



PROJECT REVIEW COMMITTEE - CITY OF WILDWOOD
PRC Chairperson – Melanie Strickland

Agenda
Regular Meeting
June 9, 2026 10:00 AM
Commission Conference Room 124
100 N Main Street

Persons with disabilities or language barriers needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 103, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105 - If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Wildwood DOES NOT provide this verbatim record.

I. Call to Order

II. Roll Call

III. APPROVAL OF SUMMARY MINUTES

- 1. Project Review Committee Regular Meeting May 12, 2026, at 10:00 AM.**

IV. OLD BUSINESS

V. NEW BUSINESS

- 1. 25-3741- SP - Indian Oaks Self Storage
Parcel K09A020**

The applicant is seeking a favorable recommendation from the Project Review Committee for a 120,000 SF self-storage facility with infrastructure improvements, per the attached plans. Two technical waivers have been submitted to reduce the parking space requirement from 51 spaces to 15

spaces and to substitute the required canopy trees to understory trees due to a transmission line easement on the southern portion of the property. Please see the attached technical waivers. **Staff recommends approval.**

2. **25-1500 Preston Place Commercial Site**

Parcel D17M002

The applicant is seeking a favorable recommendation from the Project Review Committee for a 5,200 SF medical office with infrastructure improvements on 1.10 acres MOL, per the attached plans. **Staff recommends approval.**

VI. ADJOURNMENT

June 9, 2026 10:00 AM

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: Project Review Committee Regular Meeting May 12, 2026, at 10:00 AM.

REQUESTED ACTION:

CONTRACT:

Vendor/Entity:

Effective Date:

Termination Date:

Managing Division/Department:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

PROJECT REVIEW COMMITTEE
 CITY OF WILDWOOD, FLORIDA
 REGULAR MEETING
 May 12, 2026 10:00 AM
 COMMISSION CONFERENCE ROOM 124

(meeting taped)

I. Call to Order

Development Services Director Strickland brought the meeting to order at 10:00 a.m.

II. Roll Call

Attendee Name	Title	Status
Melanie Strickland	Development Services Director	Present
Jason McHugh	City Manager	Present
Jason Martin	Utilities Deputy Director	Present
Jeremy Hockenbury	Public Works Director	Present
Randall Parmer	Police Chief	Present
Alan Harb	City Consulting Engineer	Present by Phone
Joshua Bills	City Attorney	Present
Jessica Barnes	City Clerk	Present
Wendy Then	Assistant Development Services Director	Present
Amanda Bondi	Planning Manager	Present
McKenna Page	Planner	Present
Alex Lammers	Planner	Present

III. APPROVAL OF SUMMARY MINUTES

1. Project Review Committee Regular Meeting April 14, 2026, at 10:00 AM.

The summary minutes from the April 14, 2026, meeting were approved. No discussion. Motion to approve by Utilities Deputy Director Martin, seconded by Police Chief Parmer. Motion carried unanimously.

RESULT:	Passed
MOVER:	Utilities Deputy Director Martin
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

IV. OLD BUSINESS

None.

V. NEW BUSINESS

1. 25-3061 (PLAT) Northern Pines Subdivision Improvement Plat

Development Services Director Strickland read aloud 25-3061 (PLAT) Northern Pines Subdivision Improvement Plat. She noted staff recommended approval contingent upon outstanding comments and noted a variance that would mitigate heritage trees. Strickland commented that the outstanding comments were from the City Attorney, Utilities Department, and the City Engineer. There was no applicant representative that wished to speak. City Manager McHugh noted concerns he had about the project affecting trees that were off-site as well. He asked what the applicant would do to save the trees along County Road 222. He commented that this issue should be negotiated and coordinated with Sumter County. Motion by City Manager McHugh, seconded by Police Chief Parmer, to approve 25-3061 (PLAT) Northern Pines Subdivision Improvement Plat. Motion carried unanimously.

RESULT:	Passed
MOVER:	City Manager McHugh
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

2. 25-4838 SPM - The Wash Saloon

Development Services Director Strickland read aloud 25-4838 SPM - The Wash Saloon. Strickland explained the technical waiver associated with this item was to reduce the number of parking spaces from 33 to 9. She noted the current traffic analysis as justification for the reduction and, based on the findings, it was likely only 7 customers would be utilizing the parking lot at any one time. Applicant Representative Lee Woods noted a water line that needed to be tapped into the main. Utilities Deputy Director Martin asked if there had been a submittal, to which Woods replied that he could not find it. Strickland commented that Planner Lammers would send a submittal link to Mr. Woods. Woods then asked if he needed to tap into services across the street, to which Strickland confirmed. He inquired if he had to go under the road or if he could cut the road in order to tap into the main. There was a discussion about which method was most appropriate, and it was decided that an open cut would be allowed if it was completed before the full FDR in July 2026. Assistant Development Services Director Then remarked that the City would require Woods to submit a full Right-of-Way Utilization Permit. Motion by City Manager McHugh, seconded by Police Chief Parmer, to approve 25-4838 SPM - The Wash Saloon. Motion carried unanimously.

RESULT:	Passed
MOVER:	City Manager McHugh
SECONDER:	Police Chief Parmer
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

3. 26-0689 (SP) 708 N Main Modification

Development Services Director Strickland read aloud 26-0689 (SP) 708 N Main Modification. Strickland noted an outstanding comment that regarded the illicit discharge and connection stormwater affidavit. She commented that an updated form had been submitted and was under review by the City Attorney. City Attorney Bills noted the comments had been cleared. David Springstead of Springstead Engineering was present and asked if minor modifications needed to go through pre-app with Public Works. Utilities Deputy Director Martin relayed that they were fine to continue if they coordinated with the appropriate inspectors. Motion by Police Chief Parmer, seconded by Public Works Director Hockenbury, to approve 26-0689 (SP) 708 N Main Modification. Motion carried unanimously.

RESULT:	Passed
MOVER:	Police Chief Parmer
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

4. 26-1168 (SP) VOSO Phase 31YZ Master Plan

Development Services Director Strickland read aloud 26-1168 (SP) VOSO Phase 31YZ Master Plan. She noted the applicant sought favorable recommendation and that the item was in line with the goals and objectives of the 2050 Comprehensive Plan. There was no applicant representative present to speak. Motion by City Manager McHugh, seconded by Utilities Deputy Director Martin, to approve 26-1168 (SP) VOSO Phase 31YZ Master Plan. Motion carried unanimously.

RESULT:	Passed
MOVER:	City Manager McHugh
SECONDER:	Utilities Deputy Director Martin
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

VI. ADJOURNMENT

With no further business to discuss, the meeting was adjourned at 10:18 a.m. Motion by City Manager McHugh, seconded by Public Works Director Hockenbury, to adjourn. Motion carried unanimously.

RESULT:	Passed
MOVER:	City Manager McHugh
SECONDER:	Public Works Director Hockenbury
AYES:	Development Services Director Strickland, City Manager McHugh, Public Works Director Hockenbury, Police Chief Parmer, Utilities Deputy Director Martin

SEAL

PROJECT REVIEW COMMITTEE
CITY OF WILDWOOD, FLORIDA

Approval Signature

Date

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: 25-3741- SP - Indian Oaks Self Storage

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

Case Number	25-3741 - Indian Oaks Self Storage
Owner	Judy R. Snell and Pamela A. Hansard, as Co-Trustees of the Margie E. Sovercool Living Trust
Applicant	Benton B. Leach
Acreage	10 +/-
Property Location	The subject property is generally located at the north east corner of CR 500 and Old C 470.
Parcel Number	K09A020
Date	June 2, 2026

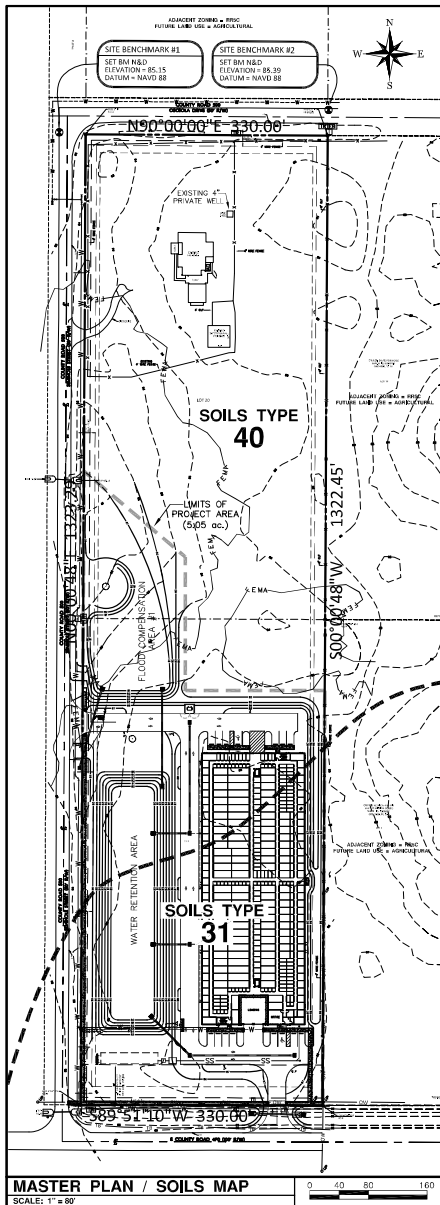
The applicant is seeking a favorable recommendation from the Project Review Committee for a 120,000 SF self-storage facility with infrastructure improvements on 10 acres MOL, per the attached plans. Two technical waivers have been submitted to reduce the parking space requirement from 51 spaces to 15 spaces and to substitute the required number of canopy trees for understory trees due to a transmission line easement on the southern portion of the property. The applicant has also requested to move the landscaping buffer to the back of the edge of the 55-foot easement to avoid placing plant material under the existing power lines. Please see the attached technical waivers.

As of the writing of this report, there is one outstanding comment regarding the surety for the water main extension. Staff is actively working with the applicant and owner to satisfy the final comment. Aside, 25-3741 would meet the criteria, with the approved technical waiver, set forth within the Land Development Regulations, the Design District Standards, and would be in line with the goals, objectives, and policies of the 2050 Comprehensive Plan.



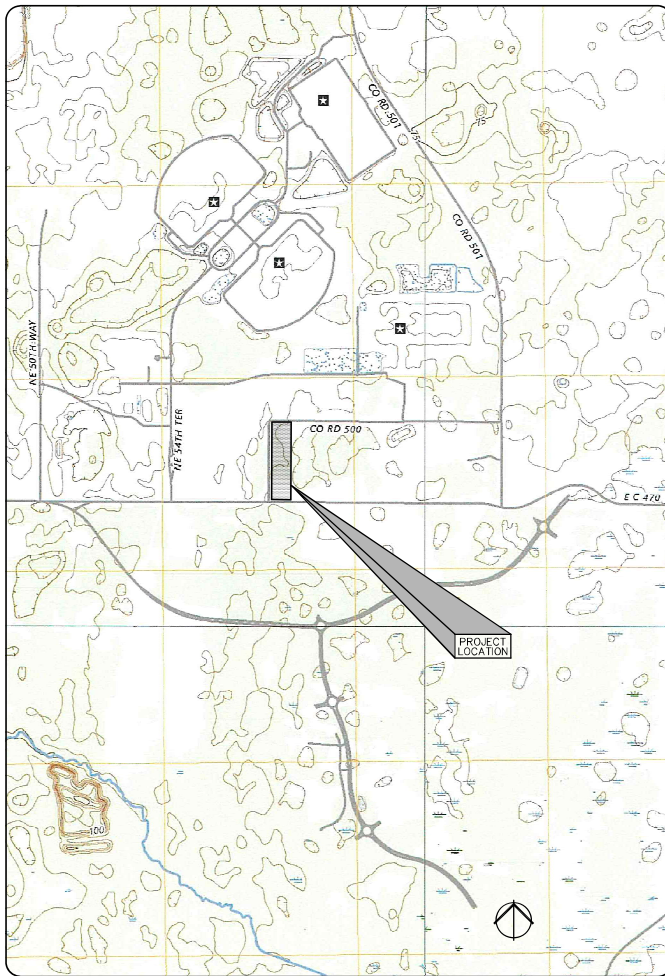
Alex Lammers
Planner I, Development Services

Soils Map Legend	
Map Unit Symbol	Map Unit Name
40	MILLHOPPER SAND, BOULDERY SUBSURFACE, 0 TO 5 PERCENT SLOPES
31	MYAKKA-MYAKKA, WET, SANDS, 0 TO 2 PERCENT SLOPES



INDIAN OAKS SELF STORAGE WILDWOOD, FLORIDA

Required Permitting	
Agency	Status
CITY OF WILDWOOD	PENDING
SWFMD	PENDING
DEP NPDES	PENDING
DEP WATER	PENDING



- ### GENERAL NOTES
- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY ALTAMAX SURVEYING, DATED 8/6/2024.
 - CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
 - CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE, GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
 - ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WILDWOOD, SUMNER COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
 - ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
 - CONTRACTOR SHALL SURVEY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
 - CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF WILDWOOD WATER MAIN.
 - ALL WATER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF WILDWOOD REQUIREMENTS.
 - ANY SOIL MATERIAL (EITHER ON-SITE OR IMPORTED) UTILIZED FOR THE CONSTRUCTION OF RETENTION SWALES OR RETENTION PONDS SHALL BE CLEAN FINE SAND (SP) AS DEFINED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. FINES (MATERIAL PASSING THE NO. 200 SIEVE) SHALL BE LESS THAN 0%.
 - THE CONTRACTOR SHALL OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT AS REGULATED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL BECOME FAMILIAR WITH THE NPDES PERMITTING REQUIREMENTS. DEVELOPER AND IMPROVER A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH NPDES REGULATIONS AND WILL BE RESPONSIBLE FOR ANY VIOLATIONS CITED BY FDEP DURING CONSTRUCTION. INFORMATION PERTAINING TO THE NPDES PROGRAM IS AVAILABLE ON LINE AT WWW.FDEP.STATE.FL.US/WATER/STORMWATER/NPDES OR BY CALLING FDEP NPDES STORMWATER SECTION AT 850-245-7622.
 - FOOT STANDARDS' LATEST EDITION SHALL DICTATE ALL SPECIFICATIONS AND REGULATIONS FOR MATERIALS, INSTALLATION AND INSPECTIONS.

LEGAL DESCRIPTION

PARCEL NO. 20, INDIAN OAKS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 53, PUBLIC RECORDS OF SUMNER COUNTY, FLORIDA, AND

PARCEL NO. 1, INDIAN OAKS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 53, PUBLIC RECORDS OF SUMNER COUNTY, FLORIDA.

SHEET INDEX

C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C1.3	GEOMETRY PLAN
C1.1	GRADING & DRAINAGE PLAN
C4.1	UTILITY PLAN
C4.2-C4.3	FIRE LINE PLAN & DETAILS
C5.1-C5.2	DETAIL SHEETS
C6.1-C6.2	SOIL BORING PROFILES
C7.1-C7.3	UTILITY DETAILS

SITE DATA

TOTAL AREA = 436,553 sq.ft. (10.02 ac.)
PROJECT AREA = 219,978 sq.ft. (5.05 ac.)

EXISTING IMPERVIOUS AREA = 4,764 sq.ft. (0.11 ac.)
PROPOSED IMPERVIOUS AREA = 82,035 sq.ft. (1.88 ac.)
TOTAL IMPERVIOUS AREA = 86,799 sq.ft. (1.99 ac.)
PERCENT IMPERVIOUS AREA = 19.9% (of total area)
MAX ISR = 75%

FLOOD ZONE = "X" & "AE"
ZONING = C-2
FUTURE LAND USE = COMMERCIAL
PROPOSED USE OF SITE = SELF STORAGE

EXISTING BUILDING SQUARE FOOTAGE = 3,178 sq.ft. (HOUSE, GARAGE & SHED)
PROPOSED BUILDING SQUARE FOOTAGE = 51,800 sq.ft.
TOTAL BUILDING SQUARE FOOTAGE = 54,978 sq.ft.
= 102,000 sq.ft. (INCLUDING BOTH FLOORS)

FLOOR AREA RATIO (FAR) = 0.23
MAX FAR = 0.5

BUILDING HEIGHT = 22'-7"
CONSTRUCTION TYPE IIB (SPRINKLED)
MINIMUM REQUIRED FLOW PER TYPIC = 6750 GPM FOR 4 HRS
BUILDING SPRINKLED (REDUCE BY 75%)
REQUIRED FLOW = 1608 GPM
FIRE FLOW PROVIDED PER CITY ENGINEER MODEL = 2,488 GPM

BUILDING TWO STORES
PROJECTED NUMBER OF EMPLOYEES = 1 EMPLOYEE

PARKING REQUIRED:
STORAGE = 1 space per 2,000 sq.ft.
STORAGE = 102,000 sq.ft.
REQUIRED = 1 x 102,000/2,000 = 51 spaces

PARKING PROVIDED = 15 spaces (WITH WAIVER)
HANDICAP SPACES PROVIDED = 2 HO spaces

SETBACKS: FRONT = 25' / REAR = 15' / SIDE = 15'
BUFFERS: FRONT = 25' / REAR = 25' / SIDE = 20'
ELEVATIONS BASED ON N.A.V.D. 1985 VERTICAL DATUM

WAIVER REQUEST

REQUESTING WAIVER TO DDS (0) (1), (2), (3) TO ELIMINATE CANOPY TREES FROM FRONT LANDSCAPING BUFFER DUE TO EXISTING OVERHEAD POWER LINES.

REQUESTING WAIVER TO LOR 6.6 (0) TABLE 6-12 TO REDUCE THE REQUIRED MINIMUM NUMBER OF PARKING SPACES FROM 51 TO 15.

Utility Providers

WATER	CITY OF WILDWOOD
SEWER	SEPTIC - PRIVATE
ELECTRIC	DUKE ENERGY
CABLE	SPECTRUM
PHONE	SPECTRUM
REFUSE	CITY OF WILDWOOD

UTILITY OWNERSHIP

8" WATER - CITY OF WILDWOOD
8" ONSITE WATER - PRIVATE
SEWER - PRIVATE SEPTIC
STORM - PRIVATE
ROADS - PRIVATE
STREET LIGHTS - PRIVATE

OWNER

Judy Snell & Pamela Hansard, Co-Trustees of the Margie E. Sovercool Living Trust
54149 Third Street
Astor, Florida 32102
Phone (352) 455-8120

APPLICANT

Benton B. Leach
Indian Oaks, LLC
300 North Ronald Regan Blvd, Suite 100
Longwood, Florida 32750
Phone (973) 214-9217

ENGINEER

Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482

SURVEYOR

Robert C. Johnson
Altamax Surveying
910 Belle Avenue, Suite 1100
Casselberry, Florida 32708
Phone (407) 677-0200

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
7717 FAX (352) 787-7412
keith@riddle-engineering.com
info@riddle-engineering.com
www.riddle-engineering.com

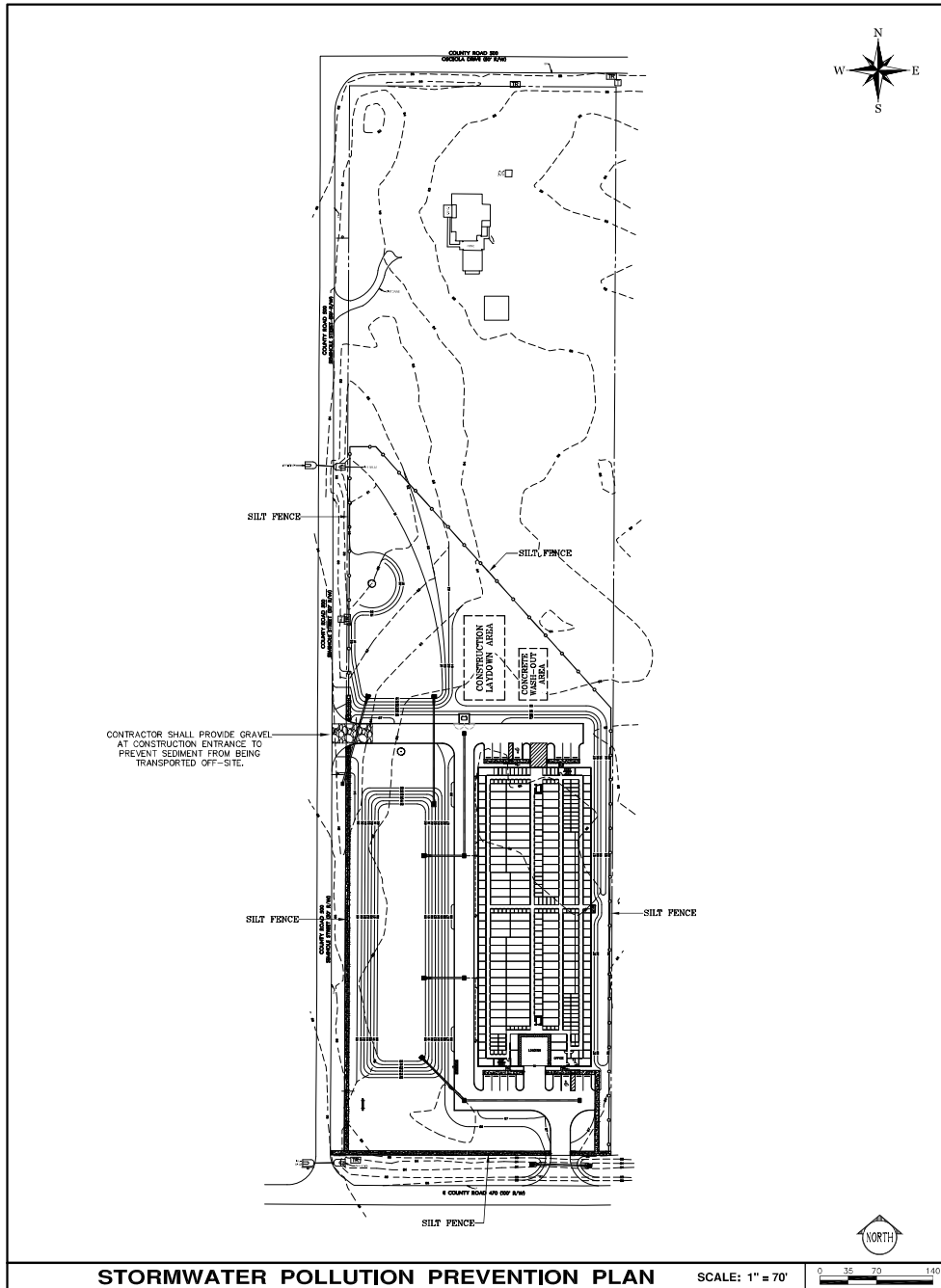
RIDDLE - NEWMAN ENGINEERING INC.
REGISTERED PROFESSIONAL ENGINEER
FLORIDA REG. NO. 12533

KEY PLAN
REV #1
REV #2
REV #3
REV #4
REV #5
REV #6
REV #7
REV #8
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REV #100

Digitally signed by Keith E. Riddle
Date: 2026.05.07
13:39:25 -0400

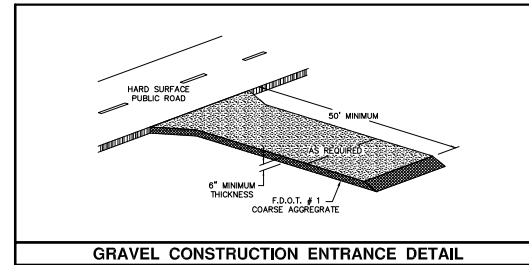
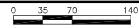
KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

COVER SHEET
INDIAN OAKS SELF STORAGE
FLORIDA
WILDWOOD
C1.1



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 70'

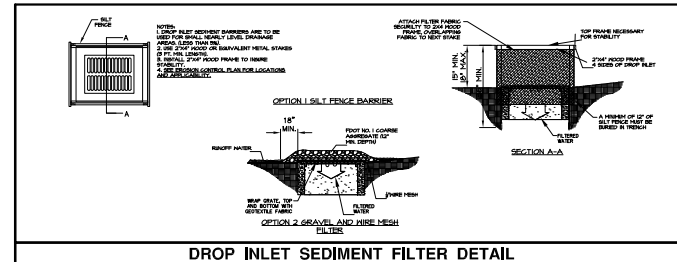


GRAVEL CONSTRUCTION ENTRANCE DETAIL

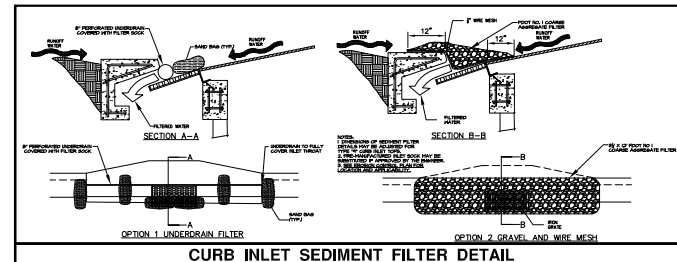
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL "TYPE T" INLETS.

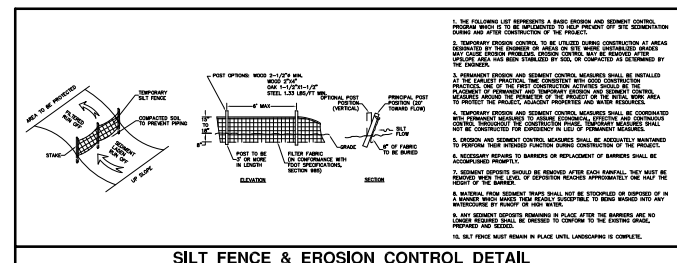
FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES. AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES UNTIL UNDERLAYER BASE IS FINISHED AND PRIMED.



DROP INLET SEDIMENT FILTER DETAIL



CURB INLET SEDIMENT FILTER DETAIL



SILT FENCE & EROSION CONTROL DETAIL

NPDES Requirements

- Federal Law prohibits all point source discharge of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acre) construction activities, to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), i.e., Town, City or County, shall obtain coverage either under a discharge permit or an individual permit.
- The Contractor shall obtain the NPDES permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dep.state.fl.us/water/stormwater/npdes. The Contractor shall be responsible for maintenance of the site in accordance with the SWPPP. The Contractor will be required to comply with all requirements of the SWPPP and have it posted on-site along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Form. The Contractor shall be responsible for all construction activities defined by the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The cost of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5" inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and these inspections are required to be made by a "Qualified" inspector. These inspections must document compliance with the permit and the SWPPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-2522 for additional information on qualified inspectors or additional information on the NPDES requirements.

NPDES REQUIREMENTS

RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBORO, FLORIDA 34448
 PHONE (888) 742-7448
 FAX (888) 767-7412
 keith@riddle-n.com
 info@riddle-n.com
 www.riddle-n.com

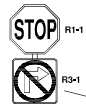
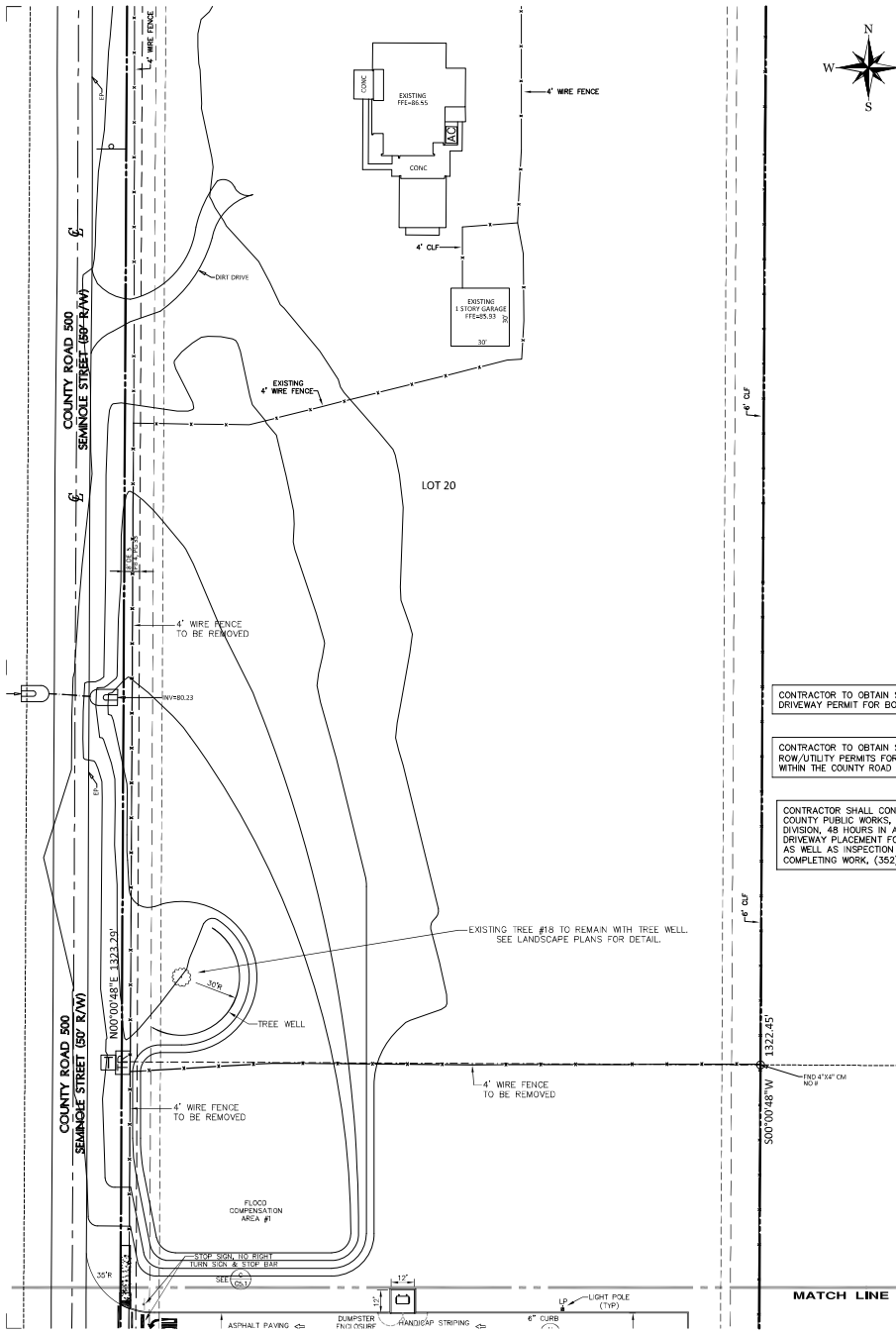
RIDDLE NEWMAN ENGINEERING INC.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 38800

SHEET NO. **C1.2**

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: 1" = 70'
 DATE: 9/23/23
 PROJECT: INDIAN OAKS SELF STORAGE FLORIDA
 DRAWING NO. 23033

REV #1: REVISION PER MILWOOD: 3/17/26 & 4/29/26
 REV #2: REVISION PER MILWOOD & SHIMADA: 1/29/26

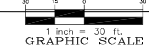
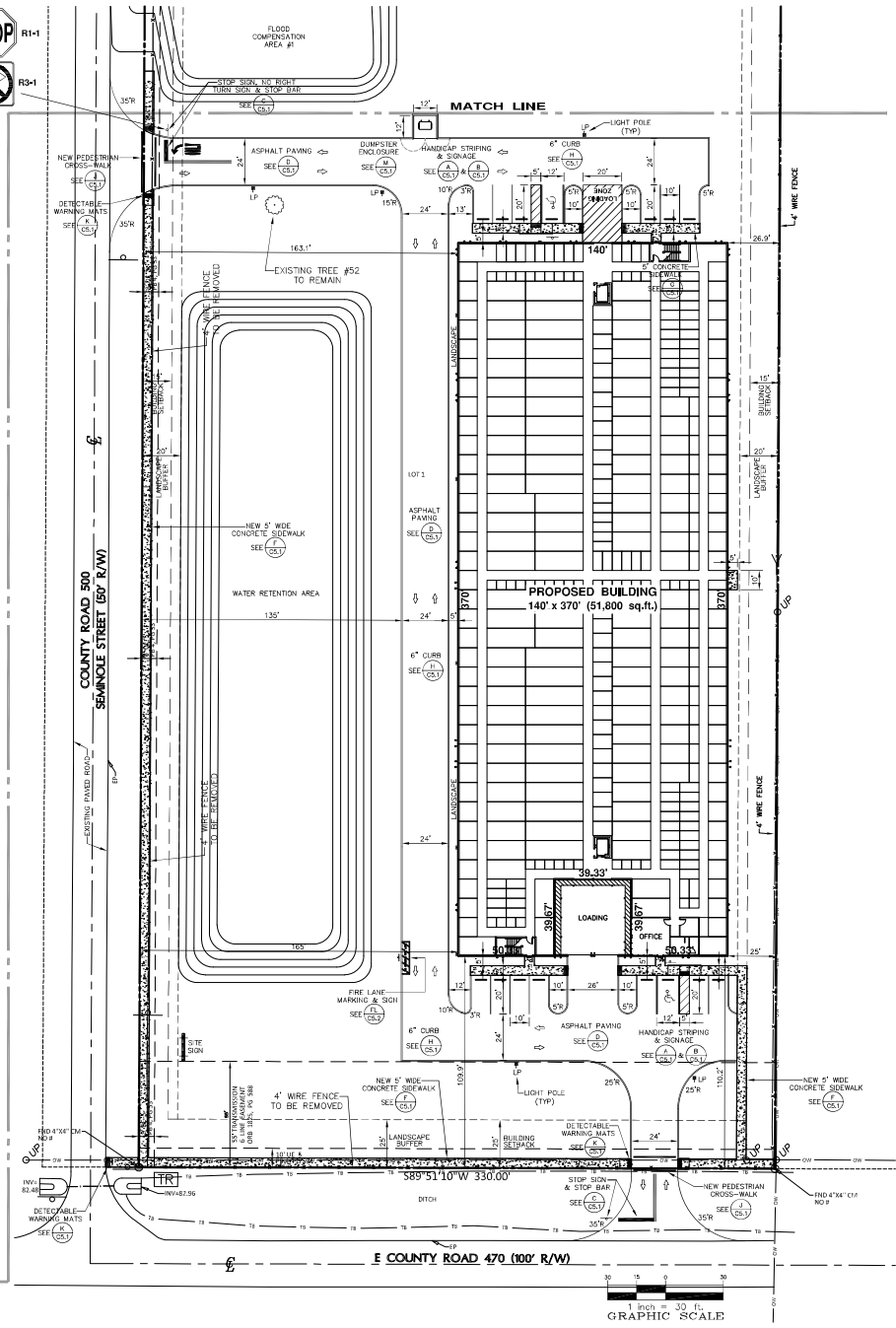
P.L.C. 12/20/24 (Rev. 04/24) Storm Storage © 2025 - FDEP - RIDDLE - NEWMAN ENGINEERING, INC. ALL RIGHTS RESERVED.



CONTRACTOR TO OBTAIN SUMNER COUNTY DRIVEWAY PERMIT FOR BOTH DRIVEWAYS.

CONTRACTOR TO OBTAIN SUMNER COUNTY ROW/UTILITY PERMITS FOR ALL WORK WITHIN THE COUNTY ROAD RIGHT-OF-WAYS.

CONTRACTOR SHALL CONTACT SUMNER COUNTY PUBLIC WORKS, CONSTRUCTION DIVISION, 48 HOURS IN ADVANCE OF DRIVEWAY PLACEMENT FOR INSPECTION AS WELL AS INSPECTION AFTER COMPLETING WORK, (352) 689-4400.



INDIAN OAKS SELF STORAGE
FLORIDA
WILDWOOD

GEOMETRY PLAN

C2.1

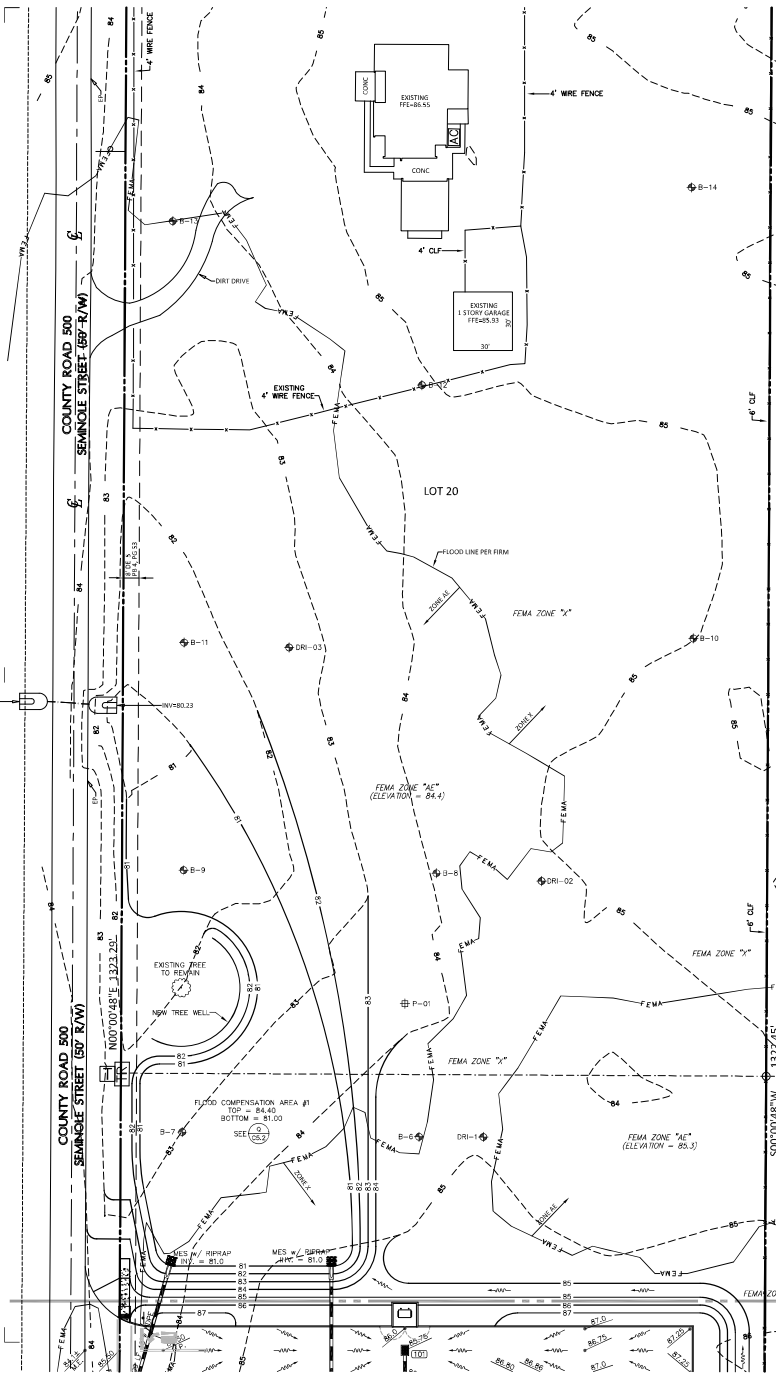
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115 NORTH CANAL STREET
LEESBORO, FLORIDA 34448
TEL: (352) 767-7412
FAX: (352) 767-7412
keith@riddle-nm.com
www.riddle-nm.com

RIDDLE-NEWMAN ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS
FLORIDA LICENSE NO. 38800

KEITH E. RIDDLE, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 38800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=30'
DATE: 9/22/23
PROJECT NO: 2303

FILE: C2.1\Indian Oaks Self Storage
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STORM DRAINAGE SCHEDULE			
INLET/MP#	GRATE ELEV.	INV. ELEV.	TYPE
101	85.75	81.75	"F"
102	86.50	81.01	"F"
103	86.50	82.50	"F"
104	86.00	80.36	"F"
105	86.00	82.00	"F"
106	83.50	81.00	"C"

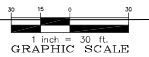
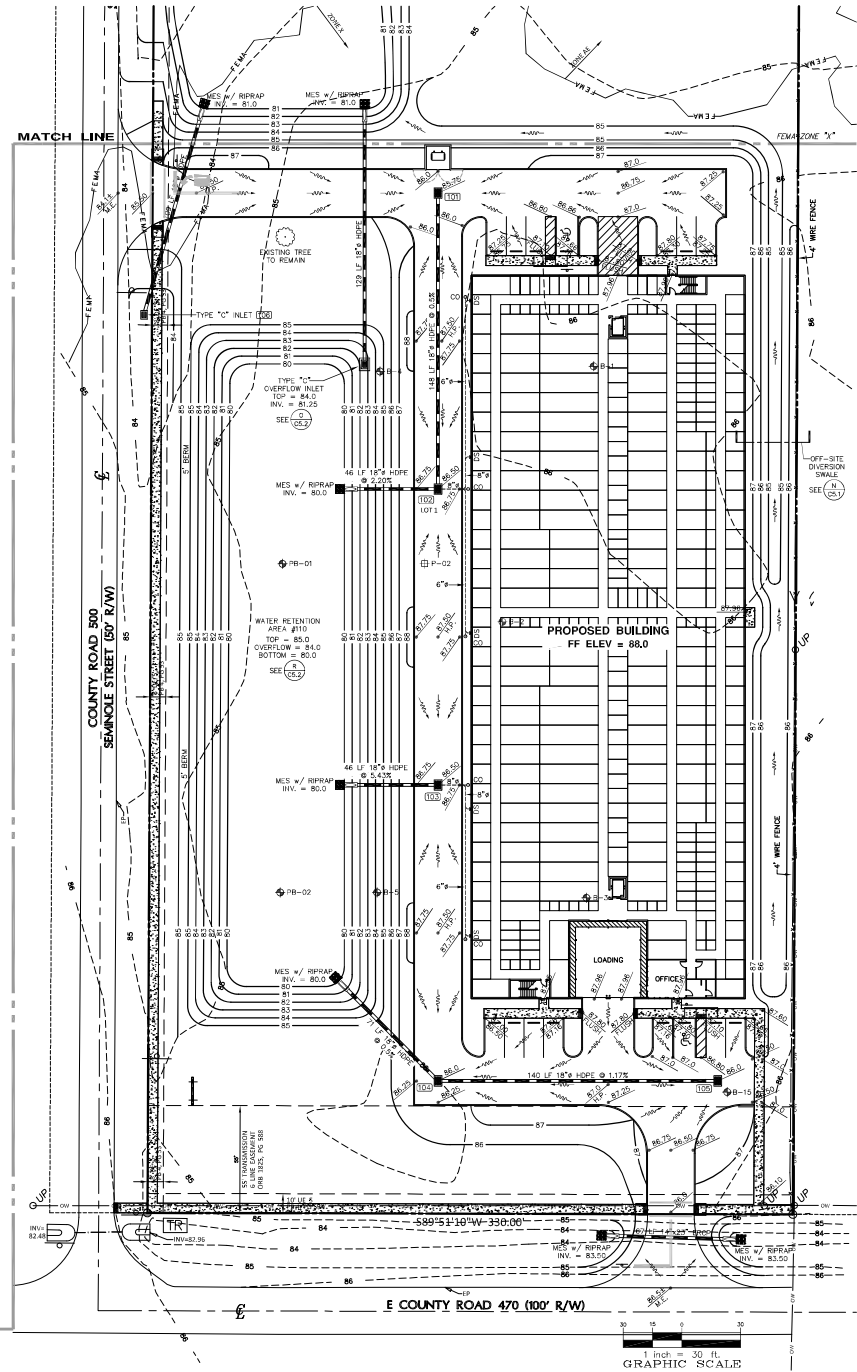
STORM SEWER NOTE:
 ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N. ALL STORM PIPING SHALL BE HANCOCK AASHTO HIDE STORM PIPE OF APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

ALL GRADING OF THIS SITE SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED BY EOS FLORIDA, LLC DATED MARCH 20, 2025. CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND SHALL BE RESPONSIBLE FOR GRADING AND EARTHWORK ALL IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE REPORT.

CONTRACTOR TO OBTAIN SUMTER COUNTY DRIVEWAY PERMIT FOR BOTH DRIVEWAYS.

CONTRACTOR TO OBTAIN SUMTER COUNTY ROW/UTILITY PERMITS FOR ALL WORK WITHIN THE COUNTY ROAD RIGHT-OF-WAYS.



RIDDLE & DRAINAGE PLAN

INDIAN OAKS SELF STORAGE
FLORIDA

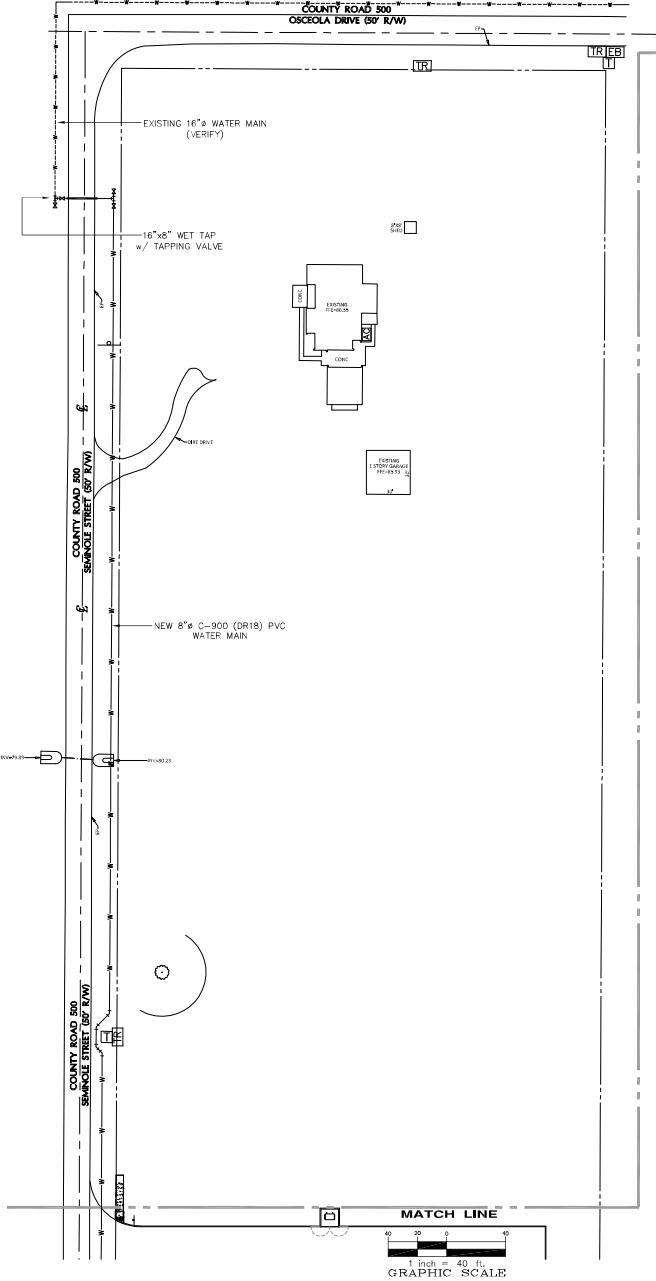
C3.1

DRAWN: R.S.H. CHECKED: K.E.R. SCALE: 1"=30' DATE: 9/22/25 SHEET NO. 23.03

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KEITH E. RIDDLE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

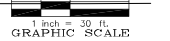
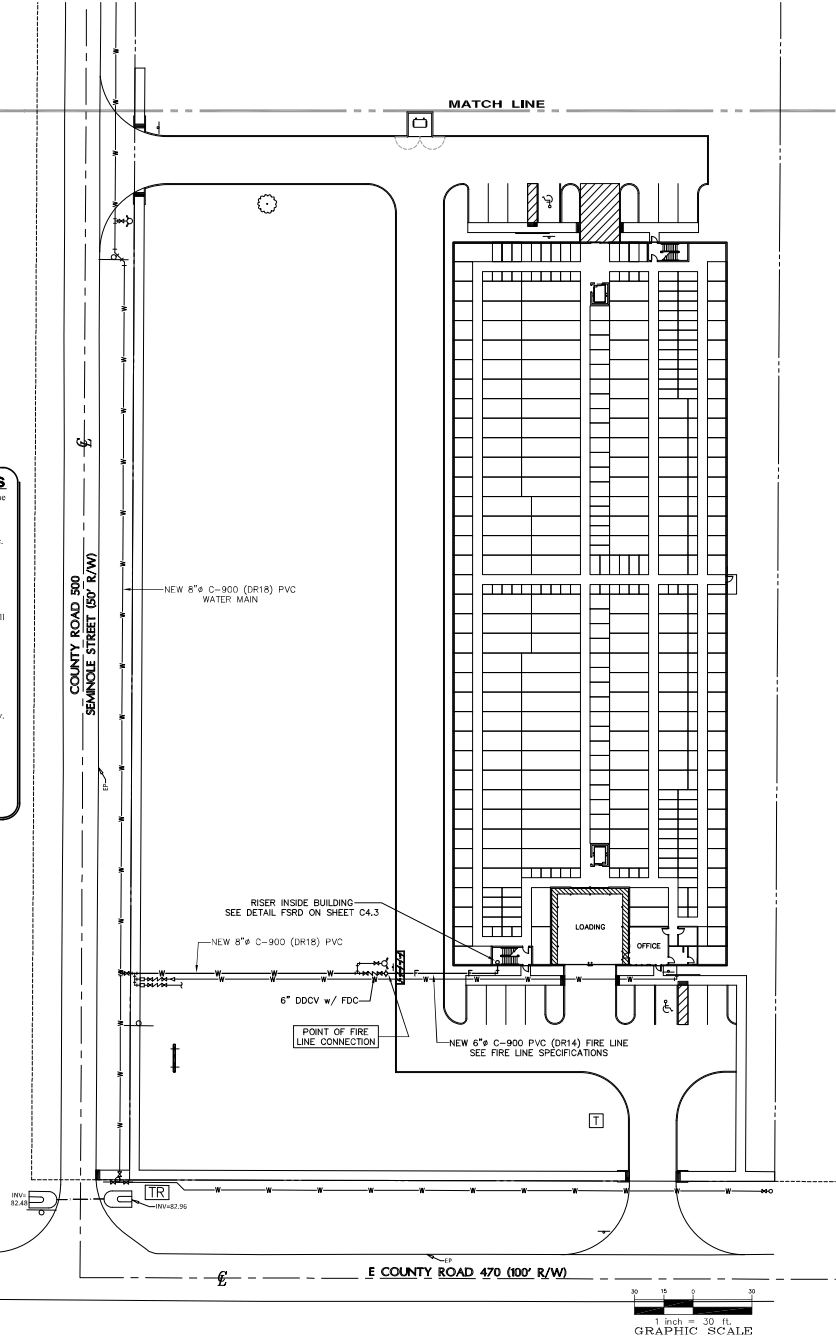
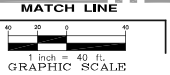


FIRE LINE CONSTRUCTION SPECIFICATIONS

- City of Wildwood shall own and operate the water system supplying water to the fire system.
- Contractor shall provide a sign at each FDC location showing address and building numbers serviced by that FDC.
- Contractor shall provide a sign on the Risers Room door visible from the outside.
- All Fire Line piping shall be DR14 PVC.
- All Fire Line piping shall be flushed and pressure tested.
- All underground installation of rods, nuts, bolts, washers, clamps, and other restraining devices shall be cleaned and thoroughly coated with a Bituminous coating to prevent corrosion.
- FDC shall be equipped with a 4" Sizer Connection.
- Fire Hydrant barrels are to be purchased "Chrome Yellow" and the bonnets shall be painted according to the hydrant flow test by a Certified Contractor.
- A copy of the Fire Line permit shall be posted or otherwise readily accessible and shall be subject to inspection by the AHJ.
- Any activity authorized by any permit issued under the NFPA code shall be conducted by the Permittee or the Permittee's agent in compliance with all requirements of the NFPA code applicable thereto and in accordance with the approved plans and specifications.
- The permit and stamped copy of plans shall be on-site at time of inspection.
- All work shall be inspected for compliance prior to building final fire occupancy. This comprises all subcontract installations to include but not limited to underground, sprinkler, fire alarm, and fire pump. If partial inspections are required they should be scheduled as needed throughout the duration of the project.
- All subcontractors shall be required to submit plans for review and pull permits prior to start of work.
- All work shall conform to NFPA Standards, Florida Administrative Code, Florida State Statutes and Manufacturer Specifications.

FOR FIRE LINE DETAILS SEE SHEET C4.3

NO STREET TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15) FEET FROM ANY FIRE HYDRANT. NO TREE SHALL BE PLANTED IN A LOCATION WHERE THE ROOTS AT MATURITY MIGHT REASONABLY BE EXPECTED TO INTERFERE WITH EXISTING, FUTURE, OR PROJECTED UTILITY LINES.



RIDDLE-NEWMAN ENGINEERING, INC.
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 774 FAX (352) 767-7412
 keith@riddlenewman.com
 JRG@RIDDLENEWMAN.COM

RIDDLE-NEWMAN ENGINEERING INC.

KEITH E. RIDDELE, P.E.
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 38800

DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: AS SHOWN
 DATE: 9/22/23
 PROJECT NO. 23033

FIRE LINE PLAN
 INDIAN OAKS SELF STORAGE
 FLORIDA
 WILDWOOD

SHEET NO.
C4.2



Project Review Committee Technical Standards Waiver Request

Project Name Indian Oaks Self Storage

Project # A25-3741

1. Briefly describe your waiver request.

Request to allow substitution of required buffer canopy trees for understory trees on the CR 470 frontage of the project and the relocation of the required buffer.

2. Please cite the subsection of the Land Development Regulations of which you are requesting a waiver.

DDS G (1), (2), (3)

3. Please provide the justification for your waiver request.

A 55' Transmission Line easement (ORB 1825, PG 588) runs all the way across the E CR 470 frontage. A 25' landscape buffer is required for that property boundary. To avoid placing canopy trees under the existing power lines, the required canopy trees are substituted with understory trees. The entire landscape buffer is moved to the back edge of the 55' easement as shown. This will avoid conflict between the trees and the overhead utilities.

Name (Print) L.R. Huffstetler III

Date 01-29-2026

Signature _____

FOR OFFICE USE ONLY

___ recommends approval

___ recommends approval with the following conditions:

___ recommends denial/table item/other: _____

Date: _____

Melanie D. Strickland, CPM, AICP
Chairwoman, City of Wildwood Project Review Committee



City of Wildwood
Development Services
Department 100 North Main Street
Wildwood, FL 34785
Tel: 352.330.1334
Fax: 352.330.1338
www.wildwood-fl.gov

PROJECT REVIEW COMMITTEE TECHNICAL STANDARDS WAIVER REQUEST

PROJECT NAME: Indian Oaks Self Storage

PROJECT NUMBER: A25-3741

- Briefly describe your waiver request:
Request to reduce the number of required parking spaces for a Personal Self Storage facility from 51 to 15.
- Please cite the subsection of the Land Development Regulations of which you are requesting a waiver:
LDR Section 6.6 (G), Table 6-12.
- Please provide the justification for your waiver request:
See attached Waiver request letter along with sample projects of similar nature.

Name (print): Keith E. Riddle, P.E.

Date: 1/29/2020

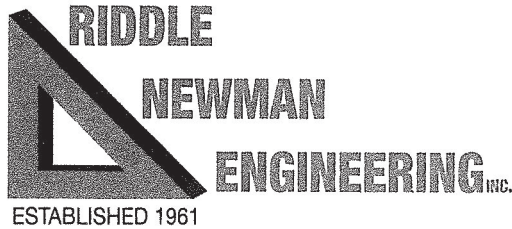
Signature: 

FOR OFFICE USE ONLY

- recommends approval
- recommends approval with the following conditions:

- recommends denial/table item/other: _____

Melanie D. Strickland, CPM, AICP
Chairwoman, City of Wildwood Project Review Committee



January 29, 2026

City of Wildwood Development Services
100 North Main Street
Wildwood, FL 34785

**RE: Indian Oaks Self Storage
Project #A25-3741
Parking Waiver Justification**

On behalf of Indian Oaks, LLC, we are hereby requesting a Waiver from the Land Development Regulations for the number of required parking spaces for this Personal Self-Storage facility.

The City of Wildwood Land Development Regulations Section 6.6 (G) Table 6-12 requires customer parking at the rate of 1 space for each 2000 square feet of building area for facilities classified as "Storage". For the proposed building at Indian Oaks Self Storage (102,000 square feet), that would equate 51 required parking spaces.

The City of Orlando has a code requirement of three (3) parking spaces at the Manager's Office. Our client developed the attached Bruton Self Storage project in Orlando with a building size of 113,100 square feet and they provided ten (10) parking spaces.

The City of Leesburg approved a similar project for our office where they required four (4) parking spaces at the office for a facility with 77,500 square feet. We provided five (5) spaces (including one handicap). See attached example of Lakeside Storage.


The term "Storage" in the code is likely associated with Warehouse type Storage where there might be numerous employees along with customers visiting. "Personal Self Storage" facilities do not generate that kind of vehicular traffic. There will only be one employee on duty and people utilizing "personal self storage" visit their storage units very infrequently. Unfortunately, the City Code does not have a designation for Personal Self Storage.

Based on this historic data and the experience of our client, we feel that the 15 spaces we are proposing for the Indian Oaks project is more than sufficient to meet the needs. The Owners have designed, built, and operated numerous other facilities of this nature and they feel the parking shown will meet the needs for this Personal Self Storage use.

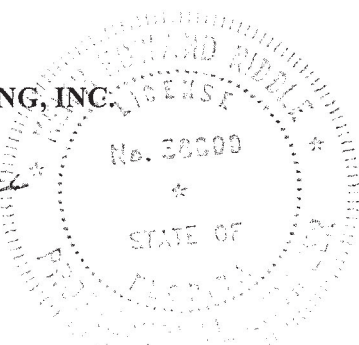
Should you have any questions, please do not hesitate to call.

Respectfully submitted,

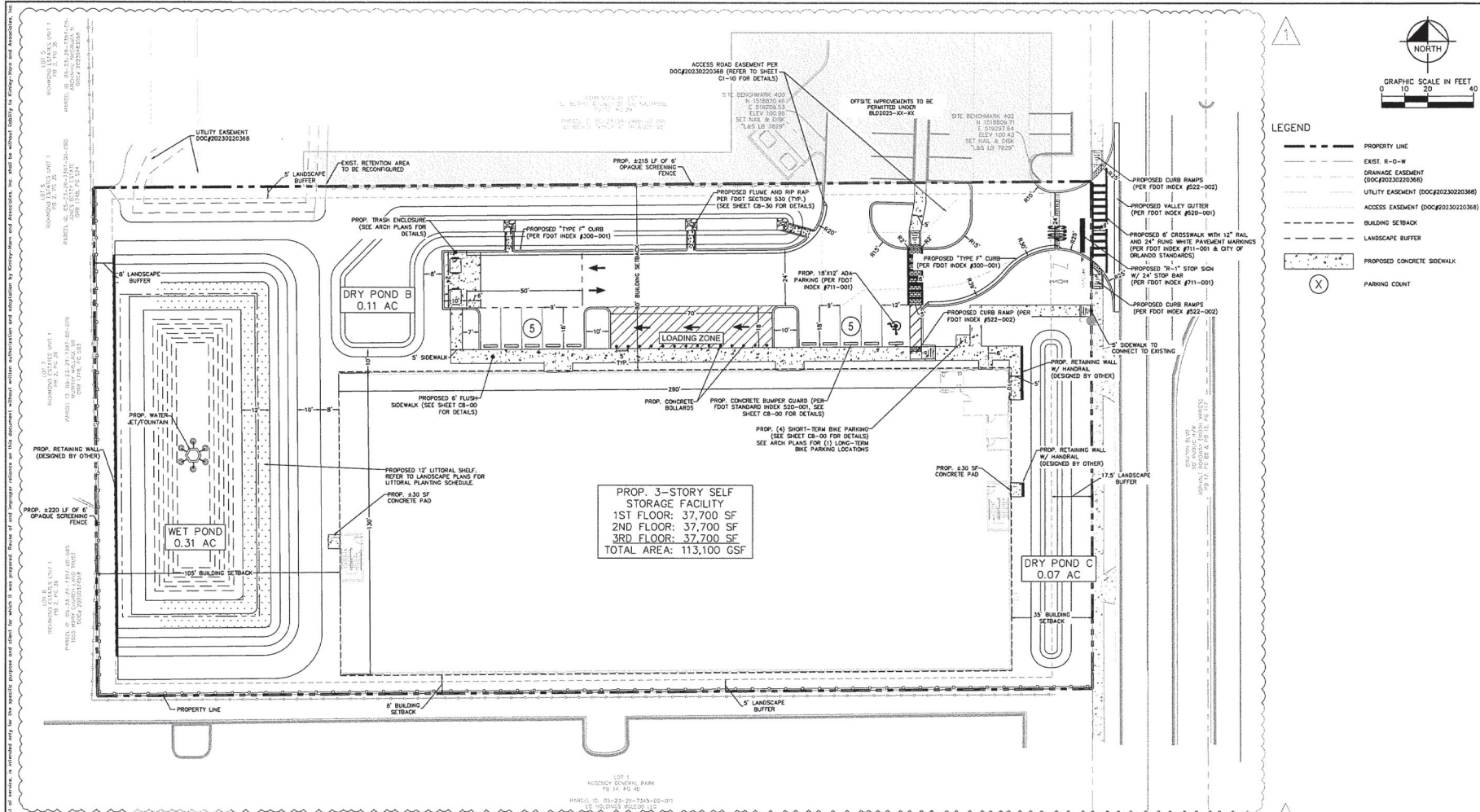
RIDDLE - NEWMAN ENGINEERING, INC.


Keith E. Riddle, P.E.
Florida Registration No. 38800

1/29/2026



Civil Engineering
Structural Engineering
Land Development
Drinking Water
Wastewater
Stormwater Management
Environmental Permitting



- LEGEND**
- PROPERTY LINE
 - - - EXIST. R-O-W
 - - - DRAINAGE EASEMENT (DOC#20230220348)
 - - - UTILITY EASEMENT (DOC#20230220348)
 - - - ACCESS EASEMENT (DOC#20230220348)
 - - - BUILDING SETBACK
 - - - LANDSCAPE BUFFER
 - - - PROPOSED CONCRETE SIDEWALK
 - - - PARKING COUNT

DATE	1/13/24	DATE	
REVISIONS		REVISIONS	
NO.		NO.	
BUILDING COMMENTS			
Kimley»Horn			
LICENSED PROFESSIONAL			
BRANDON SANSBRO, P.E.			
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.			
200 S. ORANGE AVENUE, SUITE 500, ORLANDO, FL 32801			
WWW.KIMLEY-HORN.COM/REGISTRY#63596			
DATE	03/15/2025	DATE	
PROJECT	249296002	PROJECT	
SCALE	AS SHOWN	SCALE	
DRAWN BY	RNE	DRAWN BY	
CHECKED BY	W	CHECKED BY	
DATE		DATE	
NO.		NO.	
OVERALL SITE PLAN		FLORIDA	
BRUTON SELF STORAGE		CITY OF ORLANDO	
SHEET NUMBER		C2-00	

SITE DATA

TOTAL SITE AREA:	22.16 AC (94,285 SF)
PARCELS, I.D.:	03-23-29-2483-00-011
FUTURE LAND USE:	I-P
EXISTING USE:	I-P
PROPOSED ZONING:	I-P
EXISTING ZONING:	I-P
PROPOSED ZONING:	I-P

AREA BREAKDOWN:

PAVEMENT:	0.32 AC
BUILDING:	0.87 AC
WET POND:	0.31 AC
TOTAL IMPERVIOUS:	1.50 AC
DRY POND A:	0.03 AC
DRY POND B:	0.11 AC
DRY POND C:	0.07 AC
LANDSCAPE:	0.55 AC
TOTAL PERVIOUS:	0.66 AC
TOTAL SITE AREA:	2.16 AC

BUILDING INFO

3-STORY BUILDING	SE PER FLOOR	GROSS AREA
		113,100 SF

PARKING REQUIREMENTS

PER CITY OF ORLANDO LDC (CH. 61, PART 3, SEC 61.322)

REQUIRED

PERSONAL STORAGE FACILITIES: 3 SPACES AT MANAGERS OFFICE

REQUIRED AUXILIARY PARKING

SHORT TERM BIKE PARKING: 4 SPACES

LONG TERM BIKE PARKING: 1 SPACES

PROMOTED PARKING

REGULAR SPACES (9'x16'): 9 SPACES

ADA SPACES (12'x18'): 1 SPACES

TOTAL: 10 SPACES

AREA & DIMENSION REGULATIONS

PER CITY OF ORLANDO CUP 2023-10032

*VARIANTE APPROVED UNDER CUP 2023-10032

***BUILDING HEIGHT**

MAX HEIGHT	REQUIRED	PROPOSED
FRONT (EAST):	35 FT	35 FT
SIDE (NORTH):	80 FT	80 FT
SIDE (SOUTH):	8 FT	8 FT
REAR (WEST):	105 FT	105 FT

***BUILDING SETBACKS**

FRONT (EAST):	REQUIRED	PROPOSED
FRONT (EAST):	35 FT	35 FT
SIDE (NORTH):	8 FT	8 FT
SIDE (SOUTH):	5 FT	5 FT
REAR (WEST):	8 FT	8 FT

***LANDSCAPE BUFFERS**

FRONT (EAST):	REQUIRED	PROPOSED
FRONT (EAST):	17.5 FT	17.5 FT
SIDE (NORTH):	5 FT	5 FT
SIDE (SOUTH):	5 FT	5 FT
REAR (WEST):	8 FT	8 FT

VERTICAL DATUM

THE VERTICAL DATUM USED FOR THIS PROJECT IS NAVD83.

- GENERAL SITE NOTES:**
- REMANENT SITE SURFACE AND STROPPING WILL BE IN ACCORDANCE WITH THE CITY OF ORLANDO LDC, REGULATORY SCIENCE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD (2009 ED.), AND FOOT STANDARD INDEX #711-00.
 - ALL CURB RADIUS ARE 3'-FT UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS ABUTTING PARKING SHALL BE "THICKENED EDGE SIDEWALKS" (SEE DETAIL SHEET CB-00 FOR DETAILS).
 - ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE SOODED UPON COMPLETION OF CONSTRUCTION.
 - ANY SIDEWALKS FRONTING THE PROPERTY THAT IS CRACKED, DAMAGED, UNSTABLE, OR THAT IS CREATING ADA MOBILITY HAZARDS, MUST BE REPAIRED BY SECTION USING FOOT STANDARD PLANS INDEX #520-001, #522-001, AND #522-002 FOR THE CONSTRUCTION OF SIDEWALKS AND MEET CURRENT ADA STANDARDS.
 - ALL CONCRETE PLACED IN THE RIGHT-OF-WAY SHALL BE A MINIMUM OF 4" THICK, FOOT CLASS-1 NON-STRUCTURAL, 2,500 PSI CONCRETE, WITH FIBER MESH MATERIAL FROM A STATE APPROVED PLANT.
 - DURING CONSTRUCTION WHEN COMBUSTIBLES ARE BROUGHT ON SITE, ACCESS ROADS AND A SUITABLE SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT, SHALL BE PROVIDED AND MAINTAINED PER CHAPTER 16, NFPA 1 2012 EDITION (FFPC 5TH EDITION).

- GENERAL SITE NOTES (CONT.):**
- SIDEWALKS AND CURBS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA FOOT AND CITY OF ORLANDO DESIGN STANDARDS.
 - ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO CITY OF ORLANDO DESIGN STANDARDS.
 - ALL DRIVEWAYS ARE TO BE CONSTRUCTED PER CITY OF ORLANDO DRIVEWAY DETAIL SHEET 2.
 - ALL DIMENSIONS SHOWN ARE TO FACE-OF-CURB, UNLESS OTHERWISE NOTED.
 - PRIVATE SIDEWALKS MUST NOT CONNECT DIRECTLY TO PUBLIC SIDEWALKS. IF MUST BE CONSTRUCTED WITH A BREAK AND EXPOSED JOINT AT THE PROPERTY LINE OR PUBLIC SIDEWALK.
 - ALL EXISTING APRONS AND CURBS WILL BE REMOVED, ADD 300 AND RESTORE CURB TO MATCH EXISTING, PROPOSED APRON SHALL BE IN COMPLIANCE WITH CITY OF ORLANDO ESM DETAIL SHEET #2.
 - ANY CURB, GUTTER, AND/OR SIDEWALK DISTURBED BY THIS WORK IS TO BE RESTORED TO MEET THE CITY OF ORLANDO STANDARDS.
 - CROSSWALKS CONNECTING PEDESTRIAN WALKWAYS ACROSS PARKING LOT DRIVE ALLEYS SHALL BE INSTALLED AND CONSTRUCTED TO APPEAR VISUALLY IDENTICAL FROM THE ADJACENT DRIVING SURFACES THROUGH THE USE OF COLORED OR TEXTURED CONCRETE. ALL CROSSWALKS SHALL BE ADA COMPLIANT.

- GENERAL SITE NOTES (CONT.):**
- EXISTING DUMPSTER AND ACCESS TO DUMPSTER IS TO REMAIN UNITS. THE RELOCATED DUMPSTER UNDER BLDG205-XXXXX IS CONSTRUCTED.

ADJACENT ZONING = C-3

S89°45'E 731.85' (0)
S89°36'03"E 732.80' (M)
764.82'

NORTH LINE OF THE SE 1/4 OF THE NE 1/4 OF SECTION 3-20-24



ADJACENT ZONING = R-2

WETLANDS

WATER RETENTION AREA

BUILDING 1
46,107 sq.ft.

BUILDING 3
10' x 350' (3,500 sq.ft.)

BUILDING 4
55' x 315' (17,325 sq.ft.)
COVERED PARKING ONLY

BUILDING 2
20' x 530' (10,600 sq.ft.)

ADJACENT ZONING = C-3

GEOMETRY PLAN
SCALE: 1"=30'



CONTRACTOR SHALL OBTAIN LAKE COUNTY DRIVEWAY PERMIT FOR CONNECTION TO C-25A PRIOR TO CONSTRUCTION WITH THE ROW.

NORTHEASTERLY RIGHT OF WAY LINE OF OLD STATE ROAD NO. 33

U.S. HIGHWAY NO. 27 (SOUTH BOUND)

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GEOMETRY PLAN

LAKESIDE STORAGE
FLORIDA

C2.1

DATE: 11/13/2018
DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: 1"=30'

REV # AS-BUILT PERM CONTRACTOR 2/7/2020
REV # REVISION FOR FOOT & CITY OF LEESBURG 10/29/18
REV # REVISION FOR FOOT & CITY OF LEESBURG 7/11/18
REV # REVISION FOR SPANND 5/11/18

PROJECT NO. 1612
CLIENT: KOTH E. RIDDLE, P.E.
P.L.A. REGS. NO. 38800

RIDDLE - NEWMAN ENGINEERING, INC.
LEEBSBURG, FLORIDA 32748
PHONE: (352) 795-7412
WWW.RIDDLENEWMAN.COM
CITY: ODOBOSHEE

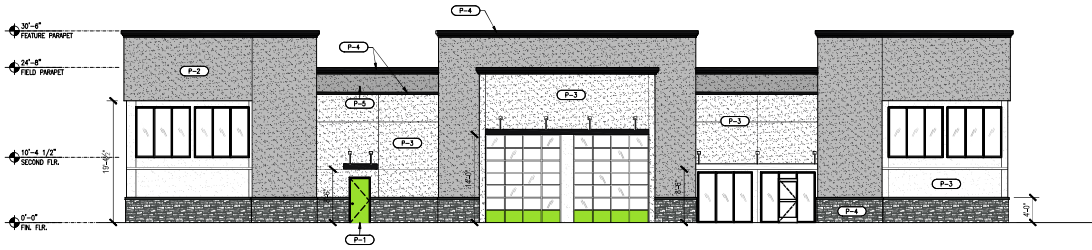




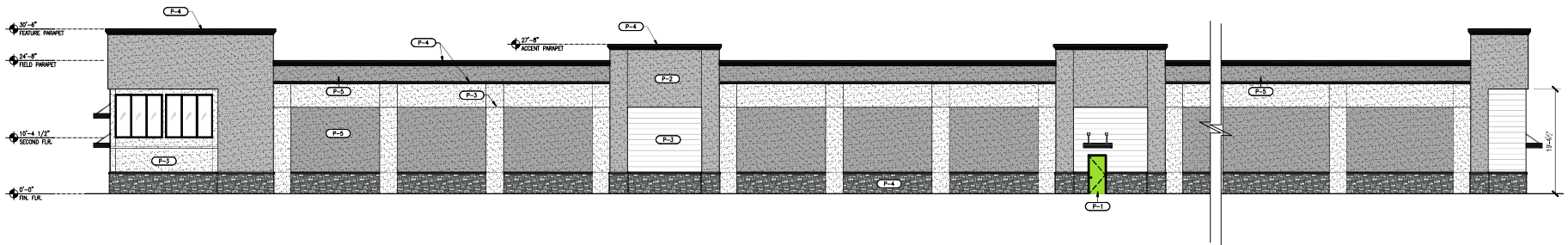




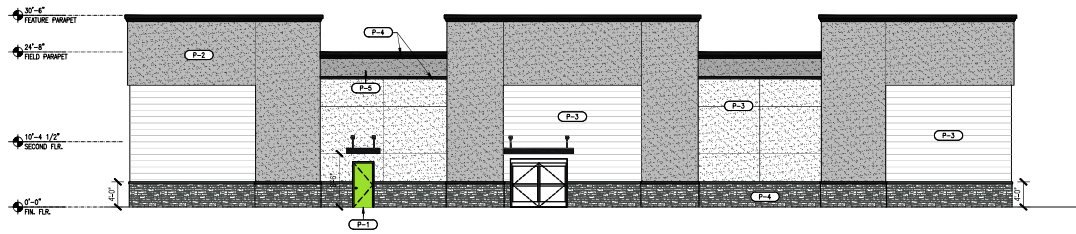




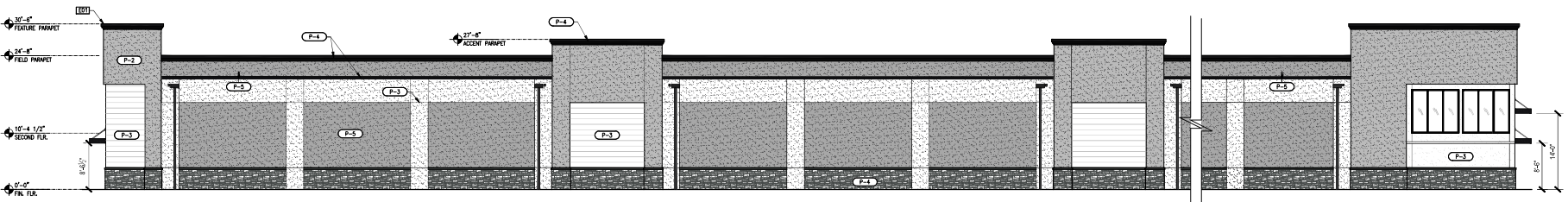
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Scale: 1/8" = 1'-0"



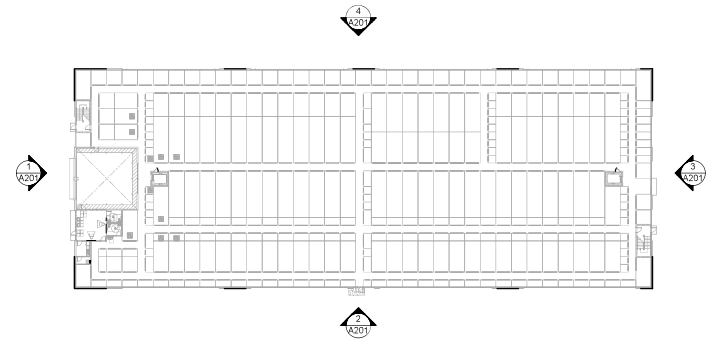
2 East Exterior Elevation
Scale: 1/8" = 1'-0"



3 North Exterior Elevation
Scale: 1/8" = 1'-0"



4 West Exterior Elevation
Scale: 1/8" = 1'-0"



5 Key Plan
Scale: 1/32" = 1'-0"

SHERWIN WILLIAMS PAINT COLORSMATCH

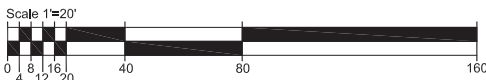
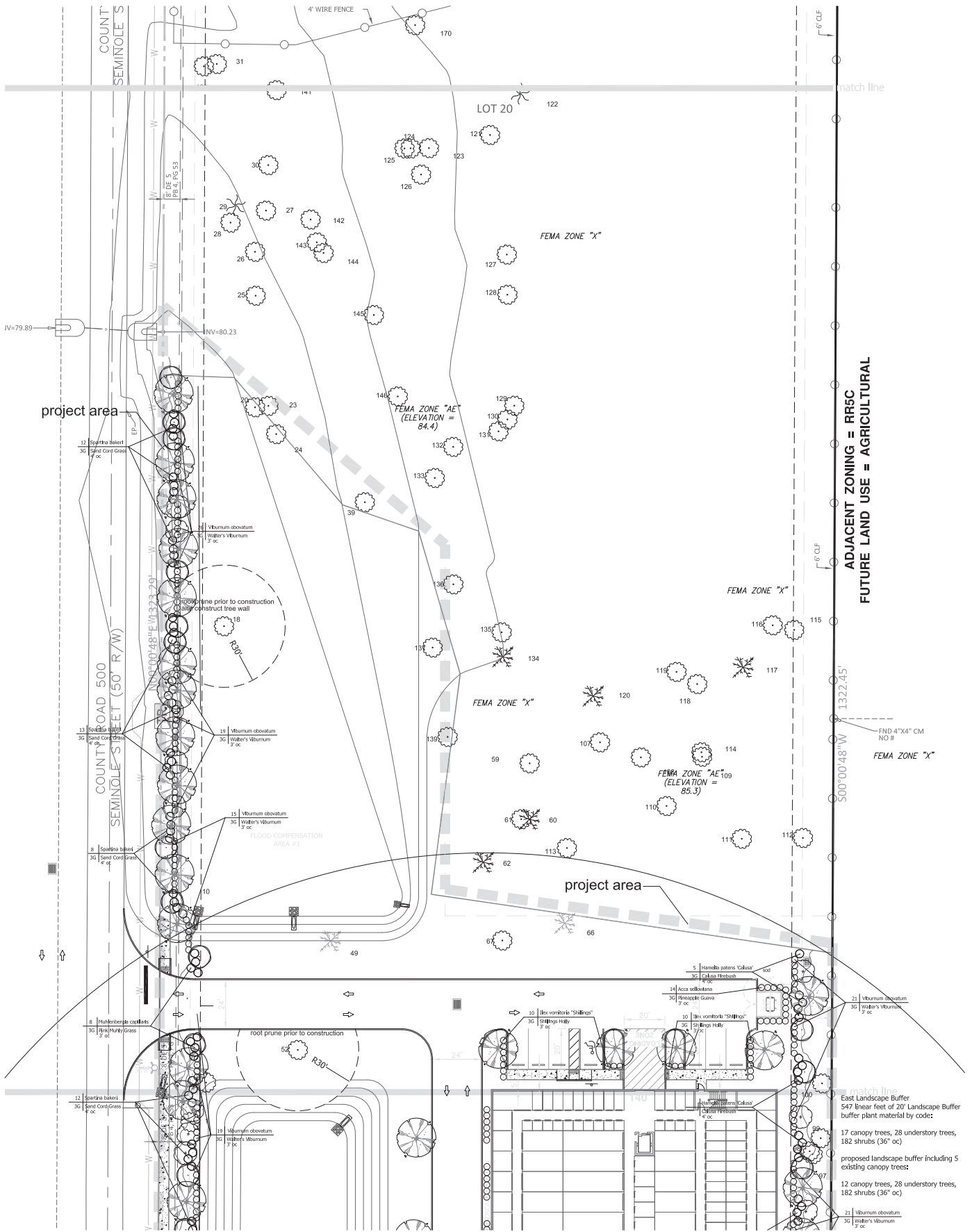
P-1 WASABI GREEN EXTRASPACE STORAGE	P-2 GAUNTLET GRAY SW 7019	P-3 PURE WHITE SW 7005	P-4 TRICORN BLACK SW 6258	P-5 REPOSE GRAY SW 7015
--------------------------------------------------	----------------------------------------	-------------------------------------	----------------------------------------	--------------------------------------

ARCHITECT: ANDREW LIS
LIS ARCHITECTURE
 ENGINEERING
 1400 BENTLEY CENTER DRIVE
 SUITE 200
 FORT WORTH, TEXAS 76104
 PHONE: 817.342.1100
 FAX: 817.342.1101
 WWW: LISARCHITECTURE.COM

PROJECT: SHADOWBROOK DEVELOPMENT
Shadowbrook DEVELOPMENT
 SELF-STORAGE AND INDUSTRIAL REAL ESTATE
 300 DONALD REAGAN BLVD, STE 100
 LINDSEYWOOD, FLORIDA 32750

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Shadowbrook DEVELOPMENT
 STORAGE FACILITY
 277 C.R. 900
 WILDWOOD, FLORIDA 32105
 SHEET TITLE: Exterior Elevations

DESIGNER	DATE
RELEASER	DATE
PROJECT NO.	2025-015
ISSUE DATE	JUL
DRAWN	CHECKED
SHEET NO.	A201



scale: 1"=20'
when plotted on
24" x 36" sheet

sheet:
of: **6 L3**

revisions:	date:	description:

Drawing date: 09-24-2025



**Indian Oaks
Self Storage**
Wildwood, Florida

**Landscape and
Irrigation Plan**



L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 536-5254

HUFFSTETLER
Landscape Architecture & Planning
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www.lrhuffstetler.com

L.R. Huffstetler 311 - Lic. # 0000744

**PROJECT REVIEW COMMITTEE OF THE CITY OF WILDWOOD
EXECUTIVE SUMMARY**

SUBJECT: 25-1500 Preston Place Commercial Site

REQUESTED ACTION: Staff recommends approval.

CONTRACT:

BUDGET IMPACT:

HISTORY/FACTS/ISSUES:

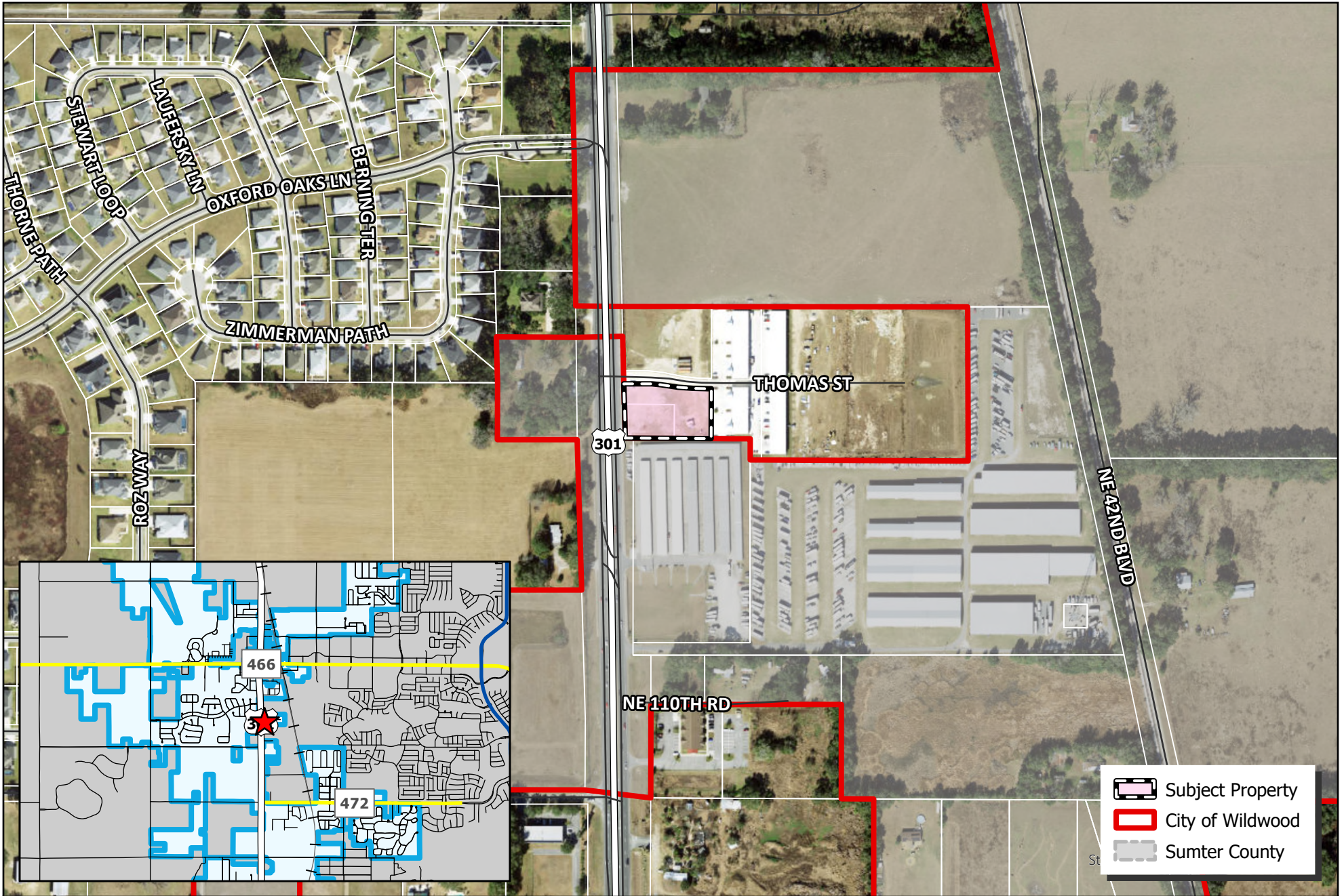
Case Number	25-1500 - Preston Place Commercial Site
Owner/Applicant	CW4 Inc. / Winston Bailey
Acreage	1.10 +/-
Property Location	The subject property is generally located on the east side of N US 301, south side of Thomas Street, and approximately a mile from the intersection of N US 301 and E C 466.
Parcel Number	D17M002
Date	May 29, 2026




The applicant is seeking a favorable recommendation from the Project Review Committee for a 5,200 SF medical office with infrastructure improvements on 1.10 acres MOL, per the attached plans. The proposed building elevations will maintain the aesthetics of the existing buildings throughout the Preston Place commercial development.

25-1500 meets the criteria set forth within the Land Development Regulations, the Design District Standards, and is in line with the goals, objectives, and policies of the 2050 Comprehensive Plan.



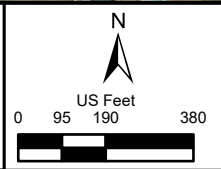
McKenna Page
Planner II, Development Services



-  Subject Property
-  City of Wildwood
-  Sumter County



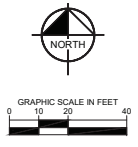
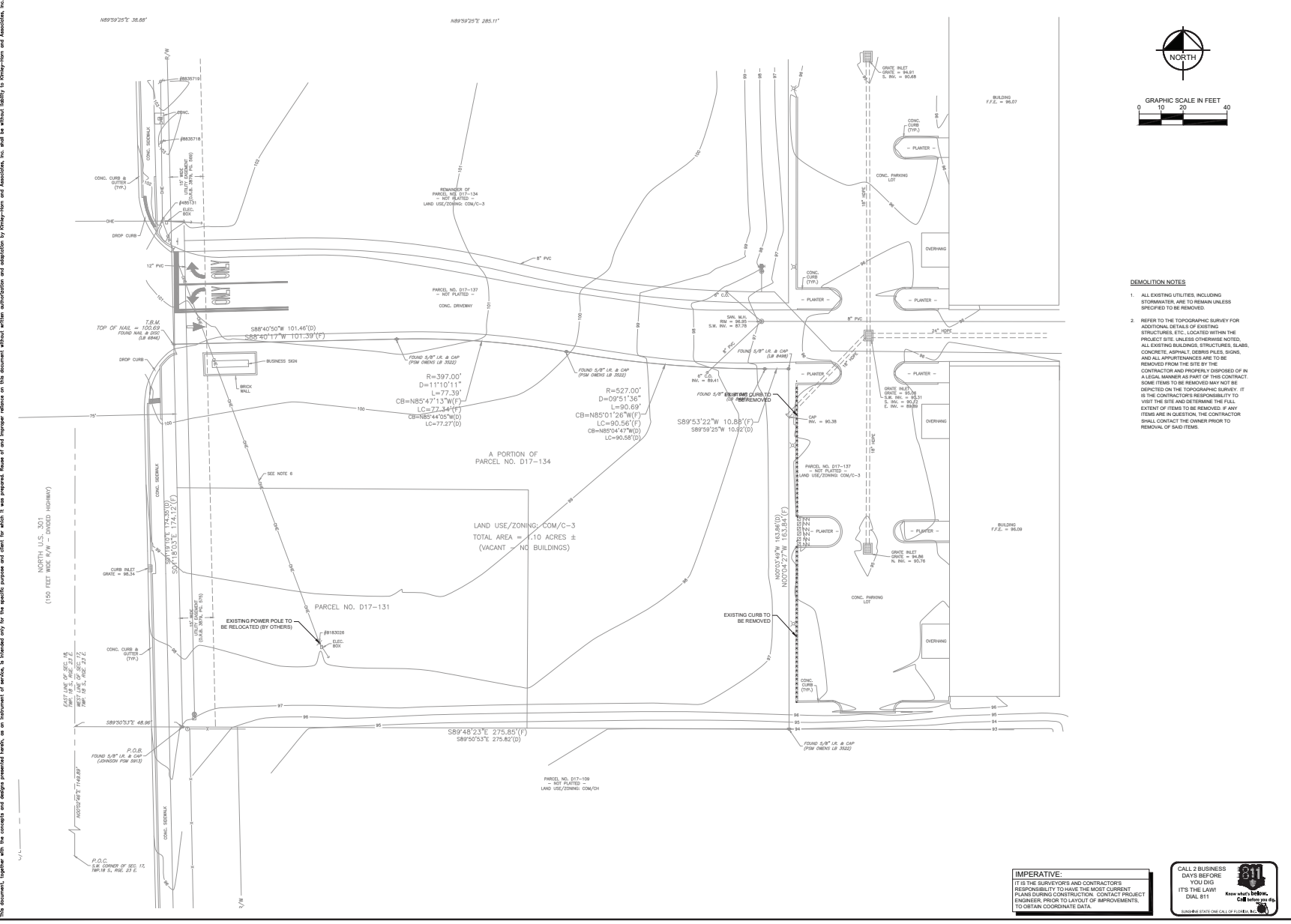
CITY OF WILDWOOD
 100 North Main Street
 Wildwood, FL 34785
 Phone: (352) 330-1330
www.wildwood-fl.gov



#A25-1500
PRESTON PLACE COMMERCIAL SITE
 PARCELS D17-131 & D17-134

MAP 1B
LOCATION
MAP
APR 2026

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DEMOLITION NOTES

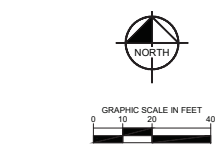
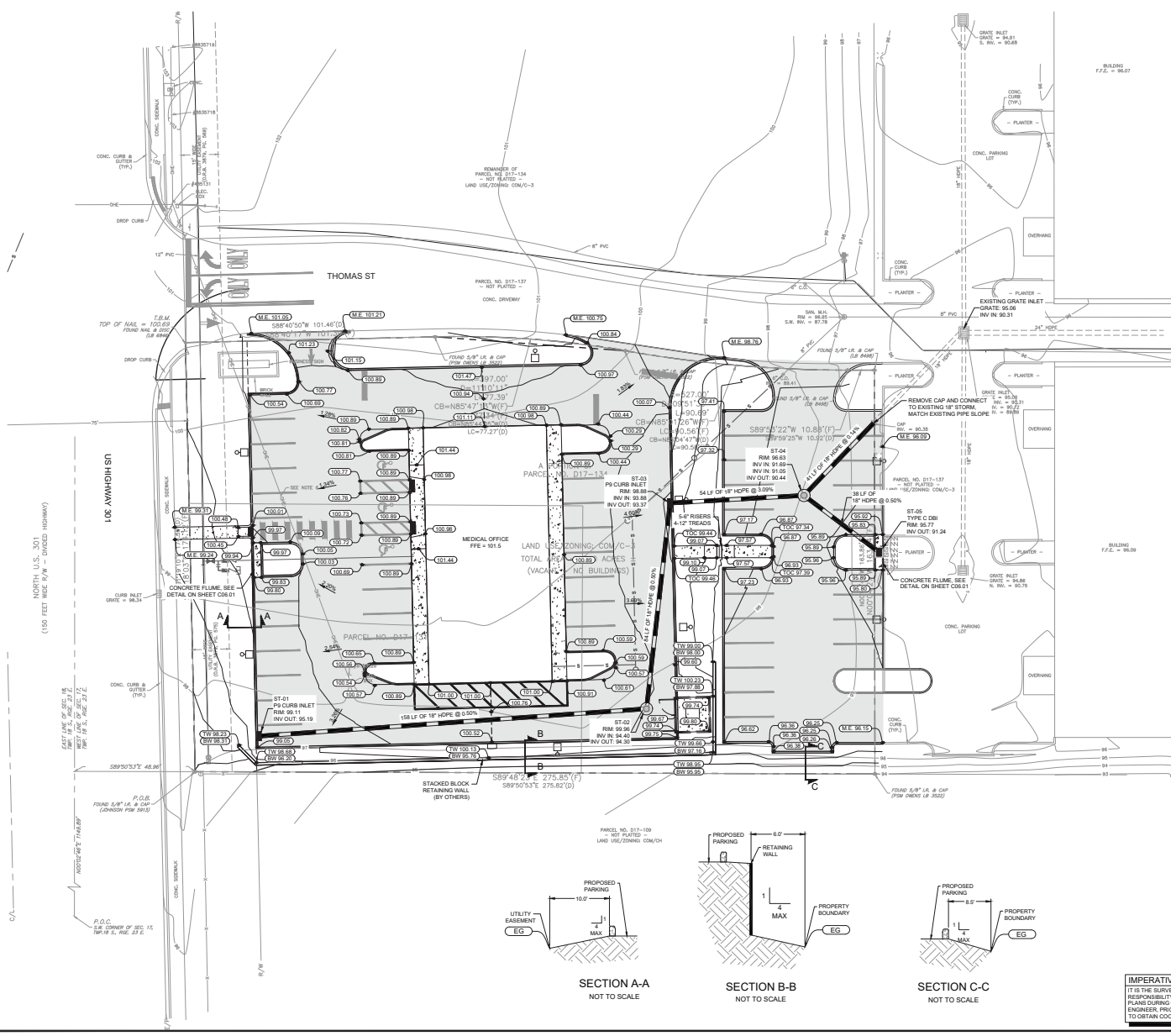
1. ALL EXISTING UTILITIES, INCLUDING STORMWATER ARE TO REMAIN UNLESS SPECIFIED TO BE REMOVED.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE, UNLESS OTHERWISE NOTED. ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, CURBS, PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE IDENTIFIED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

IMPERATIVE:
 IT IS THE SURVEYORS AND CONTRACTORS RESPONSIBILITY TO HAVE THE MOST CURRENT PLANS DURING CONSTRUCTION. CONTACT PROJECT ENGINEER PRIOR TO LAYOUT OF IMPROVEMENTS TO OBTAIN COORDINATE DATA.

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PRESTON PLACE COMMERCIAL SITE PREPARED FOR CWA4, INC. CITY OF WILDWOOD, FLORIDA	KHA PROJECT 142920002	LICENSED PROFESSIONAL PHILIP H. SMITH, P.E. FLORIDA LICENSE NUMBER 97462	DATE _____
	KHA PROJECT 142920002 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY KHA CHECKED BY KHA	DATE MARCH 2026	DATE _____
EXISTING CONDITIONS AND DEMOLITION PLAN	KHA PROJECT 142920002	LICENSED PROFESSIONAL PHILIP H. SMITH, P.E. FLORIDA LICENSE NUMBER 97462	DATE _____
SHEET NUMBER C02.01	KHA PROJECT 142920002	LICENSED PROFESSIONAL PHILIP H. SMITH, P.E. FLORIDA LICENSE NUMBER 97462	DATE _____

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- NOTES:**
1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
 2. ALL SIDEWALK CONSTRUCTION SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
 3. UNLESS SPECIFICALLY NOTED STORM PIPE MATERIALS SHALL BE A 2000 PVC 18" STORM RIGID WALL WATER TIGHT HOPE, OR RCP, AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 4. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
 5. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY TO BE SOCCED WITH BAHA.
 6. ROOF DRAIN CONNECTION SERVICE PIPES TO MAINTAIN A 100% MINIMUM SLOPE, CONNECT TO MAIN STORM PIPES WITH WATER TIGHT, SEALED CONNECTION. CONTRACTOR TO USE INSERT-A-TEEP PRODUCT OR ENGINEER-APPROVED EQUAL.

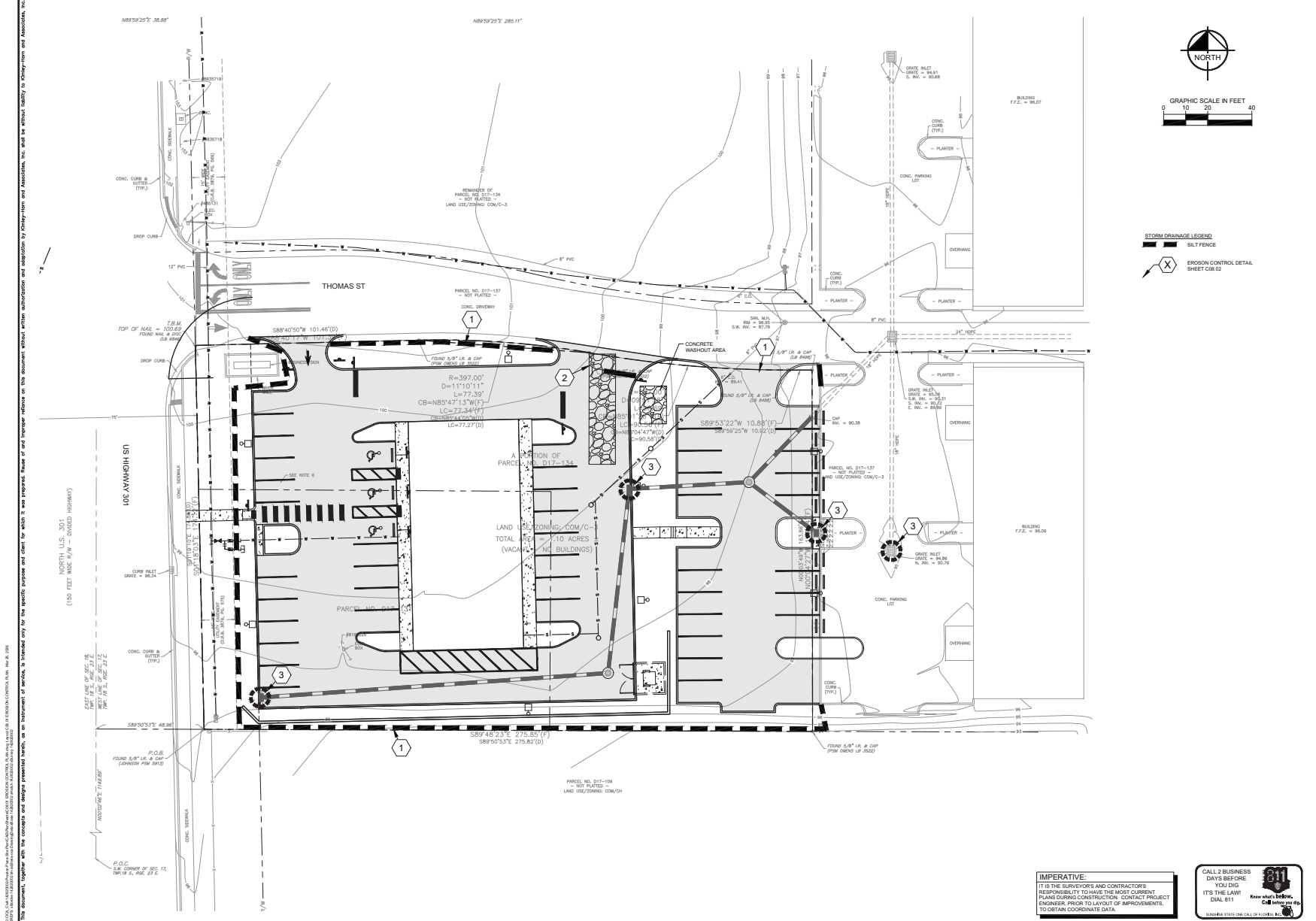
- LEGEND**
- PROPOSED SPOT ELEVATION
 - PROPOSED TOP OF CURB SPOT ELEVATION
 - PROPOSED CURB INLET
 - PROPOSED DRAINAGE INLET
 - PROPOSED STORM PIPE
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED FLOW DIRECTION ARROWS
 - PROPOSED ROOF DRAIN CONNECTION (CONNECT PER ARCHITECTURAL PLANS)
 - GRADE BREAK



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LICENSED PROFESSIONAL PHILIP H. SMITH, P.E. FLORIDA LICENSE NUMBER 97462 DRAWN BY KHA CHECKED BY KHA	
PROJECT 142920002 DATE MARCH 2026 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY KHA CHECKED BY KHA	NOT FOR CONSTRUCTION REVISIONS DATE
PRESTON PLACE COMMERCIAL SITE AND DRAINAGE PLAN PREPARED FOR CWA4, INC. CITY OF WILDWOOD, FLORIDA	
SHEET NUMBER C04.01	



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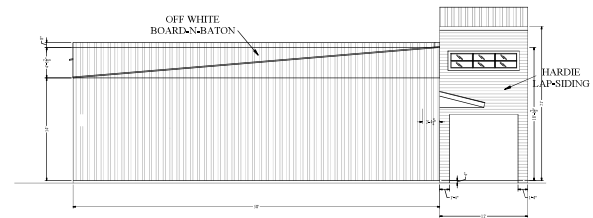
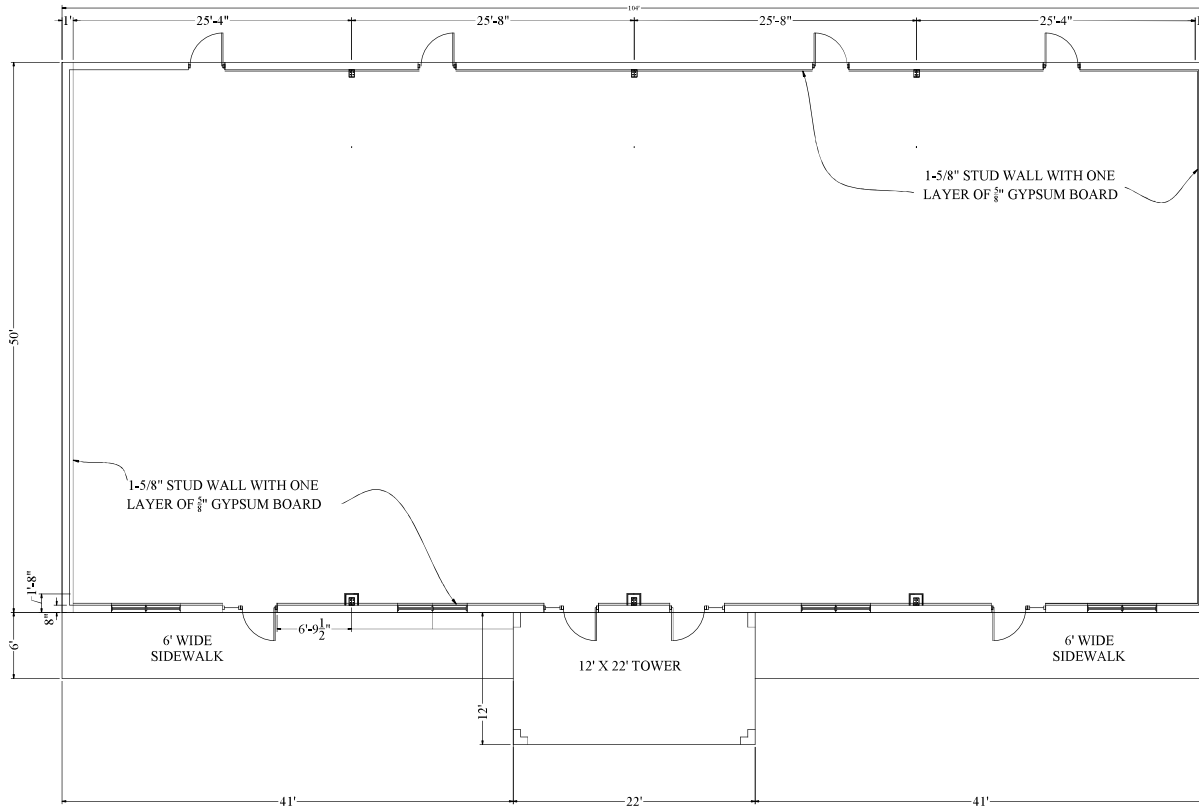
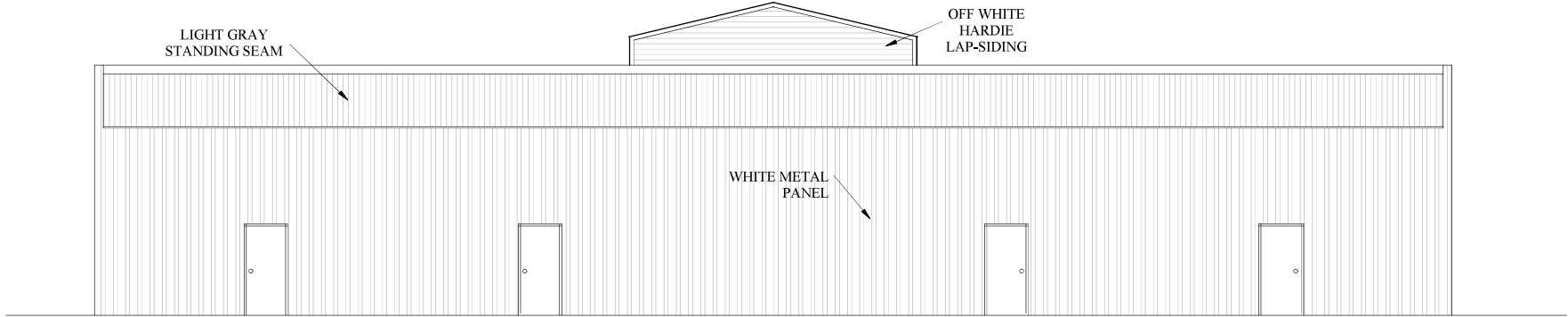
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SHEET NUMBER
C08.01

REAR ELEVATION
SCALE: 1'-0" = 1/4"



SIDE ELEVATION
SCALE: 1'-0" = 1/8"

FLOOR PLAN
SCALE: 1'-0" = 3/16"

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL STRUCTURAL LAND PLANNING
1515 E. SILVER SPRINGS BLVD., SUITE 132
OCALA, FLORIDA 34470
PHONE (352) 629-5591
FAX (352) 629-4402



DATE: 3-6-26
DRAWN: MS
CHECKED: MCA
FILE: CULLI...
REVISED:
JOB No.: 28-014

PRESTON COMPLEX
CULLISON-WRIGHT CONSTRUCTION
FLOOR & ELEVATION PLAN

SHEET:
2 OF 2

