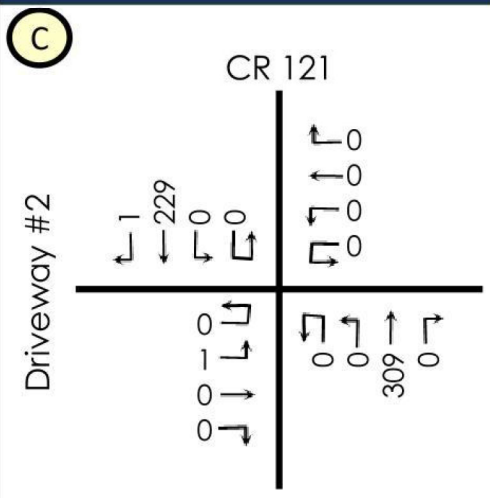
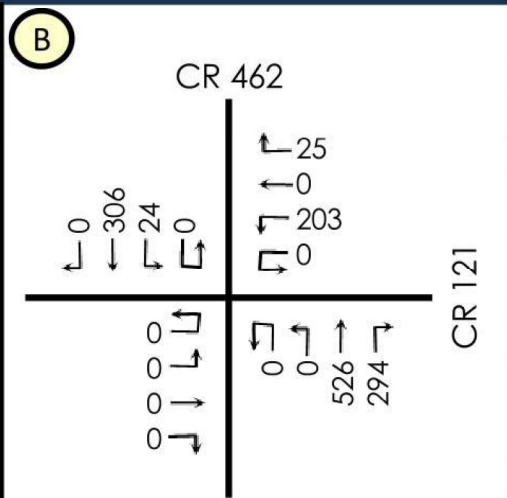
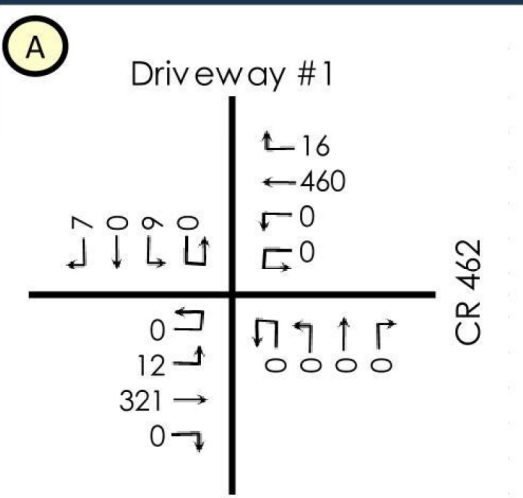
Future Buildout (Year 2029) Intersection Volumes



AM PEAK HOUR



PM PEAK HOUR



Background Conditions Synchro Printouts

Intersection						
Int Delay, s/veh	8.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↘		↑	↗	↘	↑
Traffic Vol, veh/h	298	47	316	166	18	295
Future Vol, veh/h	298	47	316	166	18	295
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	5	9	2	2	11
Mvmt Flow	320	51	340	178	19	317

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	696	340	0	0	518	0
Stage 1	340	-	-	-	-	-
Stage 2	356	-	-	-	-	-
Critical Hdwy	6.42	6.25	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.345	-	-	2.218	-
Pot Cap-1 Maneuver	408	696	-	-	1048	-
Stage 1	721	-	-	-	-	-
Stage 2	709	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	400	696	-	-	1048	-
Mov Cap-2 Maneuver	506	-	-	-	-	-
Stage 1	721	-	-	-	-	-
Stage 2	696	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	26.66	0	0.49
HCM LOS	D		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	525	1048
HCM Lane V/C Ratio	-	-	0.706	0.018
HCM Ctrl Dly (s/v)	-	-	26.7	8.5
HCM Lane LOS	-	-	D	A
HCM 95th %tile Q(veh)	-	-	5.6	0.1

Intersection						
Int Delay, s/veh	4.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		↑	↑	↓	↑
Traffic Vol, veh/h	203	25	510	294	24	297
Future Vol, veh/h	203	25	510	294	24	297
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	24	4	2	2	3
Mvmt Flow	214	26	537	309	25	313

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	900	537	0	0	846
Stage 1	537	-	-	-	-
Stage 2	363	-	-	-	-
Critical Hdwy	6.42	6.44	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.516	-	-	2.218
Pot Cap-1 Maneuver	309	504	-	-	791
Stage 1	586	-	-	-	-
Stage 2	704	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	299	504	-	-	791
Mov Cap-2 Maneuver	423	-	-	-	-
Stage 1	586	-	-	-	-
Stage 2	681	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	23.42	0	0.73
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	430	791
HCM Lane V/C Ratio	-	-	0.558	0.032
HCM Ctrl Dly (s/v)	-	-	23.4	9.7
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	3.3	0.1

Buildout Conditions Synchro Printouts

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	3	313	313	4	10	7
Future Vol, veh/h	3	313	313	4	10	7
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	200	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	10	9	2	2	2
Mvmt Flow	3	337	337	4	11	8

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	341	0	-	0	682 339
Stage 1	-	-	-	-	339 -
Stage 2	-	-	-	-	343 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1218	-	-	-	416 704
Stage 1	-	-	-	-	722 -
Stage 2	-	-	-	-	719 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1218	-	-	-	415 704
Mov Cap-2 Maneuver	-	-	-	-	517 -
Stage 1	-	-	-	-	720 -
Stage 2	-	-	-	-	719 -

Approach	EB	WB	SB
HCM Ctrl Dly, s/v	0.08	0	11.4
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1218	-	-	-	581
HCM Lane V/C Ratio	0.003	-	-	-	0.031
HCM Ctrl Dly (s/v)	8	-	-	-	11.4
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection						
Int Delay, s/veh	8.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↘		↑	↗	↘	↑
Traffic Vol, veh/h	298	47	320	166	18	305
Future Vol, veh/h	298	47	320	166	18	305
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	5	9	2	2	11
Mvmt Flow	320	51	344	178	19	328

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	711	344	0	0	523	0
Stage 1	344	-	-	-	-	-
Stage 2	367	-	-	-	-	-
Critical Hdwy	6.42	6.25	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.345	-	-	2.218	-
Pot Cap-1 Maneuver	400	692	-	-	1044	-
Stage 1	718	-	-	-	-	-
Stage 2	701	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	392	692	-	-	1044	-
Mov Cap-2 Maneuver	499	-	-	-	-	-
Stage 1	718	-	-	-	-	-
Stage 2	688	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	27.42	0	0.47
HCM LOS	D		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	519	1044
HCM Lane V/C Ratio	-	-	0.715	0.019
HCM Ctrl Dly (s/v)	-	-	27.4	8.5
HCM Lane LOS	-	-	D	A
HCM 95th %tile Q(veh)	-	-	5.7	0.1

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	1	0	0	180	345	0
Future Vol, veh/h	1	0	0	180	345	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	3	2
Mvmt Flow	1	0	0	194	371	0

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	565	371	371	0	-	0
Stage 1	371	-	-	-	-	-
Stage 2	194	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	487	675	1188	-	-	-
Stage 1	698	-	-	-	-	-
Stage 2	839	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	487	675	1188	-	-	-
Mov Cap-2 Maneuver	487	-	-	-	-	-
Stage 1	698	-	-	-	-	-
Stage 2	839	-	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	12.42	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1188	-	487	-	-
HCM Lane V/C Ratio	-	-	0.002	-	-
HCM Ctrl Dly (s/v)	0	-	12.4	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

Intersection						
Int Delay, s/veh	0.4					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	12	321	460	16	9	7
Future Vol, veh/h	12	321	460	16	9	7
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	200	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	3	5	2	2	2
Mvmt Flow	13	338	484	17	9	7

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	501	0	-	0	856 493
Stage 1	-	-	-	-	493 -
Stage 2	-	-	-	-	363 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1063	-	-	-	328 576
Stage 1	-	-	-	-	614 -
Stage 2	-	-	-	-	704 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1063	-	-	-	324 576
Mov Cap-2 Maneuver	-	-	-	-	444 -
Stage 1	-	-	-	-	607 -
Stage 2	-	-	-	-	704 -

Approach	EB	WB	SB
HCM Ctrl Dly, s/v	0.3	0	12.55
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1063	-	-	-	493
HCM Lane V/C Ratio	0.012	-	-	-	0.034
HCM Ctrl Dly (s/v)	8.4	-	-	-	12.6
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection						
Int Delay, s/veh	4.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘		↑	↗	↘	↑
Traffic Vol, veh/h	203	25	526	294	24	306
Future Vol, veh/h	203	25	526	294	24	306
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	140	180	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	24	4	2	2	3
Mvmt Flow	214	26	554	309	25	322

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	926	554	0	0	863	0
Stage 1	554	-	-	-	-	-
Stage 2	373	-	-	-	-	-
Critical Hdwy	6.42	6.44	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.516	-	-	2.218	-
Pot Cap-1 Maneuver	298	492	-	-	779	-
Stage 1	576	-	-	-	-	-
Stage 2	697	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	288	492	-	-	779	-
Mov Cap-2 Maneuver	414	-	-	-	-	-
Stage 1	576	-	-	-	-	-
Stage 2	674	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	24.3	0	0.71
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	421	779
HCM Lane V/C Ratio	-	-	0.57	0.032
HCM Ctrl Dly (s/v)	-	-	24.3	9.8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	3.5	0.1

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		T
Traffic Vol, veh/h	1	0	0	309	229	1
Future Vol, veh/h	1	0	0	309	229	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	4	2
Mvmt Flow	1	0	0	325	241	1

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	567	242	242	0	0
Stage 1	242	-	-	-	-
Stage 2	325	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	485	797	1324	-	-
Stage 1	799	-	-	-	-
Stage 2	732	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	485	797	1324	-	-
Mov Cap-2 Maneuver	485	-	-	-	-
Stage 1	799	-	-	-	-
Stage 2	732	-	-	-	-

Approach	EB	NB	SB
HCM Ctrl Dly, s/v	12.44	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1324	-	485	-	-
HCM Lane V/C Ratio	-	-	0.002	-	-
HCM Ctrl Dly (s/v)	0	-	12.4	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

Turn-Lane Analysis Worksheets

Westbound Right-Turn Lane Analysis - CR 462 at Driveway #1 - AM Peak Hour

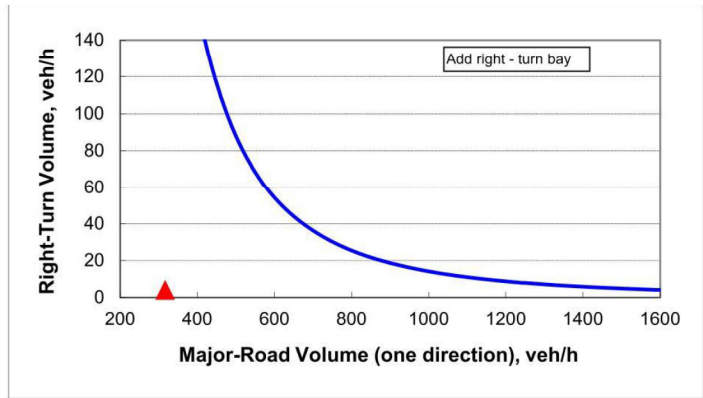
Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT

Roadway geometry:	2-lane roadway	
	Variable	Value
Major-road speed, mph:		40
Major-road volume (one direction), veh/h:		317
Right-turn volume, veh/h:		4

OUTPUT

	Variable	Value
Limiting right-turn volume, veh/h:		293
Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:		
Do NOT add right-turn bay.		



Westbound Right-Turn Lane Analysis - CR 462 at Driveway #1 - PM Peak Hour

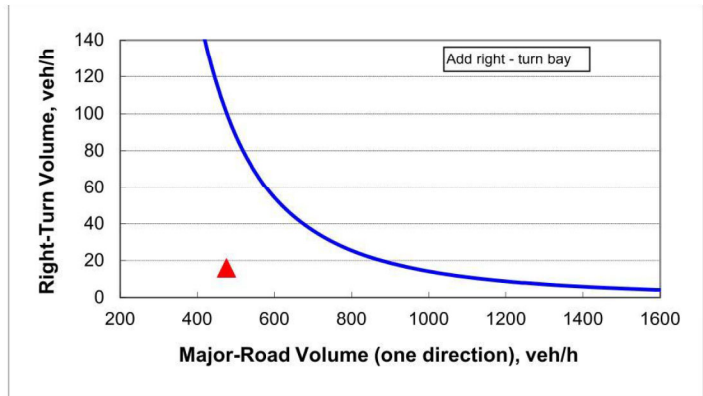
Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT

Roadway geometry:	2-lane roadway	
	Variable	Value
Major-road speed, mph:		40
Major-road volume (one direction), veh/h:		476
Right-turn volume, veh/h:		16

OUTPUT

	Variable	Value
Limiting right-turn volume, veh/h:		100
Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:		
Do NOT add right-turn bay.		



PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY

SUBJECT: 26-1205 - RZ - 72 Seminole Path

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	26-1205 - RZ
Ordinance Number	O2026-13
Owner(s)/Applicant(s)	Carl D. Sgro and Doreen D. Sgro
Property Location	The property is located on Seminole Path, approximately 0.92 miles southwest of E SR 44.
Parcel	G22AO009
Date	March 31, 2026

The applicant is seeking a favorable recommendation from the City of Wildwood Planning and Zoning Board/Special Magistrate for a Zoning Map Amendment to change the zoning district from R6M (County) to MHP (City) for the parcel listed above on 0.16 acres MOL. This request is accompanied by a concurrent Small Scale Comprehensive Plan amendment 26-1204 – SSCPA (O2026-12).

ANALYSIS: The applicant is proposing to replace an existing mobile home within an established mobile home park community.

Pursuant to Land Development Regulation (LDR) § 3.3(C)(4), the applicant believes the zoning change to MHP should be granted based on the following criteria:

(a) Whether the proposed change is consistent with the comprehensive plan;

The proposed rezoning to MHP is consistent with the proposed Future Land Use Map designation of Mobile Home Park (MHP) and the intent of the Comprehensive Plan as stated in FLU Policy 1.2.8.

(b) The existing land use pattern of the surrounding area;

The land use pattern of the surrounding area is residential and age restricted development. The proposed MHP zoning designation will serve as a transition in this area to serve city residents.

(c) The possibility of adversely affecting public facilities such as schools, utilities, streets, etc.;

Schools: The subject property is located within an age restricted development which is

expected to not generate any school age children. The School Impact Analysis is under review by Sumter County School Board.

Potable Water & Sewer: The subject property is currently serviced by city utilities, including both potable water and sewer.

Streets: The applicant has applied for an exemption for the TIA submittal, which was granted by Sumter County Public Works, due to the site producing less than 50 trips per day.

(d) Whether changed or changing conditions make the passage of the proposed amendment necessary;

The subject parcel is located within the City’s Joint Planning Area with Sumter County. The proposed rezoning is necessary to accommodate the proposed use of the property.

(e) Whether the proposed change will create or excessively increase traffic congestion or otherwise be a detriment to public safety;

Sumter County Public Works has approved an exemption to the TIA due to the site producing less than 50 trips per day.

(f) Whether the proposed change will be a deterrent to the improvement or development of adjacent property;

The proposed rezoning will not be a deterrent to the improvement or development of adjacent properties. Surrounding properties are permitted to develop in accordance with their zoning map designation.

ZONING DESIGNATION SURROUNDING PROPERTIES	
NORTH	R6M & RR1C (Sumter County)
SOUTH	R6M (Sumter County)
EAST	ROW SEMINOLE PATH & R6M (Sumter County)
WEST	RR1C (Sumter County)

If the rezoning is approved, the applicant will be required to submit a zoning clearance to the City prior to development. The zoning clearance will need to follow requirements established in the City’s Land Development Regulations and the Design District Standards.

The applicant seeks a favorable recommendation by the Planning and Zoning Board/Special Magistrate for Ordinance O2026-13 to be forwarded to the City Commission for further action, subject to the approval of O2026-12, which establishes a future land use appropriate for the proposed zoning.



Alex Lammers
Planner I, Development Services

ORDINANCE NO. O2026-13

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA; PROPOSING A ZONING MAP AMENDMENT TO THE OFFICIAL ZONING MAP IN ACCORDANCE WITH SECTIONS 3.2 AND 3.3 OF THE LAND DEVELOPMENT REGULATIONS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood, Florida, is proposing to amend the Official Zoning Map of said City, to include a rezoning of real property described as follows, to-wit:

Parcel G22AO009
Carl D. Sgro and Doreen D. Sgro
0.16 Acres +/-

LEGAL DESCRIPTION:

Lot 9, Block O, Continental Country Club, Inc. Resorts according to the Plat thereof, recorded in Plat Book 4, Page(s) 59, 59A and 59B, of the Public Records of Sumter County, Florida.

This property is to be reclassified from R6M (Sumter County) to MHP(City).

AND WHEREAS, the rezoning is consistent with the City's Comprehensive Plan and Land Development Regulations.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

SECTION 1. The Official Zoning Map of the City of Wildwood, Florida is hereby amended to include the above-referenced property as indicated above. The amendment to the Official Zoning Map is attached hereto as "Exhibit A" and incorporated herein by reference.

SECTION 2. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 3. If any section, sentence, clause or phrase of this ordinance is held to be invalid or unconstitutional by a court or competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of said ordinance.

SECTION 4. This ordinance shall take effect 31 days after its final reading by the City Commission of the City of Wildwood.

SECTION 5. SCRIVENER'S ERROR. The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

DONE AND ORDAINED this _____ day of _____, 2026, by the City Commission of the City of Wildwood, Florida.

**CITY COMMISSION
CITY OF WILDWOOD, FLORIDA**

Ed Wolf, Mayor

ATTEST: _____
Jessica Barnes, City Clerk

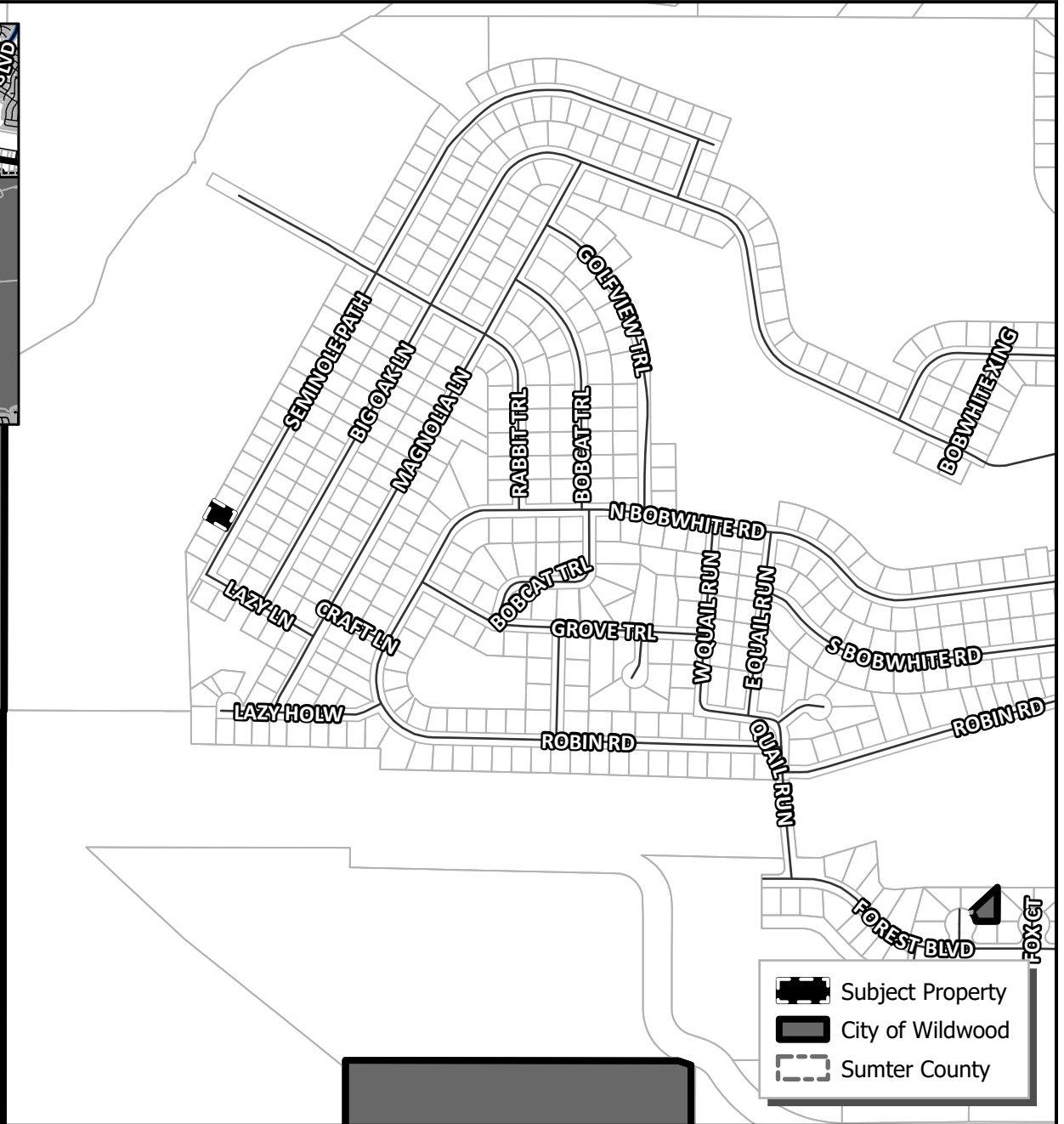
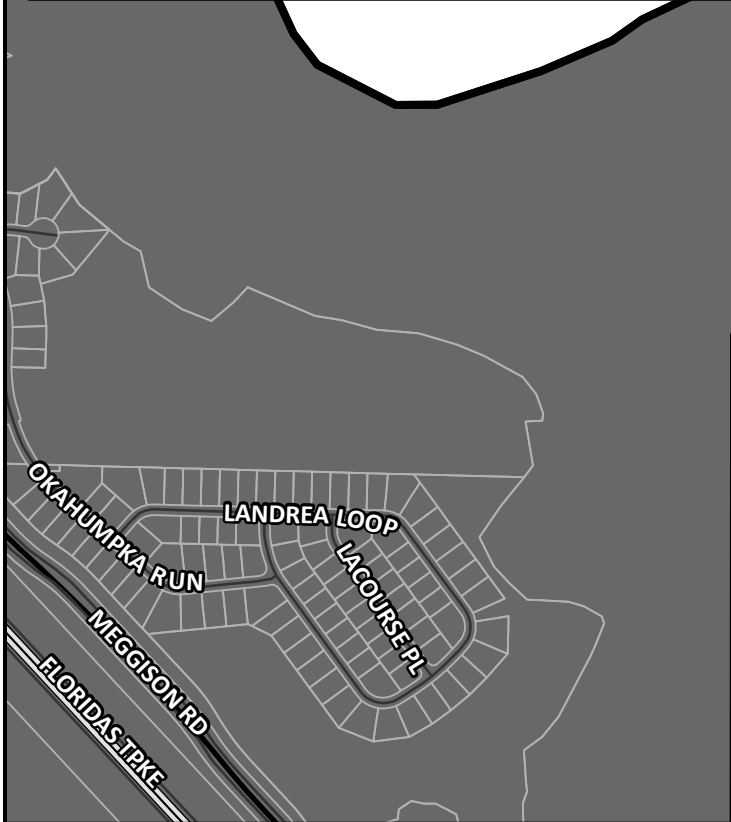
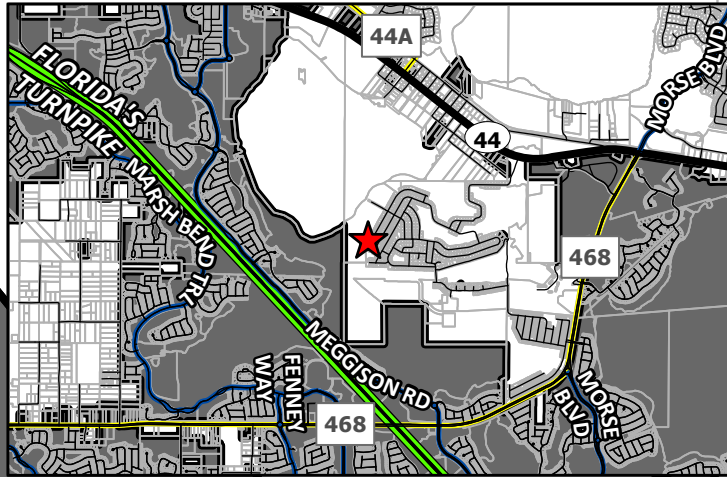
First Reading: _____

Second Reading: _____

Approved as to form:

City Attorney

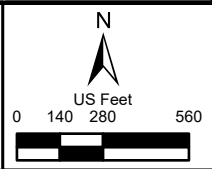
EXHIBIT A



 Subject Property
 City of Wildwood
 Sumter County



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#26-1205
72 SEMINOLE PATH
 PARCEL G22A0009

MAP 1A
LOCATION
MAP
MAR 2026



Business Impact Estimate

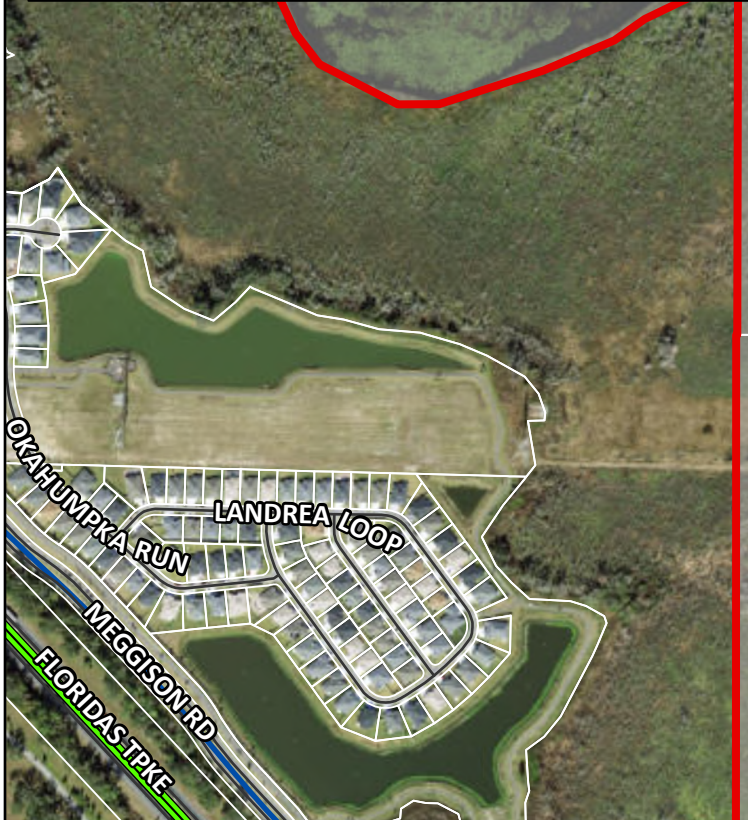
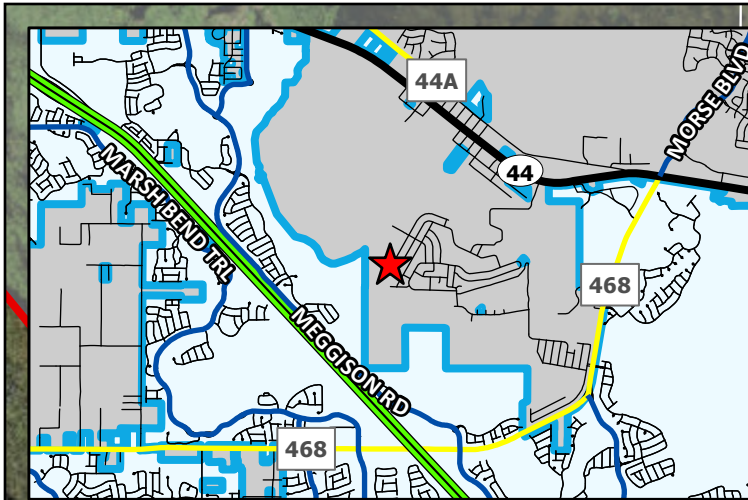
This form should be included in the agenda packet for the item under which the proposed ordinance is to be considered and must be posted on the City of Wildwood website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: O2026-13

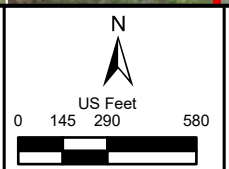
This Business Impact Estimate is provided in accordance with section 166.041(4), Florida Statutes. If one or more boxes are checked below, a business impact estimate is not required by state law¹ for the proposed ordinance. This Business Impact Estimate may be revised following its initial posting.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, Florida Statutes, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - c. Section 553.73, Florida Statutes, relating to the Florida Building Code; or
 - d. Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

¹ See Section 166.041(4)(c), Florida Statutes.

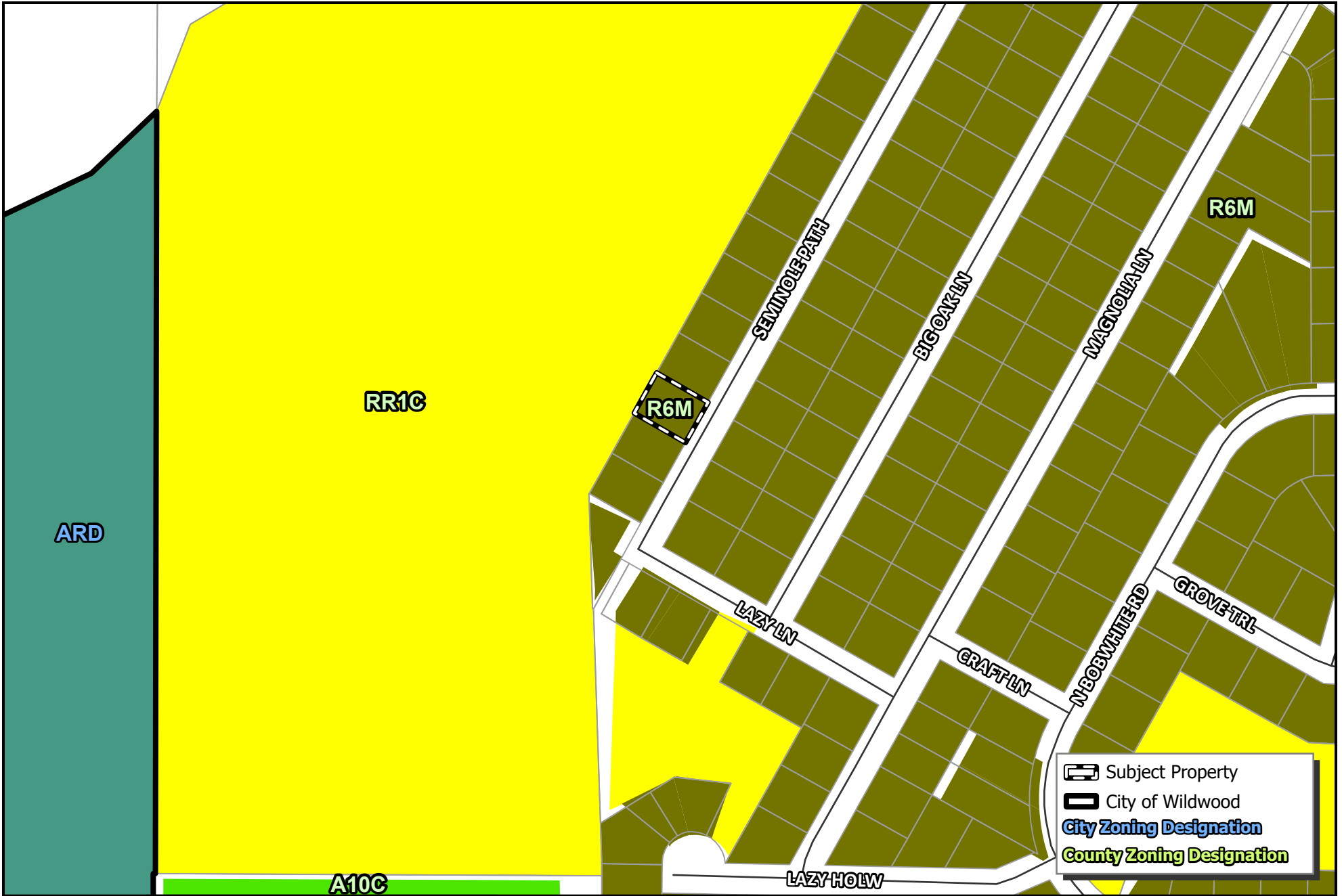


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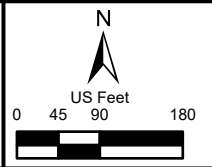


#26-1205
72 SEMINOLE PATH
 PARCEL G22A0009

MAP 1B
LOCATION
MAP
MAR 2026

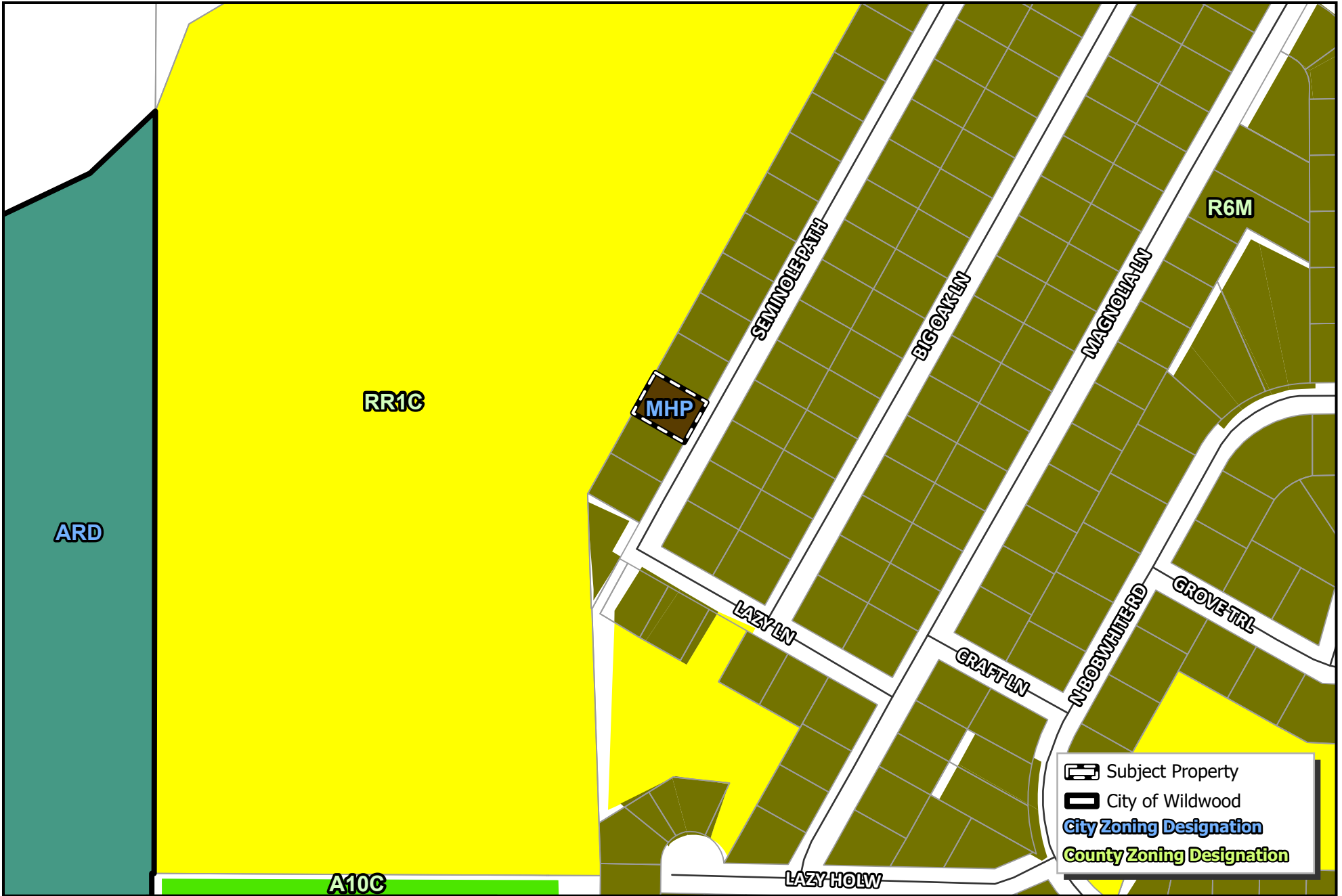


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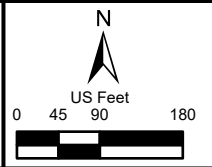


#26-1205
72 SEMINOLE PATH
 PARCEL G22AO009

MAP 3A
EXISTING ZONING
MAR 2026



CITY OF WILDWOOD
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#26-1205
72 SEMINOLE PATH
 PARCEL G22A0009

MAP 3B
PROPOSED ZONING
MAR 2026

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: 25-0361 - PLAT - Wildwood Oaks Final Plat

REQUESTED ACTION: The Project Review Committee recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

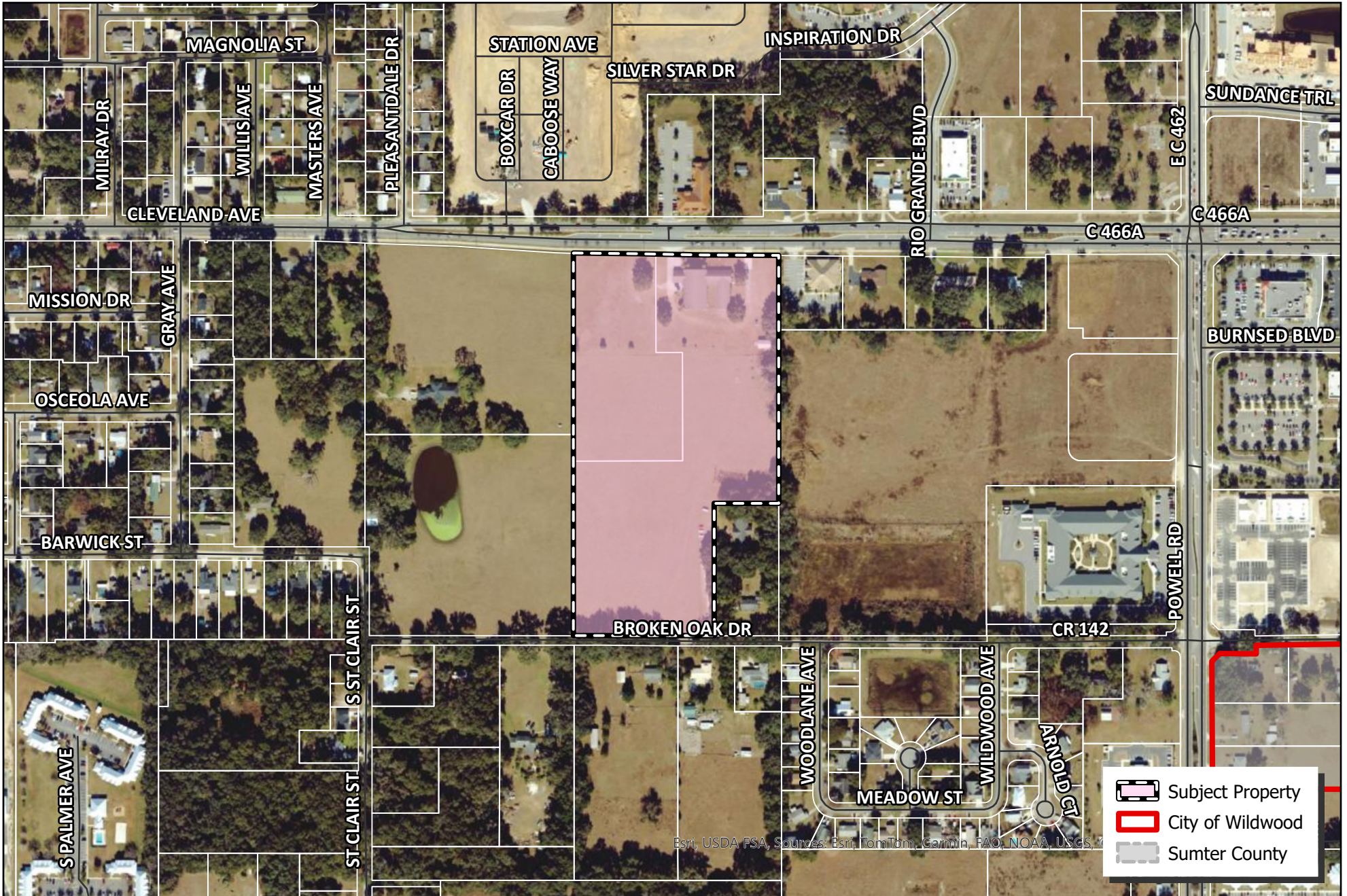
Case Number	25-0361 - PLAT - Wildwood Oaks Final Plat
Owner(s) & Applicant(s)	Wildwood Oaks, LLC, Inspira Financial Trust, & Wildwood Assembly of God, Inc.
Acreage	16.621 +/-
Property Location	The subject property is generally located on the south side of Cleveland Ave, approximately 0.25 miles west of the intersection of Powell Road and C 466A.
Parcel(s)	G05-125 and G05-183
Date	March 4, 2026

The applicant is seeking a favorable recommendation from the Special Magistrate for the Wildwood Oaks Final Plat, consisting of 5 lots and 1 tract on 16.621 acres, MOL. Lots 1-3 will consist of commercial developments, Lot 4 will continue to be used as a Church, and Lot 5 will accommodate a proposed single-family home. All lots are to be served by the retention area indicated within Tract A.

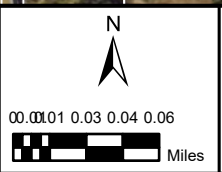
Project 25-0361 meets the criteria set forth in the F.S. 177 and the Land Development Regulations.



McKenna Page
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#25-0361
WILDWOOD OAKS
 PARCELS G05-125 & G05-183

MAP 1B
LOCATION
MAP
MAR 2026

WILDWOOD OAKS

A PORTION OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, LOCATED IN THE CITY OF WILDWOOD, SUMTER COUNTY, FLORIDA.

NOTES

1. BEARINGS SHOWN HEREON ARE RELATIVE TO ASSUMED DATUM, BASED ON THE NORTH-SOUTH CENTER SECTION LINE OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, BEING S00°01'23"E.
2. **■** - DENOTES A PERMANENT REFERENCE MONUMENT, A 4"x4" CONCRETE MONUMENT WITH A DISC MARKED "PRM LB 4475", UNLESS OTHERWISE NOTED.
3. **▲** - DENOTES A 1/2" IRON ROD WITH CAP MARKED "LB 4475", UNLESS OTHERWISE NOTED.
4. ALL LOT CORNERS HAVE BEEN SET IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.
5. ALL PERMANENT REFERENCE MONUMENTS (PRM) HAVE BEEN SET IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.
6. ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
7. DISTRIBUTION EASEMENT TO FLORIDA POWER CORPORATION RECORDED IN O.R. BOOK 274, PAGE 723, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA. **(BLANKET IN NATURE)**
8. UTILITY EASEMENT TO THE CITY OF WILDWOOD RECORDED IN O.R. BOOK 280, PAGE 183, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA. **(THE EASEMENT IS SHOWN WITHIN BROKEN OAK DR.)**
9. THE TITLE OPINION FOR THIS PLAT HAS BEEN SUBMITTED BY SEPARATE DOCUMENT.

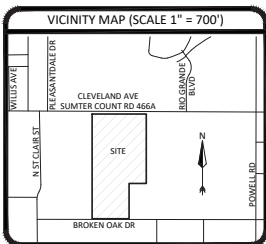
DESCRIPTION

A PORTION OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, THENCE S00°01'23"E ALONG THE NORTH-SOUTH CENTER SECTION LINE OF SAID SECTION 5, A DISTANCE OF 338.28 FEET TO THE SOUTH WEST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2767, PAGE 186, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE S89°56'42"E ALONG THE SOUTH LINE OF SAID LANDS, A DISTANCE OF 662.97 FEET TO THE SOUTHEAST CORNER OF SAID LANDS, SAID POINT BEING ON THE MONUMENTED WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 5, FOR A POINT OF BEGINNING; RUN THENCE N00°00'34"W ALONG SAID WEST LINE, A DISTANCE OF 579.60 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF CLEVELAND AVENUE, PER OFFICIAL RECORDS BOOK OF 2979, PAGE 156, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, SAID POINT BEING NON-TANGENT ON A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 23788.00 FEET, A CHORD BEARING OF S89°34'14"E, A CHORD DISTANCE OF 416.16 FEET, RUN THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01°02'16", A DISTANCE OF 416.16 TO A POINT OF TANGENCY; THENCE S89°57'48"E ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 246.97 FEET TO A POINT ON THE MONUMENTED EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST; THENCE S00°00'18"W ALONG SAID EAST LINE, A DISTANCE OF 804.37 FEET TO THE NORTHEAST CORNER OF THE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1949, PAGE 533, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE N89°57'16"W ALONG THE NORTH LINE OF SAID LANDS, A DISTANCE OF 210.00 FEET TO THE NORTHWEST CORNER OF SAID LANDS; THENCE S00°00'18"W ALONG THE WEST LINE OF SAID LANDS, A DISTANCE OF 420.00 FEET TO A POINT ON THE MONUMENTED NORTH LINE OF BROKEN OAK DRIVE, A MAINTAINED PUBLIC ROAD; THENCE N89°57'16"W ALONG SAID NORTH LINE, A DISTANCE OF 452.81 FEET TO A POINT ON THE MONUMENTED WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST; THENCE N00°00'34"W ALONG SAID WEST LINE, A DISTANCE OF 648.43 FEET TO THE POINT OF BEGINNING.

CONTAINS 723,994 SQUARE FEET OR 16.621 ACRES MORE OR LESS.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



SHEET 1 OF 2



ACCURIGHT SURVEYS OF ORLANDO INC., LB 4475
2012 E. Robinson Street, Orlando, Florida 32803
www.AccurightSurveys.net
ACCUB@AccurightSurveys.net
PHONE: (407) 894-6314

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL BY THESE PRESENTS, That the undersigned, being a professional surveyor and mapper has prepared the WILDWOOD OAKS plat made under my direction and supervision and that the plat complies with all of the new requirements of Chapter 177, Part I, Florida Statutes, and that said land is located in the City of Wildwood, Sumter County, Florida.

Dated: _____ Signed: _____
FRANK A. RAYMOND III, PSM 5325
Accuright Surveys of Orlando, Inc.
2012 East Robinson Street
Orlando, Florida 32803
Registration Number: LB 4475

CERTIFICATE OF CLERK

I hereby certify that I have examined this Plat and find that it complies in form with the requirements of Chapter 177, Florida Statutes and was filed for recording on _____, 2026, at _____, File Number _____, Page _____, Plat Book _____.

Clerk of the Court in and for Sumter County, Florida

Print Name _____ Signature _____
Deputy Clerk _____ Deputy Clerk _____

WILDWOOD OAKS DEDICATION

AS TO LOTS 1, 2, 3, AND TRACT "A" AS SHOWN HEREON.

KNOW ALL BY THESE PRESENTS, Wildwood Oaks, LLC, a Florida Limited Liability Company, being the owner in fee simple of a part of the lands described in the foregoing caption to this plat, Wildwood Oaks, hereby dedicate said lands and plot for the uses and purposes therein expressed. The utility easements described and shown hereon are to be dedicated to the City of Wildwood. The utilities are to be owned and maintained by the City. The purpose of the utility easements shown are as follows: installation and maintenance of, but not limited to, sanitary sewers, water mains, reuse lines and related infrastructure. The City is hereby granted the non-exclusive and perpetual right of ingress and egress over internal roadways and driveways to access said easements, provided, however, no right of access is granted to the public in general.

IN WITNESS WHEREOF, The undersigned has here-unto set his hand on this _____ day of _____, 2026.

OWNER: Wildwood Oaks, LLC, a Florida Limited Liability Company

By: _____
Joseph N. Schuemann, Managing Member

WITNESSES:

(1) _____ Signature	(2) _____ Signature
Print Name _____	Print Name _____
Mailing Address _____	Mailing Address _____

STATE OF FLORIDA, COUNTY OF SUMTER

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2026, by Joseph N. Schuemann, Managing Member of Wildwood Oaks, LLC, a Florida Limited Liability Company, who is personally known to me or has produced _____ as identification.

SIGNATURE OF NOTARY _____

PRINT NAME _____
My Commission Number: _____
My commission expires: _____

WILDWOOD OAKS DEDICATION

AS TO LOTS 1, 2, 3, AND TRACT "A" AS SHOWN HEREON.

KNOW ALL BY THESE PRESENTS, Inspira Financial Trust, LLC, an Illinois Limited Liability Company, being the owner in fee simple of a part of the lands described in the foregoing caption to this plat, Wildwood Oaks, hereby dedicate said lands and plot for the uses and purposes therein expressed. The utility easements described and shown hereon are to be dedicated to the City of Wildwood. The utilities are to be owned and maintained by the City. The purpose of the utility easements shown are as follows: installation and maintenance of, but not limited to, sanitary sewers, water mains, reuse lines and related infrastructure. The City is hereby granted the non-exclusive and perpetual right of ingress and egress over internal roadways and driveways to access said easements, provided, however, no right of access is granted to the public in general.

IN WITNESS WHEREOF, The undersigned has here-unto set his hand on this _____ day of _____, 2026.

OWNER: Inspira Financial Trust, LLC, an Illinois Limited Liability Company

By: _____
Custodian FBO Joseph N. Schuemann IRA 1331429

WITNESSES:

(1) _____ Signature	(2) _____ Signature
Print Name _____	Print Name _____
Mailing Address _____	Mailing Address _____

STATE OF FLORIDA, COUNTY OF SUMTER

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2026, by Custodian FBO Joseph N. Schuemann IRA 1331429 of Inspira Financial Trust, LLC, an Illinois Limited Liability Company, who is personally known to me or has produced _____ as identification.

SIGNATURE OF NOTARY _____

PRINT NAME _____
My Commission Number: _____
My commission expires: _____

PLAT BOOK PAGE

WILDWOOD OAKS DEDICATION

AS TO LOT 4 AND LOT 5 AS SHOWN HEREON.

KNOW ALL BY THESE PRESENTS, Wildwood Assembly of God, Inc., a Florida corporation, being the owner in fee simple of a part of the lands described in the foregoing caption to this plat, Wildwood Oaks, hereby dedicates said lands and plot for the uses and purposes therein expressed. The utility easements described and shown hereon are to be dedicated to the City of Wildwood. The utilities are to be owned and maintained by the City. The purpose of the utility easements shown are as follows: installation and maintenance of, but not limited to, sanitary sewers, water mains, reuse lines and related infrastructure. The City is hereby granted the non-exclusive and perpetual right of ingress and egress over internal roadways and driveways to access said easements, provided, however, no right of access is granted to the public in general.

IN WITNESS WHEREOF, The undersigned has here-unto set his hand on this _____ day of _____, 2026.

OWNER: Wildwood Assembly of God, Inc.

By: _____
Daniel Parker, President

WITNESSES:

(1) _____ Signature	(2) _____ Signature
Print Name _____	Print Name _____
Mailing Address _____	Mailing Address _____

STATE OF FLORIDA, COUNTY OF SUMTER

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2026, by Daniel Parker, Inc. as President of Wildwood Assembly of God, Inc., a Florida corporation, who is personally known to me or has produced _____ as identification.

SIGNATURE OF NOTARY _____ My Commission Number: _____

PRINT NAME _____ My commission expires: _____

CERTIFICATE OF REVIEW BY CITY SURVEYOR

Pursuant to Section 177.081, Florida Statutes, I hereby certify that I have performed a review of this Plat for conformity to Chapter 177, Florida Statutes and that said Plat complies with the technical requirements of that Chapter; provided, however, that my review and certification does not include field verification of any points or measurement shown on the Plat.

Signature _____ Date _____
Print Name _____ Registration No. _____

CERTIFICATE OF APPROVAL BY CITY OFFICIALS

This certifies that this Plat was presented to the Project Review Committee of the City of Wildwood, Sumter County, Florida and was approved by the Board for record on this _____ day of _____, 2026.

Attest:

MELANIE D. STRICKLAND
Project Review Committee Coordinator

This certifies that this Plat was presented to the Commission of the City of Wildwood, Sumter County, Florida, and was approved by the Commission for record on this _____ day of _____, 2026.

JESSICA BARNES ED WOLF
City Clerk MAYOR

This certifies that this Plat was presented to the Attorney for the City of Wildwood, Sumter County, Florida, and approved by him or her as to form and legality on this _____ day of _____, 2026.

MELANIE D. STRICKLAND JEREMY HOCKENBURY
Development Services Director Public Works Director

Print Name _____ Signature _____
City of Wildwood, Engineer City of Wildwood, Engineer

Print Name _____ Signature _____
City of Wildwood, Attorney City of Wildwood, Attorney

**PLANNING & ZONING BOARD OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: 25-2484 - SP - Christian Brothers Automotive at Wildwood Oaks

REQUESTED ACTION: The Project Review Committee recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

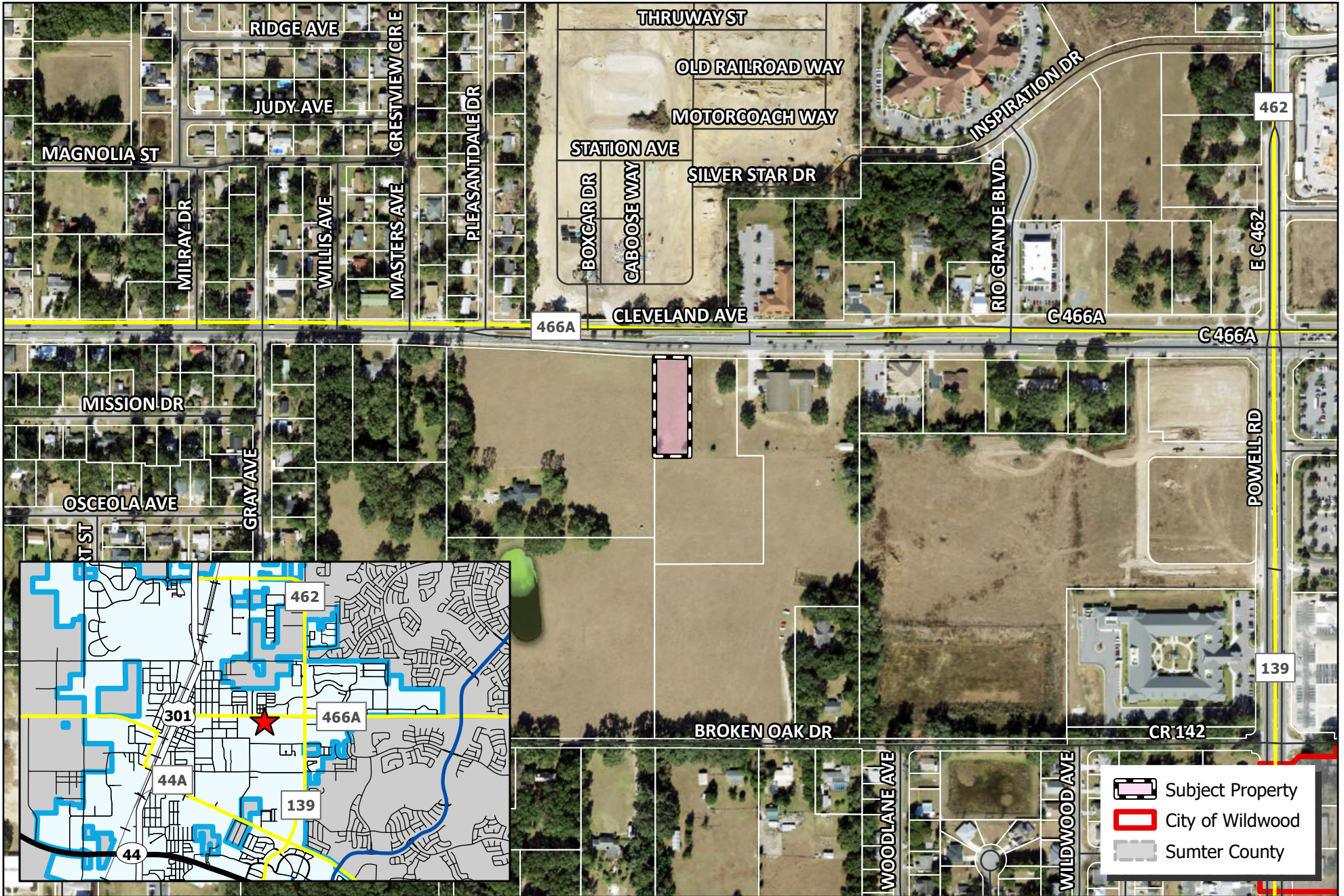
Case Number	25-2484 - SP - Christian Brothers Automotive at Wildwood
Owner(s)	Wildwood Oaks, LLC and Inspira Financial Trust, LLC
Applicant	Christian Brothers Automotive Corporation
Property Location	The subject property is generally located on the south side of Cleveland Ave, approximately 0.33 miles west of the intersection of Powell Road and C 466A.
Acreage	0.850 +/-
Parcel	G05-183
Date	March 10, 2026

The applicant is seeking a favorable recommendation from the Planning and Zoning Board/Special Magistrate for the construction of a five-thousand and twenty-four (5,024) square foot Christian Brothers Automotive store, with thirty (30) parking spaces, a loading zone, and appropriate landscaping on 0.850 acres of land MOL, as per the attached plans.

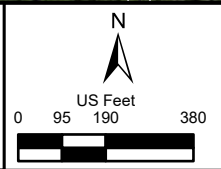
Project 25-2484 meets the criteria of the Land Development Regulations, Design District Standards, and is in line with the goals, objectives, and policies of the 2050 Comprehensive Plan.



McKenna Page
Planner I, Development Services



CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-2484
CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS
 PARCEL G05-183

MAP 1B
LOCATION
MAP
JUL 2025

ALL ACTIVITIES ARE TO BE PERFORMED WITHIN THE BUILDING.

CONSTRUCTION PLANS FOR CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS

G05-183
1308 CLEVELAND AVENUE
WILDWOOD, FLORIDA 34785

STATEMENT OF OWNERSHIP:

THE PROPERTY AND ALL IMPROVEMENTS AS SHOWN ARE OWNED AND SHALL BE MAINTAINED BY CHRISTIAN BROTHERS AUTOMOTIVE CORPORATION.

GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE THE CONSTRUCTION OF AN AUTOMOTIVE SERVICE FACILITY ALONG WITH THE ASSOCIATED UTILITIES, PARKING, ACCESS ROADS AND WATER MANAGEMENT FACILITIES.

SITE DATA:

PROJECT NAME: CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS
ADDRESS: CLEVELAND AVE WILDWOOD, FL 34785
DEVELOPER ADDRESS: 17725 KATY FREEWAY, SUITE 200 HOUSTON, TX 77094
TELEPHONE: (346) 852-1669

ZONING/LAND USE DATA:

ZONING: CMU (CENTRAL MIXED USE)
FUTURE LAND USE: CMU (CENTRAL MIXED USE) (SE 2408-001 WILDWOOD OAKS)
PROPOSED USE: AUTO SERVICE AND REPAIR FACILITY
PROPOSED NUMBER OF EMPLOYEES: TEN (10)
NUMBER OF STORES: ONE
MAX. BUILDING HEIGHT: 25 FEET
FAR: 0.136
BUILDING COVERAGE: 13.57%
PHASING: ONE PHASE
VEGETATION: PLANNED MASS GRADED LOT
WATER SERVICE: CITY OF WILDWOOD
WASTEWATER SERVICE: CITY OF WILDWOOD
SOILS: 6-KENDORICK FINE SAND
STORMWATER MANAGEMENT: PLANNED OFF-SITE MASTER RETENTION POND
FLOOD ZONE: X PER FEMA MAP 121900132 D
FIRE: SUMTER COUNTY FIRE AND EMS STATION 31
CITY OF WILDWOOD APPROVED FRANCHISE
SOLID WASTE: 37,009 SF=0.850 ACRES
SITE AREA: 22,844 SF=0.527 ACRES AT 62.00%
IMPERVIOUS: 5,024 SF=0.115 ACRES AT 13.57%
BUILDING: 17,920 SF=0.411 ACRES AT 48.42%
PAVEMENT/SIDEWALKS: 14,065 SF=0.323 ACRES AT 38.00%
OPEN SPACE: 7,149 SF=0.164 ACRES AT 20%
OPEN SPACE (MINIMUM REQUIRED): 7,149 SF=0.164 ACRES AT 20%

SETBACKS/BUFFERS:

FRONT (CLEVELAND AVENUE) (NORTH): 30 FEET/5 FEET
REAR (SOUTH): 15 FEET/5 FEET
SIDE (WEST): 20 FEET/20 FEET
SIDE (EAST): 5 FEET/5 FEET

PARKING REQUIREMENTS:

PARKING REQUIRED: AUTO SERVICE AND REPAIR: ONE SPACE/TWO BAYS PLUS ONE SPACE/EACH EMPLOYEE (19 BAYS/34 BAYS EMPLOYEES/1722 SPACES)
TOTAL: 22 SPACES
REGULAR SPACES PROVIDED: 28
HANDICAPPED SPACES PROVIDED: 2
TOTAL SPACES PROVIDED: 30

UTILITY COMPANIES:

POWER: DUKE ENERGY 4306 E. COUNTY RD. 462 WILDWOOD, FL 34785 (352) 422-4629
SEWER: CITY OF WILDWOOD 100 MAIN STREET WILDWOOD, FL 34785 (352) 336-1320
WATER: CITY OF WILDWOOD 100 MAIN STREET WILDWOOD, FL 34785 (352) 336-1320
TELEPHONE: CENTURYLINK P.O. Box 90048 122-9900, 34748 (352) 336-1320
GAS: TESCO PROBLEAS GAS 316 SW 3560 AVE Ocala, FL 34474 (352) 622-0111
SOLID WASTE: WASTE MANAGEMENT 8708 NE 44TH DRIVE WILDWOOD, FL 34785 (352) 266-8301



VICINITY MAP

SCALE: 1" = 1,000'
SECTION 5, TOWNSHIP 19, RANGE 23



SOILS MAP

N.T.S.
6-KENDORICK FINE SAND

OWNER (72.74%):

WILDWOOD OAKS, LLC
MR. JOE SCHUEMANN
3408 S. ORANGE AVENUE, SUITE B
ORLANDO, FL 32806
(407) 319-6834

OWNER (27.26%):

INSPIRA FINANCIAL TRUST, LLC
MS. JESSICA HUERTA
2001 SPRING ROAD, SUITE 700
OAK BROOK, IL 60553

DEVELOPER:

CHRISTIAN BROTHERS AUTOMOTIVE CORPORATION
MR. WILLIAM BOSTIC
17725 KATY FREEWAY, SUITE 200
HOUSTON, TX 77094
(346) 852-1669
william.bostic@cbac.com

LEGAL DESCRIPTION:

A PARCEL OF LAND IN SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, ALSO KNOWN AS LOT 1 OF THE UNRECORDED PLAT OF WILDWOOD OAKS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA THENCE S00°01'23"E ALONG THE NORTH-SOUTH CENTER OF SECTION LINE A DISTANCE OF 2854.72 FEET; THENCE S89°56'08"E ALONG EAST-WEST CENTER OF SECTION LINE A DISTANCE OF 779.79 FEET; THENCE S00°00'34"E A DISTANCE OF 85.59 FEET TO THE SOUTH RIGHT OF WAY LINE OF CLEVELAND AVE FOR A POINT OF BEGINNING; THENCE S00°00'34"E A DISTANCE OF 316.33 FEET; THENCE S89°59'26"W A DISTANCE OF 114.66 FEET; THENCE N00°00'34"W A DISTANCE OF 318.24 FEET TO SAID SOUTH RIGHT OF WAY LINE AND TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 22978.00 FEET, A CHORD BEARING OF S89°04'16"E, A CHORD DISTANCE OF 116.68 FEET, RUN THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°17'27", A DISTANCE OF 116.68 FEET TO THE POINT OF BEGINNING.
CONTAINS 0.8496 ACRES OR 37,010.70 SQUARE FEET.

ENGINEER:

MITCH COLLINS, P.E., INC.
801 E. SOUTH STREET
ORLANDO, FL 32801
407-850-8557

ARCHITECT:

AJC ARCHITECTURE
415 MEMORIAL DRIVE, SUITE 203
DUNN FALLS, FL 32002
(204) 857-0096

SURVEYOR:

ACQUINTE SURVEYS OF ORLANDO, INC.
252 SOUTH BAYVIEW STREET
ORLANDO, FL 32803
(407) 894-8314

LANDSCAPE ARCHITECT:

WATLEY DESIGN
1817 EAST WASHINGTON STREET
ORLANDO, FL 32803
407-758-9496

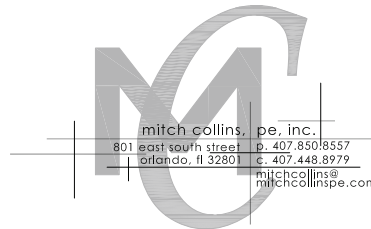
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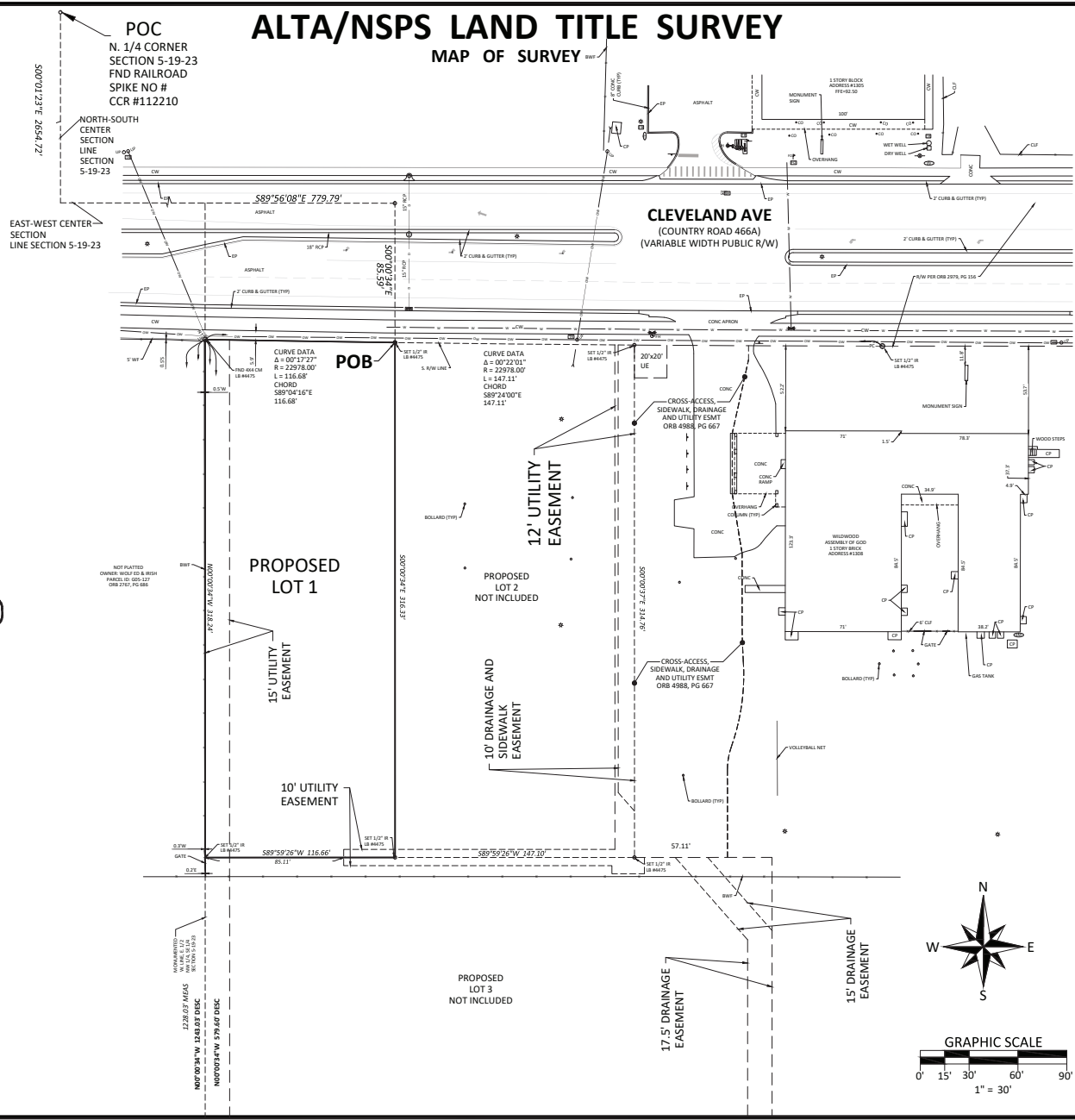
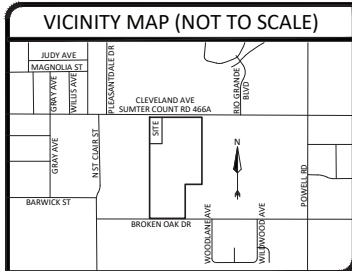
SHT. NO.	DESCRIPTION
	COVER SHEET
1	BOUNDARY AND TOPOGRAPHIC SURVEY
C0	OVERALL SITE PLAN
C1	SITE LAYOUT PLAN
C2	GRADING AND DRAINAGE PLAN
C3	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
C4	UTILITY PLAN
C5	DETAILS AND NOTES
C6	DETAILS AND NOTES
C7	DETAILS AND NOTES
L1	PLANTING PLAN AND SCHEDULE
L2	LANDSCAPE NOTES AND DETAILS
L3	IRRIGATION PLAN AND SCHEDULES
L4	IRRIGATION DETAILS AND NOTES

Digitally signed by
bronsion m
collins
Date:
2025.12.08
13:25:54
-05'00'



THIS SEAL HAS BEEN DIGITALLY SIGNED BY
THE USER AND SHOULD BE CHECKED FOR
VALIDITY BY VISUALLY INSPECTING THE
DIGITAL SIGNATURE AND/OR BY USING
ANY ELECTRONIC CHECKING
SOFTWARE.
MITCH COLLINS, P.E. & ARCHITECT
STATE OF FLORIDA, License No. 407-850-8557
DATE





DESCRIPTION

A PARCEL OF LAND IN SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMNER COUNTY, FLORIDA, ALSO KNOWN AS LOT 1 OF THE UNRECORDED PLAT OF WILDMOOD OAKS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMNER COUNTY, FLORIDA THENCE 500°01'23"E ALONG THE NORTH-SOUTH CENTER OF SECTION LINE A DISTANCE OF 2654.72 FEET; THENCE S89°50'08"E ALONG EAST-WEST CENTER OF SECTION LINE A DISTANCE OF 79.79 FEET; THENCE 500°00'34"E A DISTANCE OF 85.59 FEET TO THE SOUTH RIGHT OF WAY LINE OF CLEVELAND AVE FOR A POINT OF BEGINNING; THENCE 500°00'34"E A DISTANCE OF 316.33 FEET; THENCE S89°59'26"W A DISTANCE OF 114.66 FEET; THENCE N00°00'24"W A DISTANCE OF 318.24 FEET TO SAID SOUTH RIGHT OF WAY LINE AND TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 22978.00 FEET, A CHORD BEARING OF S89°04'15"E, A CHORD DISTANCE OF 116.68 FEET, RUN THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 0°17'27", A DISTANCE OF 116.68 FEET TO THE POINT OF BEGINNING.

CONTAINS 0.8496 ACRES OR 37,010.70 SQUARE FEET.

NOTES

- BEARING STRUCTURE IS ASSUMED AND BASED ON THE NORTH-SOUTH CENTER SECTION LINE OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 23 EAST, BEING 500°01'23"E.
- THIS SURVEY MADE WITHOUT BENEFIT OF TITLE COMMITMENT.
- THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS SURVEY WAS MADE ON THE GROUND. ANY UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED SURFACE UTILITY FEATURES, DRAWINGS PROVIDED BY CLIENT AND/OR AS LOCATED BY SUNSHINE UTILITIES LOCATING SERVICE TICKET NO. 02480206 AND 02480005. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
- SUBJECT PROPERTY LIES IN ZONE "C", BASED ON FLOOD INSURANCE RATE MAP NO. 12119C0132D, COMMUNITY NO. 120299, CITY OF WILDMOOD, SUMNER COUNTY, FLORIDA, EFFECTIVE SEPTEMBER 27, 2013.
- ALL EASEMENTS SHOWN ARE PROPOSED.
- ELEVATIONS BASED ON NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATED "23135 A" HAVING AN ELEVATION OF 83.03 FEET, (NAVD 88).
- AS TO TABLE "A" ITEMS OF THE CERTIFICATION SHOWN HEREON:
ITEM 4: CONTAINS 37,010.70 SQUARE FEET OR 0.8496 ACRES MORE OR LESS.
ITEM 6(A)(B): ZONING INFORMATION NOT PROVIDED TO SURVEYOR.
ITEM 9: THERE ARE NO STRIPED SPACES FOR PARKING.
ITEM 16: CURRENT SITE IN DEVELOPMENT STAGE WITH EARTH MOVING WORK OBSERVED.
ITEM 17: SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES AND DID NOT OBSERVE ANY EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.



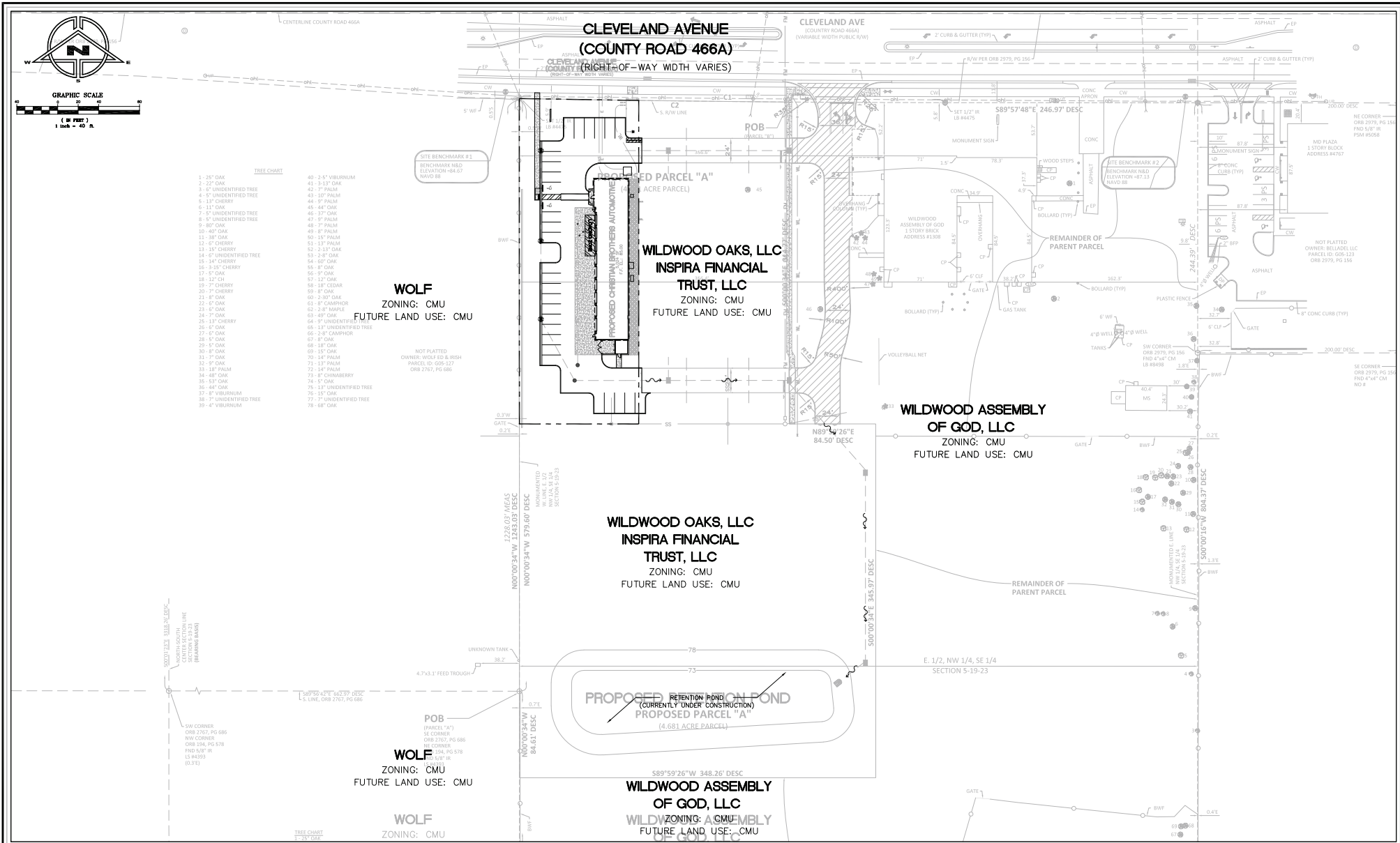
ACCURIGHT SURVEYS OF ORLANDO INC., LB 4475
2012 E. Robinson Street, Orlando, Florida 32803
www.Accurightsurveys.net
ACCU@Accurightsurveys.net
PHONE: (407) 894-6314

SCALE: 1" = 30'
DRAWN BY: FAR III
JOB # 60088
SUBDIVISION NAME: 5-19-23, SUMNER COUNTY, FL
LOCATION:
1308 CLEVELAND AVE, (CR466A), WILDMOOD, FL

MITCH COLLINS PE
SUBDIVISION NAME: 5-19-23, SUMNER COUNTY, FL
LOCATION:
1308 CLEVELAND AVE, (CR466A), WILDMOOD, FL

LEGEND

BB	BOTTOM OF BANK	MEAS	MEASURED
BC	BACK OF CURB	MF	METAL FENCE
BD	BOUNDARY DIMENSION	ML	METAL LID
BL	BUILDING	MS	METAL SIGN
BO	BORER HOLE	MS	METAL SIGN
BR	BURIED WIRE FENCE	MS	METAL SIGN
BS	BURIED WIRE FENCE	MS	METAL SIGN
BT	BURIED WIRE FENCE	MS	METAL SIGN
BU	BURIED WIRE FENCE	MS	METAL SIGN
BV	BURIED WIRE FENCE	MS	METAL SIGN
BW	BURIED WIRE FENCE	MS	METAL SIGN
BX	BURIED WIRE FENCE	MS	METAL SIGN
BY	BURIED WIRE FENCE	MS	METAL SIGN
BZ	BURIED WIRE FENCE	MS	METAL SIGN
CA	CALCULATOR	MS	METAL SIGN
CB	CALCULATOR	MS	METAL SIGN
CC	CALCULATOR	MS	METAL SIGN
CD	CALCULATOR	MS	METAL SIGN
CE	CALCULATOR	MS	METAL SIGN
CF	CALCULATOR	MS	METAL SIGN
CG	CALCULATOR	MS	METAL SIGN
CH	CALCULATOR	MS	METAL SIGN
CI	CALCULATOR	MS	METAL SIGN
CJ	CALCULATOR	MS	METAL SIGN
CK	CALCULATOR	MS	METAL SIGN
CL	CALCULATOR	MS	METAL SIGN
CM	CALCULATOR	MS	METAL SIGN
CN	CALCULATOR	MS	METAL SIGN
CO	CALCULATOR	MS	METAL SIGN
CP	CALCULATOR	MS	METAL SIGN
CQ	CALCULATOR	MS	METAL SIGN
CR	CALCULATOR	MS	METAL SIGN
CS	CALCULATOR	MS	METAL SIGN
CT	CALCULATOR	MS	METAL SIGN
CU	CALCULATOR	MS	METAL SIGN
CV	CALCULATOR	MS	METAL SIGN
CW	CALCULATOR	MS	METAL SIGN
CX	CALCULATOR	MS	METAL SIGN
CY	CALCULATOR	MS	METAL SIGN
CZ	CALCULATOR	MS	METAL SIGN
DA	CONCRETE	MS	METAL SIGN
DB	CONCRETE	MS	METAL SIGN
DC	CONCRETE	MS	METAL SIGN
DD	CONCRETE	MS	METAL SIGN
DE	CONCRETE	MS	METAL SIGN
DF	CONCRETE	MS	METAL SIGN
DG	CONCRETE	MS	METAL SIGN
DH	CONCRETE	MS	METAL SIGN
DI	CONCRETE	MS	METAL SIGN
DJ	CONCRETE	MS	METAL SIGN
DK	CONCRETE	MS	METAL SIGN
DL	CONCRETE	MS	METAL SIGN
DM	CONCRETE	MS	METAL SIGN
DN	CONCRETE	MS	METAL SIGN
DO	CONCRETE	MS	METAL SIGN
DP	CONCRETE	MS	METAL SIGN
DQ	CONCRETE	MS	METAL SIGN
DR	CONCRETE	MS	METAL SIGN
DS	CONCRETE	MS	METAL SIGN
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EP	CONCRETE	MS	METAL SIGN
EQ	CONCRETE	MS	METAL SIGN
ER	CONCRETE	MS	METAL SIGN
ES	CONCRETE	MS	METAL SIGN
ET	CONCRETE	MS	METAL SIGN
EU	CONCRETE	MS	METAL SIGN
EV	CONCRETE	MS	METAL SIGN
EW	CONCRETE	MS	METAL SIGN
EX	CONCRETE	MS	METAL SIGN
EY	CONCRETE	MS	METAL SIGN
EZ	CONCRETE	MS	METAL SIGN
FA	CONCRETE	MS	METAL SIGN
FB	CONCRETE	MS	METAL SIGN
FC	CONCRETE	MS	METAL SIGN
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FE	CONCRETE	MS	METAL SIGN
FF	CONCRETE	MS	METAL SIGN
FG	CONCRETE	MS	METAL SIGN
FH	CONCRETE	MS	METAL SIGN
FI	CONCRETE	MS	METAL SIGN
FJ	CONCRETE	MS	METAL SIGN
FK	CONCRETE	MS	METAL SIGN
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GE	CONCRETE	MS	METAL SIGN
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LK	CONCRETE	MS	METAL SIGN
LL	CONCRETE	MS	METAL SIGN
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DATE	REVISION	BY	DATE	REVISION	BY
0-20-24	AS PER CITY	MA			
	AS PER CITY	MA			

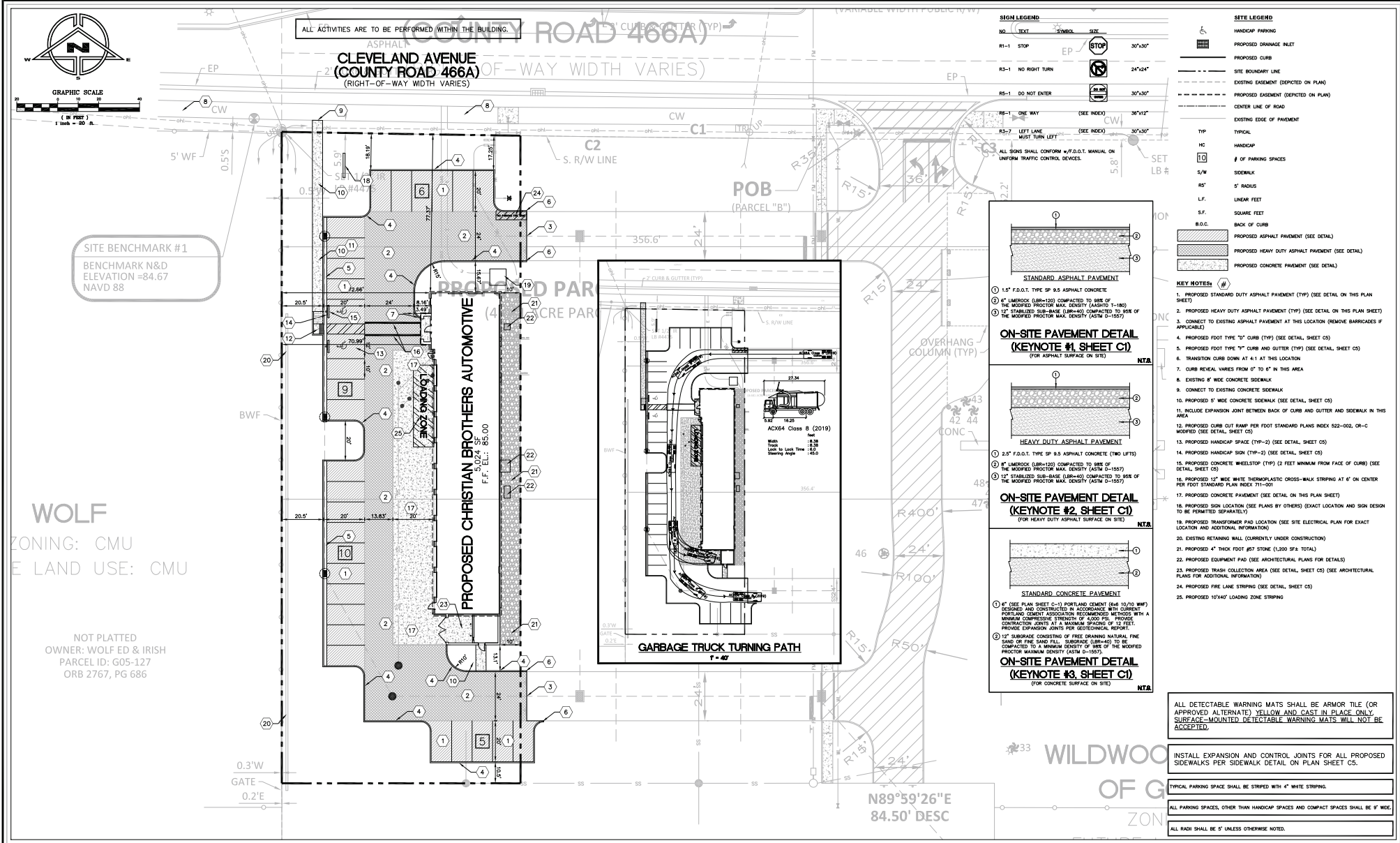
OVERALL SITE PLAN
 FOR
CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS
 CLEVELAND AVENUE WILDWOOD, FLORIDA

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MITCH COLLINS, P.E. # 54608
 STATE OF FLORIDA, C.A.P. 9523

DATE: _____

SCALE	1" = 40'
DRAWN BY	MA
CHECKED BY	MA
DATE	5-13-25
JOB NO.	224-016
SHEET NO.	CO
OF	07



SIGN LEGEND		
NO.	TEXT	SYMBOL
R1-1	STOP	
R3-1	NO RIGHT TURN	
R5-1	DO NOT ENTER	
R6-1	ONE WAY	
R3-7	LEFT LANE WIDE TURN LEFT	

SITE LEGEND		
	HANDICAP PARKING	
	PROPOSED DRAINAGE INLET	
	PROPOSED CURB	
	SITE BOUNDARY LINE	
	EXISTING EASEMENT (DEPICTED ON PLAN)	
	PROPOSED EASEMENT (DEPICTED ON PLAN)	
	CENTER LINE OF ROAD	
	EXISTING EDGE OF PAVEMENT	
	TYPICAL	
	HC	
	# OF PARKING SPACES	
	S/W	
	5' RADIUS	
	L.F.	
	S.F.	
	B.O.C.	
	PROPOSED ASPHALT PAVEMENT (SEE DETAIL)	
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL)	
	PROPOSED CONCRETE PAVEMENT (SEE DETAIL)	

- KEY NOTES**
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT (TYP) (SEE DETAIL ON THIS PLAN SHEET)
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYP) (SEE DETAIL ON THIS PLAN SHEET)
 - CONNECT TO EXISTING ASPHALT PAVEMENT AT THIS LOCATION (REMOVE BARRICADES IF APPLICABLE)
 - PROPOSED FOOT TYPE "O" CURB (TYP) (SEE DETAIL, SHEET C5)
 - PROPOSED FOOT TYPE "T" CURB AND GUTTER (TYP) (SEE DETAIL, SHEET C5)
 - TRANSITION CURB DOWN AT 4:1 AT THIS LOCATION
 - CURB REVEAL VARIES FROM 0" TO 6" IN THIS AREA
 - EXISTING 6" WIDE CONCRETE SIDEWALK
 - CONNECT TO EXISTING CONCRETE SIDEWALK
 - PROPOSED 5" WIDE CONCRETE SIDEWALK (SEE DETAIL, SHEET C5)
 - INCLUDE EXPANSION JOINT BETWEEN BACK OF CURB AND GUTTER AND SIDEWALK IN THIS AREA (SEE DETAIL, SHEET C5)
 - PROPOSED CURB OUT RAMP PER FOOT STANDARD PLANS INDEX 052-052, OR-C MODIFIED (SEE DETAIL, SHEET C5)
 - PROPOSED HANDICAP SPACE (TYP-2) (SEE DETAIL, SHEET C5)
 - PROPOSED HANDICAP SIGN (TYP-2) (SEE DETAIL, SHEET C5)
 - PROPOSED CONCRETE WHEELSTOP (TYP) (2 FEET MINIMUM FROM FACE OF CURB) (SEE DETAIL, SHEET C5)
 - PROPOSED 12" WIDE WHITE THERMOPLASTIC CROSS-WALK STRIPING AT 6" ON CENTER PER FOOT STANDARD PLAN INDEX 711-001
 - PROPOSED CONCRETE PAVEMENT (SEE DETAIL ON THIS PLAN SHEET)
 - PROPOSED SIGN LOCATION (SEE PLANS BY OTHERS) (EXACT LOCATION AND SIGN DESIGN TO BE PERMITTED SEPARATELY)
 - PROPOSED TRANSFORMER PAD LOCATION (SEE SITE ELECTRICAL PLAN FOR EXACT LOCATION AND ADDITIONAL INFORMATION)
 - EXISTING RETAINING WALL (CURRENTLY UNDER CONSTRUCTION)
 - PROPOSED 4" THICK FOOT #67 STONE (1,000 SF± TOTAL)
 - PROPOSED EQUIPMENT PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - PROPOSED TRASH COLLECTION AREA (SEE DETAIL, SHEET C5) (SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED FIRE LANE STRIPING (SEE DETAIL, SHEET C5)
 - PROPOSED 10'x40' LOADING ZONE STRIPING

ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) YELLOW AND CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.

INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C5.

TYPICAL PARKING SPACE SHALL BE STRIPPED WITH 4" WHITE STRIPING.

ALL PARKING SPACES, OTHER THAN HANDICAP SPACES AND COMPACT SPACES SHALL BE 18' WIDE.

ALL RAMP SHALL BE 1% UNLESS OTHERWISE NOTED.

DATE	REVISION	BY	DATE	REVISION	BY
0-29-24	AS PER CITY	M.G.			
	AS PER CITY				

NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.022, FLORIDA ADMINISTRATIVE CODE.

SITE LAYOUT PLAN
FOR
CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS
CLEVELAND AVENUE WILDWOOD, FLORIDA

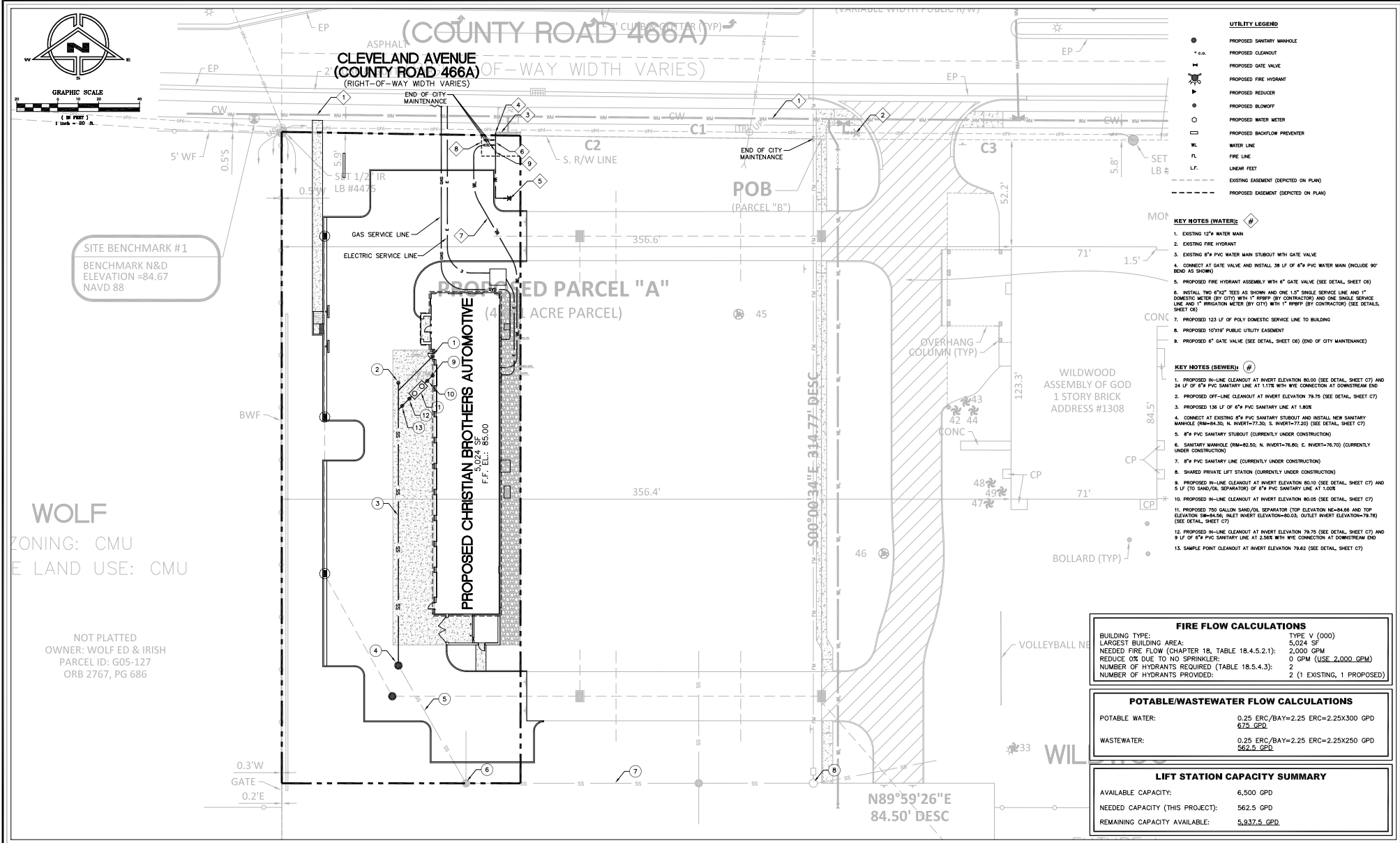
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MITCH COLLINS, P.E. #4608
STATE OF FLORIDA, C.A.P. 9523

PROFESSIONAL ENGINEER
LICENSE NO. 54806
STATE OF FLORIDA

SCALE: 1" = 20'

DATE: 5-18-25
JOB NO: 224-016
SHEET NO: C1 OF 07



UTILITY LEGEND

- PROPOSED SANITARY MANHOLE
- PROPOSED CLEANOUT
- ⊕ PROPOSED GATE VALVE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED REDUCER
- ⊕ PROPOSED BLOWOFF
- PROPOSED WATER METER
- ⊕ PROPOSED BACKFLOW PREVENTER
- WL WATER LINE
- FL FIRE LINE
- LF LINEAR FEET
- EXISTING EASEMENT (DEPICTED ON PLAN)
- - - - PROPOSED EASEMENT (DEPICTED ON PLAN)

- KEY NOTES (WATER) (#)**
- EXISTING 12" WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING 8" PVC WATER MAIN STUBOUT WITH GATE VALVE
 - CONNECT AT GATE VALVE AND INSTALL 38 LF OF 6" PVC WATER MAIN (INCLUDE 90° KEEPS AS SHOWN)
 - PROPOSED FIRE HYDRANT ASSEMBLY WITH 4" GATE VALVE (SEE DETAIL SHEET C6)
 - INSTALL TWO 4"x2" TEES AS SHOWN AND ONE 1.5" SINGLE SERVICE LINE AND 1" DOMESTIC METER (BY CITY) WITH 1" WRPB (BY CONTRACTOR) AND ONE SINGLE SERVICE LINE AND 1" IRRIGATION METER (BY CITY) WITH 1" WRPB (BY CONTRACTOR) (SEE DETAIL SHEET C6)
 - PROPOSED 123 LF OF POLY DOMESTIC SERVICE LINE TO BUILDING
 - PROPOSED 10"x19" PUBLIC UTILITY EASEMENT
 - PROPOSED 6" GATE VALVE (SEE DETAIL SHEET C6) (END OF CITY MAINTENANCE)

- KEY NOTES (SEWER) (#)**
- PROPOSED IN-LINE CLEANOUT AT INVERT ELEVATION 80.00 (SEE DETAIL SHEET C7) AND 24 LF OF 6" PVC SANITARY LINE AT 1:175 WITH WYE CONNECTION AT DOWNSTREAM END
 - PROPOSED 0" IN-LINE CLEANOUT AT INVERT ELEVATION 79.75 (SEE DETAIL SHEET C7)
 - PROPOSED 136 LF OF 6" PVC SANITARY LINE AT 1:175
 - CONNECT AT EXISTING 6" PVC SANITARY STUBOUT AND INSTALL NEW SANITARY MANHOLE (RM=84.30, N. INVERT=77.30, S. INVERT=77.20) (SEE DETAIL SHEET C7)
 - 6" PVC SANITARY STUBOUT (CURRENTLY UNDER CONSTRUCTION)
 - SANITARY MANHOLE (RM=82.50, N. INVERT=76.80, E. INVERT=76.70) (CURRENTLY UNDER CONSTRUCTION)
 - 6" PVC SANITARY LINE (CURRENTLY UNDER CONSTRUCTION)
 - SHARED PRIVATE LIFT STATION (CURRENTLY UNDER CONSTRUCTION)
 - PROPOSED IN-LINE CLEANOUT AT INVERT ELEVATION 80.10 (SEE DETAIL SHEET C7) AND 5 LF (TO SAND/OIL SEPARATOR) OF 6" PVC SANITARY LINE AT 1:100
 - PROPOSED IN-LINE CLEANOUT AT INVERT ELEVATION 80.00 (SEE DETAIL SHEET C7)
 - PROPOSED 750 GALLON SAND/OIL SEPARATOR (TOP ELEVATION NE=84.86 AND TOP ELEVATION SW=84.56, INLET INVERT ELEVATION=80.00, OUTLET INVERT ELEVATION=79.75) (SEE DETAIL SHEET C7)
 - PROPOSED IN-LINE CLEANOUT AT INVERT ELEVATION 79.75 (SEE DETAIL SHEET C7) AND 9 LF OF 6" PVC SANITARY LINE AT 2:005 WITH WYE CONNECTION AT DOWNSTREAM END
 - SAMPLE POINT CLEANOUT AT INVERT ELEVATION 79.62 (SEE DETAIL SHEET C7)

FIRE FLOW CALCULATIONS

BUILDING TYPE:	TYPE V (000)
LARGEST BUILDING AREA:	5,024 SF
NEEDED FIRE FLOW (CHAPTER 18, TABLE 18.4.5.2.1):	2,000 GPM
REDUCE 0% DUE TO NO SPRINKLER:	0 GPM (USE 2,000 GPM)
NUMBER OF HYDRANTS REQUIRED (TABLE 18.5.4.3):	2
NUMBER OF HYDRANTS PROVIDED:	2 (1 EXISTING, 1 PROPOSED)

POTABLE/WASTEWATER FLOW CALCULATIONS

POTABLE WATER:	0.25 ERC/BAY=2.25 ERC=2.25X300 GPD	675 GPD
WASTEWATER:	0.25 ERC/BAY=2.25 ERC=2.25X250 GPD	562.5 GPD

LIFT STATION CAPACITY SUMMARY

AVAILABLE CAPACITY:	6,500 GPD
NEEDED CAPACITY (THIS PROJECT):	562.5 GPD
REMAINING CAPACITY AVAILABLE:	5,937.5 GPD

DATE	REVISION	BY	DATE	REVISION	BY
8-29-24	AS PER CITY	MC			
	AS PER CITY	MC			

NOTE:
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UTILITY PLAN
FOR
CHRISTIAN BROTHERS AUTOMOTIVE AT WILDWOOD OAKS
CLEVELAND AVENUE WILDWOOD, FLORIDA

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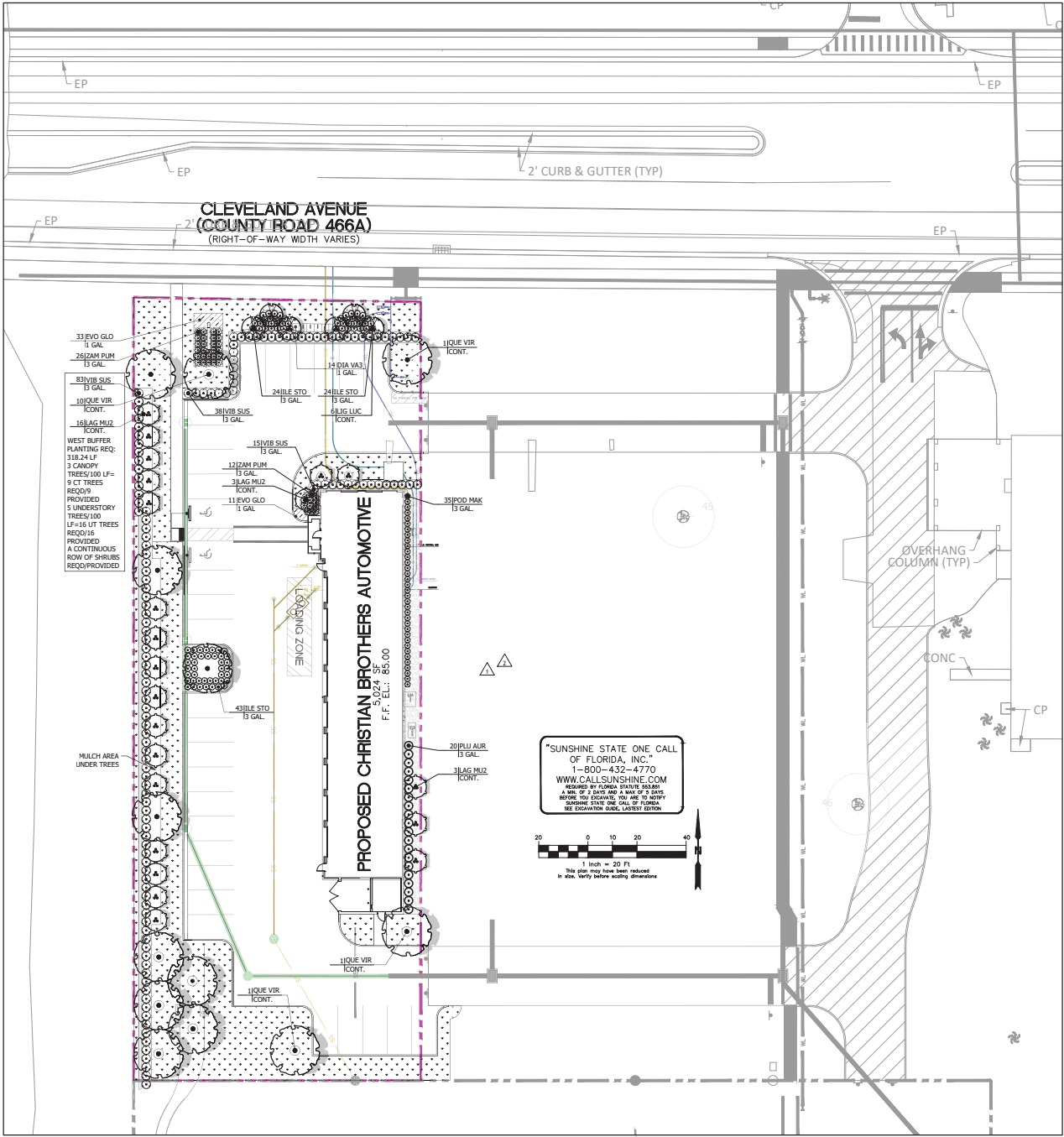
MICHAEL COLLINS
Professional Engineer
No. 54606
STATE OF FLORIDA
EXPIRES 12/31/2025

DATE: _____

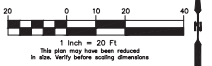
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OWNED BY: MC JOB NO: 5-18-25
SHEET NO: 224-016
C4 OF 07

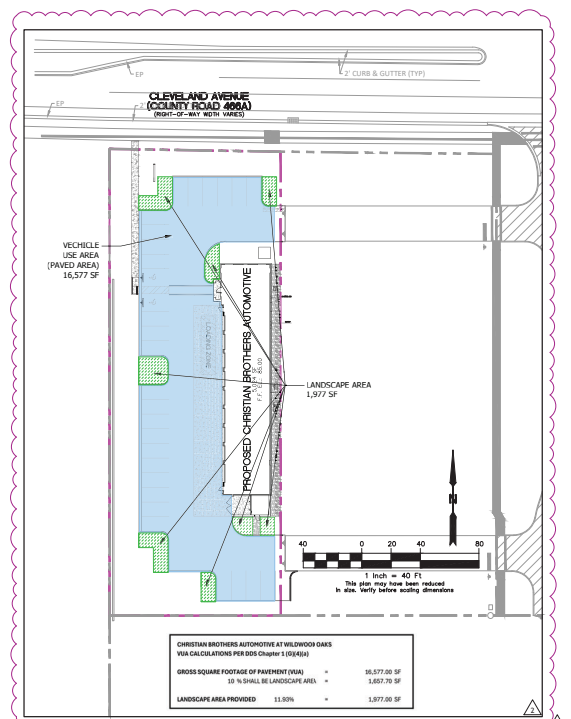
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 1-800-432-4770
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 ALL DIGIT 0-2 DIALS AND A MAX OF 2 CALLS
 BEFORE THE CABLES ARE TO BE OPENED
 SUNSHINE STATE ONE CALL OF FLORIDA
 SEE EXPLANATION BOOK, LATEST EDITION



PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	GAL	SPECIFICATION	WATER USAGE	NATIVE	
TREES									
	LAG MUZ	22	LAGERSTROEMIA X 'MUSKOGEE' LAVENDER GRAPE HYDRATE MULTI-TRUNK, FULL	CONT.		6' HT MIN	LOW-MEDIUM	NO	
	LIG LUC	6	LIGUSTRUM LUCIDUM GLOSSY PRIVET MULTI-TRUNK, FULL	CONT.		6" OA	LOW	NO	
	QUE VIR	13	QUERCUS VIRGINIANA SOUTHERN LIVE OAK SINGLE, STRAIGHT TRUNK, FULL	CONT.		2" DBH MIN 8' H MIN	LOW-MEDIUM	YES	
SHRUBS									
	ILE STO	91	ILEX VOMITORIA 'STOKES DWARF' DWARF YALPOM FULL, DO NOT TRIM INTO A ROUND BALL	3	GAL	12" H X 12" S	LOW-HIGH	YES	
	PLU ALR	20	PLUMBAGO AURICULATA BLUE PLUMBAGO FULL	3	GAL	20" OA	LOW	NO	
	POD MAK	35	PODOCARPUS MACROPHYLLUS MAKI SHRUBBY 'YEW' FULL	3	GAL	20" HT	LOW-MEDIUM	NO	
	VIB SUS	136	VIBURNUM SUSPENSUM SANDANKWA VIBURNUM FULL	3	GAL	18" H X 18" S	LOW	NO	
	ZAM PUM	38	ZAM PUM COONTIE FULL	3	GAL	12" H X 12" S	LOW	YES	
GROUND COVERS									
	DIA VAS	14	DIANELLA TASMANICA 'VARIEGATA' FLAX LILY FULL	1	GAL	16" H X 16" S	LOW	YES	24" o.c.
	EVO GLO	44	EVOLYALUS GLOMERATUS BLUE DAYS FULL	1	GAL	10" H X 12" S	LOW	NO	18" o.c.
SOD									
	PAS ARG		PASPALLUM NOTATUM 'ARGENTINE' BANIA GRASS CLEAN AND WEED FREE	SOD		PALLET	N/A	NO	



MD Magley Design
 Landscape Architecture
 Site Planning
 Project Management
 8811 Westgate Court, Suite A, 33507-4776, FL

Digitally signed by James R Magley
 Date: 2026.01.14 14:32:29
 James R. Magley
 (at of Florida Lic. No. 05100001300)

REVISIONS

NO.	DESCRIPTION	DATE
1	AGENCY COMMENTS	08/20/2025
2	AGENCY COMMENTS	08/20/2025
3	AGENCY COMMENTS	01/12/2026

ISSUED

CHRISTIAN BROTHERS AUTOMOTIVE
 1308 Cleveland Ave., Wildwood, FL
 WILDOOD OAKS, LLC

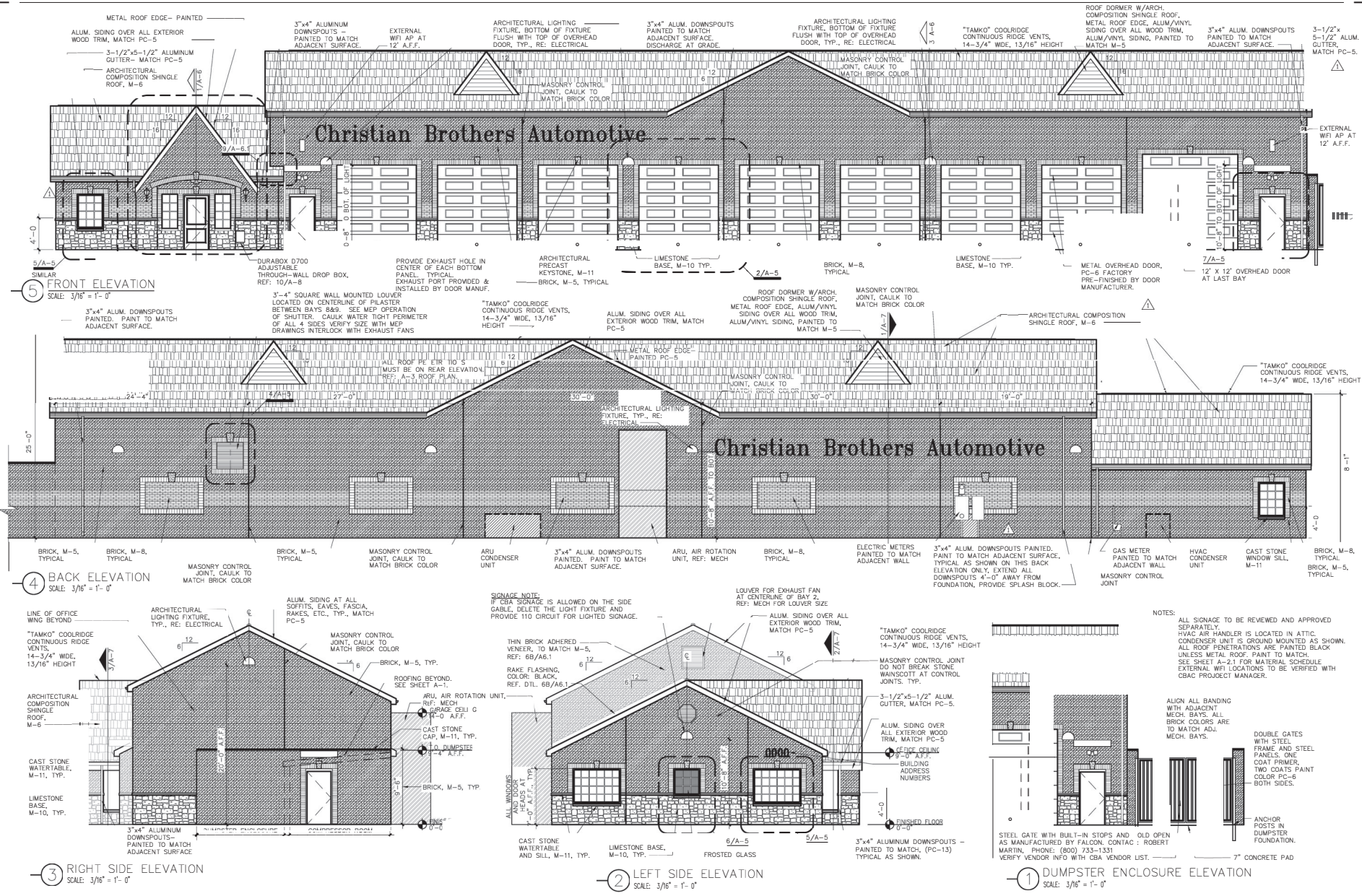
PLANTING PLAN AND SCHEDULE

CONSTRUCTION PLANS

PROJECT NUMBER: HCP2413
 DATE: May 28, 2025
 DRAWN BY: MD
 CHECKED BY: MD

SCALE AS INDICATED

L1



TYPICAL NOTES FOR ALL ELEVATIONS

- 2'-0" BAND, JAMES, HEADS OF DOORS AND WINDOWS, AND ACCENT IN GABLES AT ENTRY AND SIDE ELEVATIONS TO BE BRICK COLOR M-8.
- ALL MASONRY SURFACES ARE TO BE SPRAYED WITH WATER-PROOFING SEALER, PROSOCC INC. SLOE GUARD AND GRAFFITI CONTROL #4093 - PH: 800-255-4255
- ALL DOWN SPOUTS ARE TO BE PAINTED TO MATCH THE COLOR OF THE WALL MATERIAL BEHIND IT.
- ALL WOOD TRIM AT SOFFITS, EAVES, FASCIA, RAKES, ETC. TO BE ALUMINUM OR VINYL SIDING OVER EXPOSED WOOD.
- ALL EXTERIOR LIGHTS ARE TO BE ON PHOTO CELL, TYPICAL OF ALL ELEVATIONS.
- GUTTERS TO BE SLOPED PER MANUFACTURER TO ENSURE PROPER DRAINAGE.
- FINISH GRADE TO BE MIN. 6" BELOW FINISH FLOOR.

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DATE	REVISIONS
11.9.2025	1 RESPONSE TO COUNTY COMMENTS
01.02.2026	2 RESPONSE TO CBA COMMENTS
02.03.2026	RESPONSE TO COUNTY COMMENTS

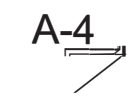


CHRISTIAN BROTHERS AUTOMOTIVE

PROJ. EGT. FOR: CLEVE. NO. AVE.

DRAWN BY: JM CC
CHECKED BY: JM CC
JOB #: 2314
DATE: 2/5/26

EXTERIOR ELEVATIONS





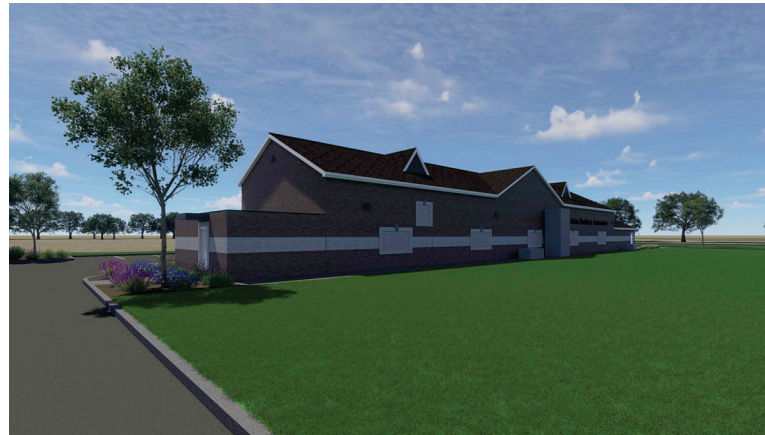
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SCALE: NTS



③ RENDERING
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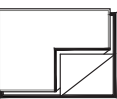
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John Smith on the date noted on the seal. A printed
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NO.	REVISIONS	DATE
1	RESPONSE TO COUNTY COMMENTS	11.06.2025
2	RESPONSE TO CSA COMMENTS	01.09.2026
3	RESPONSE TO COUNTY COMMENTS	02.19.2026



PROJECT FOR
**CHRISTIAN BROTHERS
AUTOMOTIVE**
CLEVELAND AVE
WILDWOOD, FL

DRAWN BY: JM, CC
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NO.	REVISIONS	DATE
1	RESPONSE TO COUNTY COMMENTS	11.09.2025
2	RESPONSE TO CSA COMMENTS	01.09.2026
3	RESPONSE TO COUNTY COMMENTS	02.19.2026
-	-	-
-	-	-
-	-	-



PROJECT FOR
**CHRISTIAN BROTHERS
AUTOMOTIVE**
CLEVELAND AVE
WILDWOOD, FL

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